

APPLICATIONS NOT SUBJECT TO PUBLIC HEARING

- **1180 VINEWOOD STREET**
Hubbard Farms Historic District
Rehabilitate building
Interested Party: Robert Merchal

Commissioner Williams made a motion to issue a COA for the rehabilitation of the building and the establishment of a new parking lot as per the submitted drawings because the work meets Secretary of the Interior's Standard for Rehabilitation Standard Number 6) *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

...with the following conditions:

- Any new concrete must be tinted grey, composed of an exposed aggregate, or finished with a clear curing compound
- The applicant submit a detailed final site plan to staff for approval prior to the issuance of the permit.

Commissioner Hosey – SUPPORT

Ayes – 4 Nay – 0

MOTION CARRIED

GENERAL FRAMING NOTES:

- EXTEND ALL INTERIOR PARTITIONS UP TO CEILING STRUCTURE @ MIN. 8" O.C. U.N.O.
- COORDINATE OPENINGS AND VERTICAL SHAFTS WITH M/E/P AND FIRE TRADES
- ALL GYP. BD. TO BE 5/8" AT CEILINGS AND MIN. 1/2" AT WALLS U.N.O.
- ALL DEMISING WALLS TO BE SECURED TO STRUCTURE ABOVE. SEALING ALL PENETRATIONS PROVIDE AND INSTALL SOUND BATT INSULATION ABOVE CEILING ALONG DEMISING PARTITION.

WALL CONSTRUCTION NOTES:

- PROVIDE DENSE OR FIBER REINFORCED GYPSUM INTERIOR PANELS TO BE USED AT ALL CORRIDOR AND HIGH IMPACT AREAS
- WHERE EXISTING C.M.U. WALLS ARE TO BE FURRED FOR GYP. BD. FINISH, PROVIDE PROPER FURRING DEPTH FOR FLUSH TRANSITIONS TO ADJACENT WALLS.
- WHERE EXISTING C.M.U. WALLS ARE TO BE RENOVATED, TOOTH IN NEW AREAS AND PROVIDE CONSISTENT FINISH

LIGHT GAUGE METAL FRAMING:

ALL LIGHT GAUGE FRAMING MEMBERS SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISI "SPECIFICATIONS FOR DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS" AND IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

ALL MATERIAL SHALL CONFORM TO ASTM A446, WITH MINIMUM YIELD POINT OF 33 KSI FOR 18 GAUGE, AND 50 KSI FOR 16 GAUGE, AND HEAVIER MATERIAL, AND SHALL HAVE GALVANIZED COATING TO ASTM A525-G90.

ALL WELDING SHALL CONFORM TO AWS D1.3 SPECIFICATIONS FOR WELDING SHEET STEEL STRUCTURES, AND AWS D19.0 WELDING ZINC COATED STEEL.

ALL MATERIAL SHALL BE OF A MINIMUM 18 GAUGE THICKNESS, AND SHALL MEET THE DEFLECTION REQUIREMENTS OF THE FINISH MATERIALS TO BE ATTACHED TO THE LIGHT GAUGE FRAMING WORK.

ALL STUDS AND JOISTS SHALL BE INSTALLED AT SPACING INDICATED ON THE DRAWINGS. EACH SIDE OF OPENINGS SHALL BE FRAMED WITH DOUBLE STUDS.

ALL STUDS AND JOISTS SHALL HAVE A BRIDGING LINE INSTALLED AT A MAXIMUM SPACING OF 4'-0" AND 5'-0" RESPECTIVELY.

ALL JOISTS SHALL HAVE WEB STIFFENERS AT REACTION POINTS AND CONCENTRATED LOADS.

STRUCTURAL CONNECTIONS OF LIGHT GAUGE METAL FRAMING MEMBERS SHALL BE MADE PER MANUFACTURERS RECOMMENDATIONS, ADEQUATE TO CARRY THE IMPOSED LOADS, AND CONFORMING TO THE AISI AND AWS SPECIFICATIONS.

CONNECTION DESIGN TO BE BASED ON REACTIONS GIVEN ON THE DRAWINGS OR AS LISTED IN THE MANUFACTURERS UNIFORM LOADING CAPACITY TABLES, WHICHEVER IS GREATER.

SUSPENDED CEILING GRID SYSTEM SHALL COMPLY WITH THE LATEST MICHIGAN BUILDING CODE AND GRID WORK SHALL BE SUPPORTED WITH A MINIMUM OF 2-1/2 GA. HANGER WIRES ATTACHED TO STRUCTURE ABOVE.

EXTERIOR CEE FRAMING TO BE STEELFORM DELTA STUDS W/ 1/2" FOIL FACED RIGID SHEATHING. PROVIDE DOUBLE DEFLECTION OR SLOTTED TRACKS ON TOP OF ALL CEE WALLS.

ALL LIGHT GAUGE MTL. FRAMING TO FOLLOW PROCEDURES AND PRACTICES AS RECOMMENDED BY THE STEEL STUD MANUFACTURERS ASSOCIATION

FIRE STOPPING:

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENING (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRE STOPPING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS.

1. CONCEALED WALL SPACES - FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.

2. CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES - FIRE BLOCKING SHALL BE PROVIDED AT INTERSECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.

3. STAIRWAYS - FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES BETWEEN STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.

4. ARCHITECTURAL TRIM - FIRE BLOCKING SHALL BE INSTALLED WITHIN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS AT MAXIMUM INTERVALS OF 20 FEET. IF NON-CONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH AT LEAST 4 INCHES OF SEPARATION BETWEEN SECTIONS.

FIRE BLOCKING MATERIALS - FIRE BLOCKING SHALL CONSIST OF 2-INCH NOMINAL LUMBER OR TWO THICKNESSES OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANEL WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANEL OR ONE THICKNESS OF 0.75-INCH PARTICLEBOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLEBOARD, GYPSUM BOARD, CEMENT FIBERBOARD, BATTLS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE SHALL BE PERMITTED AS AN ACCEPTABLE FIRE BLOCK.

DRAFTSTOPPING (REQUIRED IN ENCLOSED AREAS AND ATTICS WHEN BUILDING IS NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SUPPRESSION SYSTEM) SHALL BE PROVIDED IN DIRECTION OF FRAMING, MAX. 3,000 SQ.FT. COMPARTMENT AREA U.N.O.

GENERAL CONDITION NOTES:

ALL CONTRACTORS SHALL VERIFY AND COORDINATE ALL DIMENSIONS ON DRAWINGS, AS WELL AS REVIEW AND COORDINATE PLANS WITH EXTERIOR BUILDING ELEVATIONS, SECTIONS, AND DETAILS BEFORE COMMENCING WITH THE WORK. IF DIMENSIONAL ERRORS OR CONFLICTS OCCUR BETWEEN PLANS, BUILDING ELEVATIONS, SECTIONS, AND DETAILS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CONTRACTORS WHO FAIL TO VERIFY, REVIEW, AND COORDINATE THE WORK AND CONTRACTORS WHO SCALE DRAWINGS TO DETERMINE PLACEMENT OR PART(S) OF THE WORK, SHALL TAKE FULL RESPONSIBILITY SHOULD THAT PORTION OF THE WORK BE IMPROPERLY CONSTRUCTED.

CONTRACTOR TO PROVIDE PROTECTIVE MEASURES DURING CONSTRUCTION TO ENSURE THAT FROST DOES NOT PENETRATE BELOW FOOTINGS. MEASURES INCLUDE THICK STRAW BEDS, TARPING AND TEMPORARY HEAT AT ANY AREAS OF EXCAVATION BELOW GRADE.

ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS, RULES AND REGULATIONS

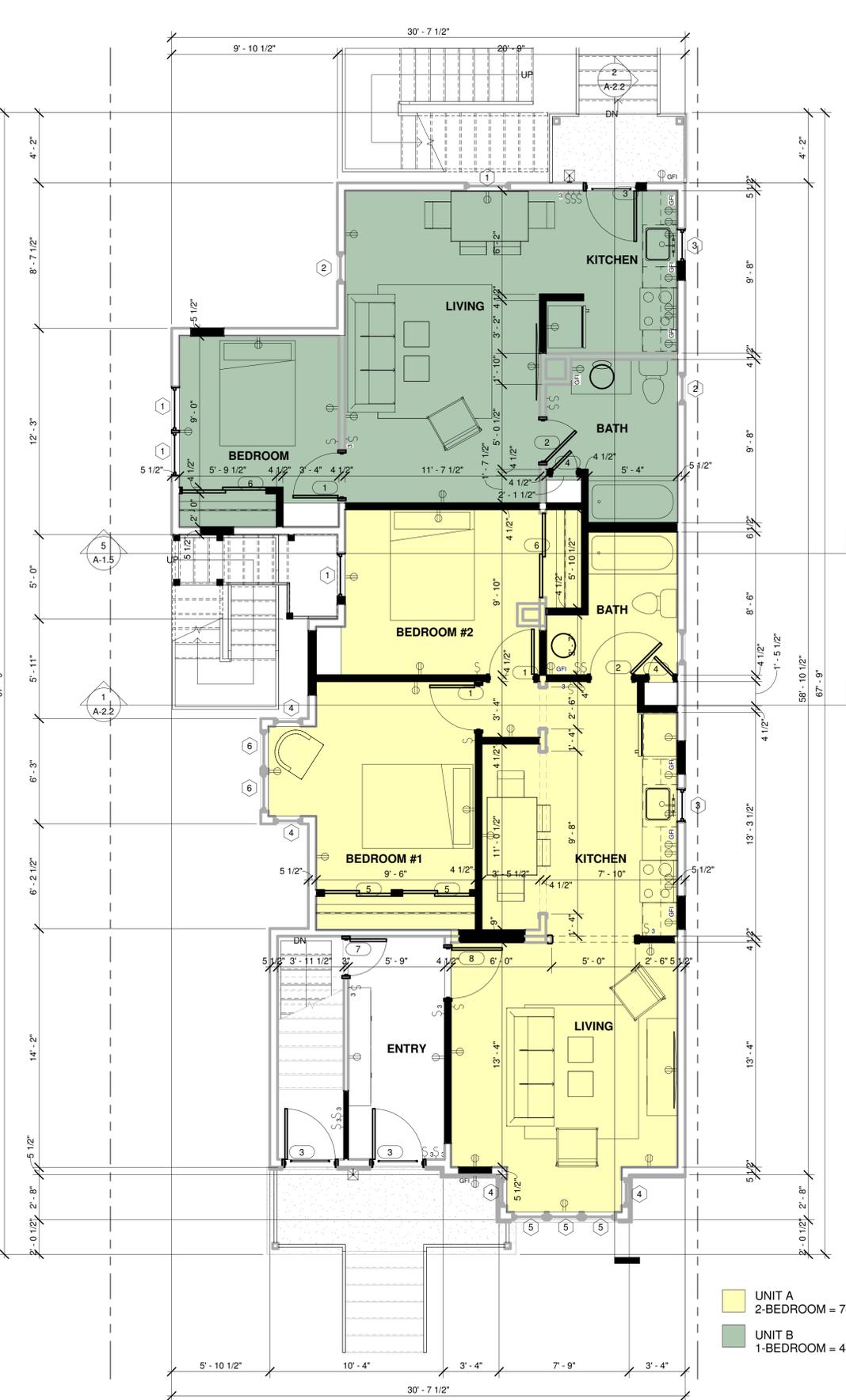
ASSUMED SOIL PRESSURE IS 2,500 PSF - VERIFY CAPACITY BEFORE COMMENCING CONSTRUCTION AND NOTIFY ARCHITECT IF LESS THAN THIS VALUE IS FOUND. OWNER SHALL BE RESPONSIBLE TO RETAIN A LICENSED SOIL ENGINEER FOR BORING AND RECOMMENDED DESIGN DATA.

DRAWING INFORMATION:

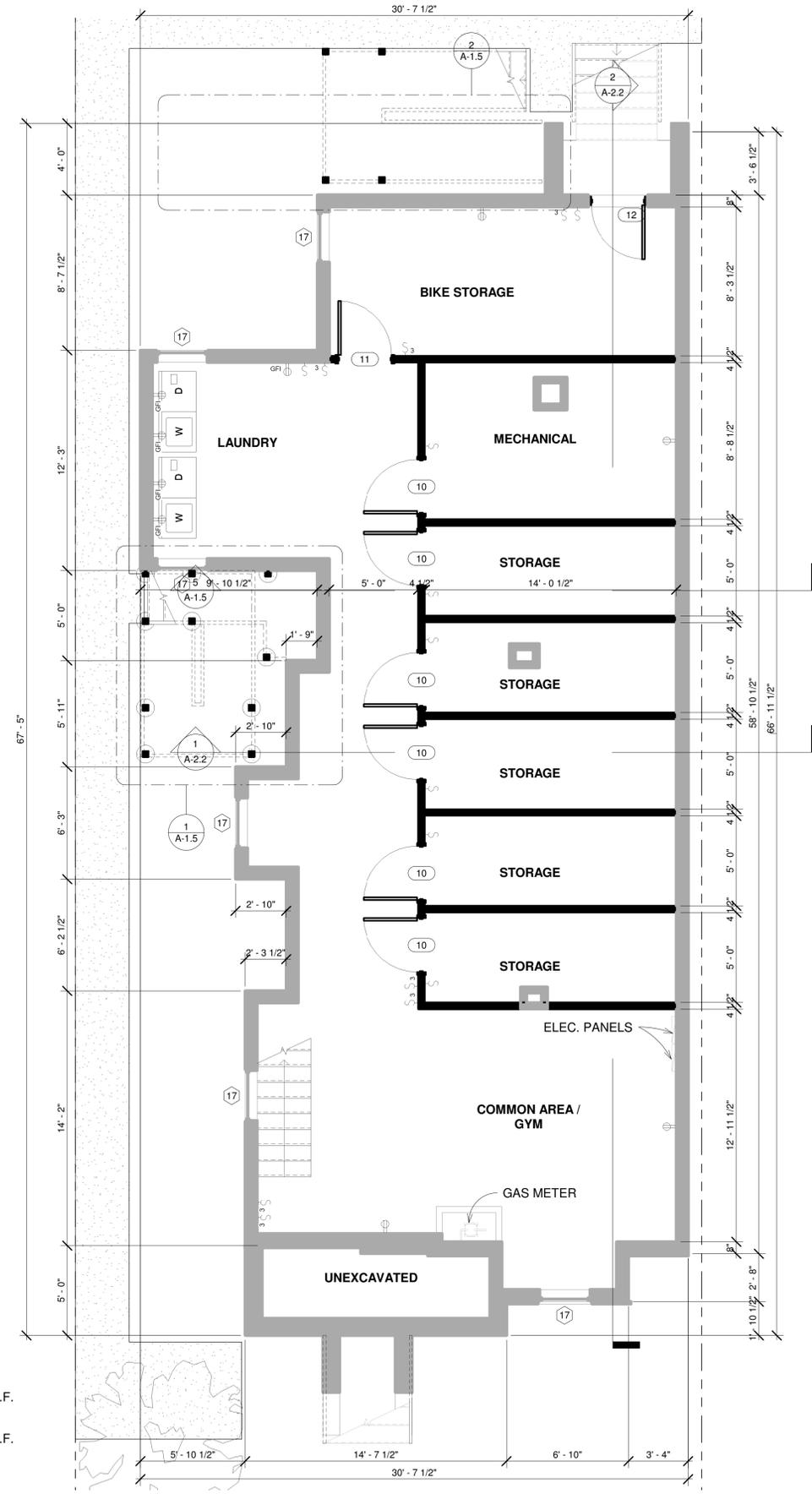
ARCHITECTURAL DOCUMENTS ESTABLISH THAT FIRST (MAIN) FINISH FLOOR LEVEL = 100.000' FOR COORDINATION OF CIVIL DOCUMENTS: ARCHITECTURAL 100.00' = CIVIL ENGINEERS VALUE AND INTERPOLATION SHALL BE REQUIRED BY CONTRACTORS FOR VALUE RELEVANT TO THE SITE.

EXTERIOR DIMENSIONS ARE MEASURED FROM SHEATHING TO CENTERS. U.N.O. OR WHERE C.M.U. DIMENSIONS ARE USED.

INTERIOR DIMENSIONS ARE MEASURED FACE OF STUD WALL TO FACE OF STUD WALLS. INTERIOR DOORS AND CASED OPENINGS ARE TO BE MIN. 6" OFF WALLS FOR TRIM ALLOWANCE U.N.O.



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED FOUNDATION & FIRST FLOOR PLANS
SCALE: 1/4" = 1'-0"

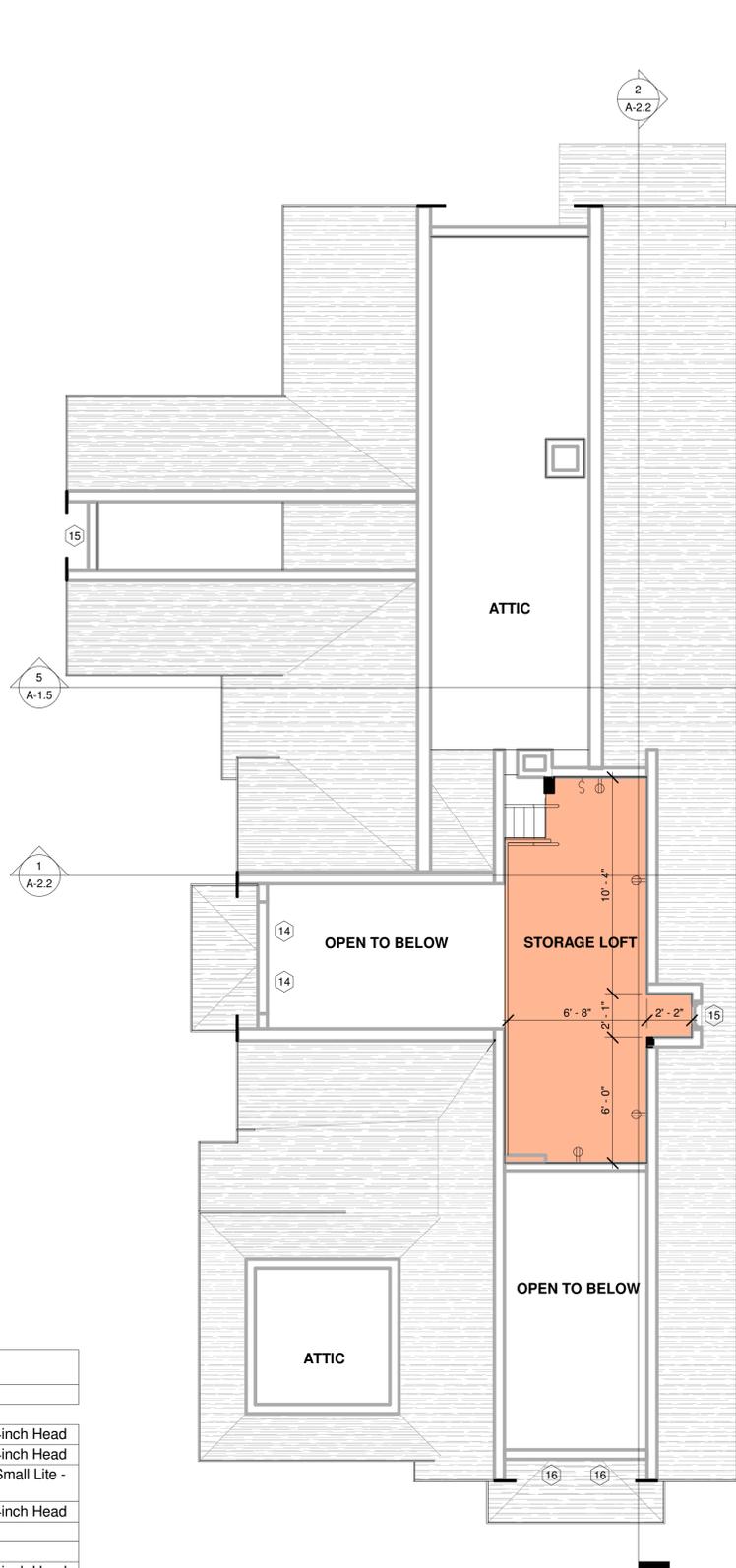
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NO.	DESCRIPTION	DATE
001	PERMITS	5/13/15

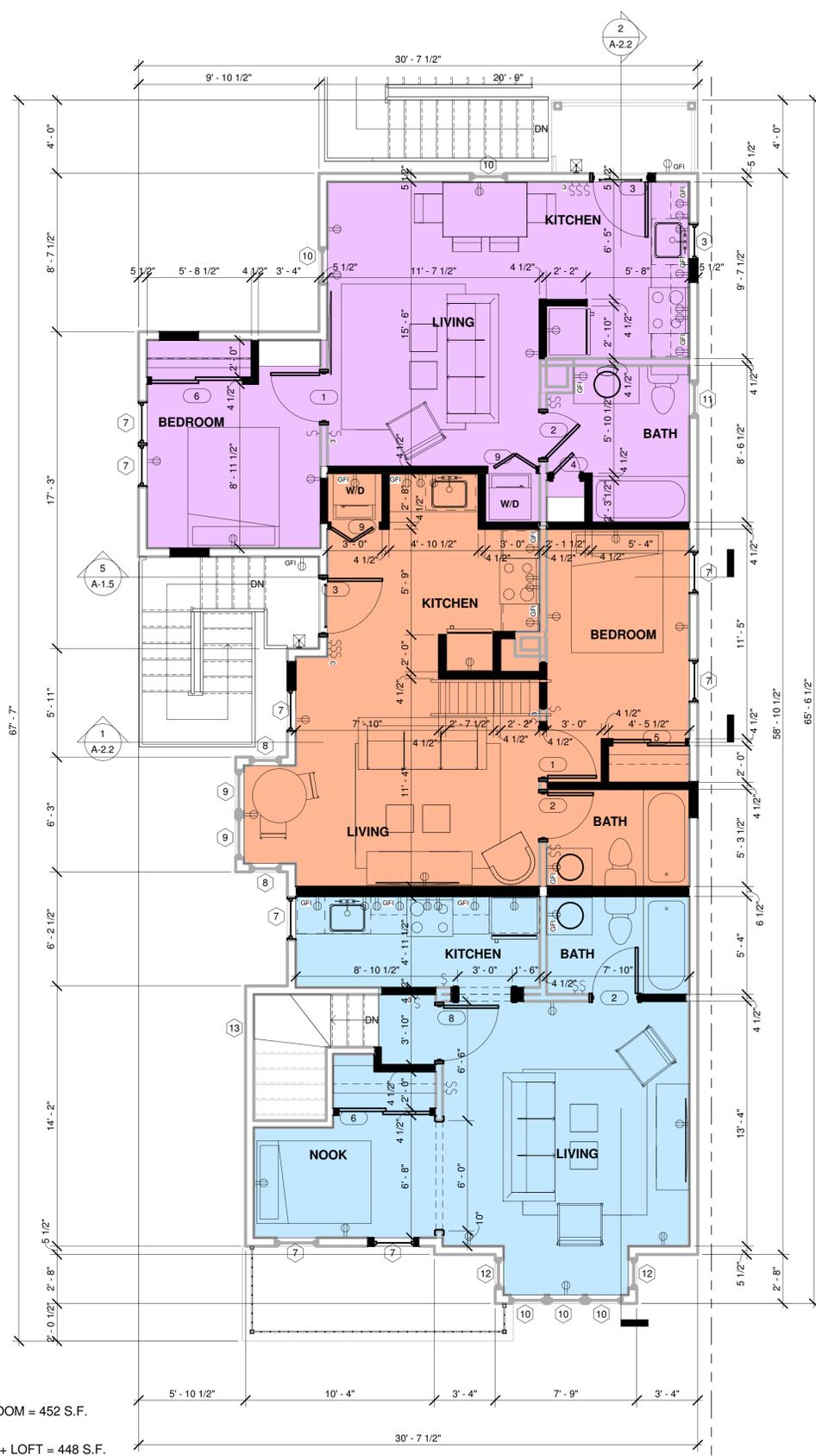
DATE SEALED

NEW WINDOW SCHEDULE				
Type Mark	Count	Height	Width	Comments
1	4	6'-0"	2'-8"	
2	2	6'-0"	1'-10"	
3	3	3'-0"	2'-0"	
4	4	6'-0"	1'-8"	
5	3	6'-0"	2'-0"	
6	2	6'-0"	2'-4"	
7	8	5'-4"	2'-4"	
8	2	5'-4"	1'-8"	
9	2	5'-4"	2'-4"	
10	5	5'-0"	2'-0"	
11	1	4'-6"	2'-0"	
12	2	5'-0"	1'-8"	
13	1	4'-0"	2'-4"	
14	2	2'-0"	2'-0"	
15	2	2'-0"	1'-4"	
16	2	2'-0"	2'-0"	
17	6	2'-0"	3'-0"	
54	1	6'-0"	2'-0"	

NEW DOOR SCHEDULE					
Mark	Count	Height	Width	Comments	Family
1	5	6'-8"	2'-8"		_Dr - Sgl - Flsh - HM - 4inch Head
2	5	6'-8"	2'-6"		_Dr - Sgl - Flsh - HM - 4inch Head
3	5	6'-8"	3'-0"		_Dr - Sgl - Flsh - HM - Small Lite - 2inch Head
4	3	6'-8"	1'-6"		_Dr - Sgl - Flsh - HM - 4inch Head
5	3	6'-8"	4'-0"		Sliding-Closet
6	4	6'-8"	5'-0"		Sliding-Closet
7	1	6'-2"	2'-2"		_Dr - Sgl - Flsh - HM - 4inch Head
8	2	6'-8"	3'-0"		_Dr - Sgl - Flsh - HM - 4inch Head
9	2	6'-8"	2'-8"		Bifold-2 Panel
10	6	6'-8"	3'-0"		_Dr - Sgl - Flsh - HM - 2inch Head
11	1	6'-8"	3'-0"		_Dr - Sgl - Flsh - HM - 2inch Head
12	1	6'-8"	3'-0"		_Dr - Sgl - Flsh - HM - 2inch Head
13	1	6'-8"	2'-8"		_Dr - Sgl - Flsh - HM - 4inch Head



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A-1.4 **PROPOSED LOFT PLAN**
SCALE: 1/4" = 1'-0"



UNIT C
1-BEDROOM = 452 S.F.
UNIT D
STUDIO + LOFT = 448 S.F.
UNIT E
STUDIO+NOOK = 415 S.F.

1
A-1.4 **PROPOSED SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"

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