





More specifically, the western boundary of the indirect APE includes several apartment buildings located east of 3<sup>rd</sup> Street between MLK Jr. Boulevard and Brainard Street. The northern indirect APE boundary includes additional apartment buildings south of Brainard Street east to 2<sup>nd</sup> Avenue and two dwellings west of 2<sup>nd</sup> Avenue. The eastern indirect boundary includes a vacant commercial building at the southeast corner of Brainard Street and 2<sup>nd</sup> Avenue, vacant land directly east of 2<sup>nd</sup> Avenue, the King's Arms Apartments at the northeast corner of 2<sup>nd</sup> Avenue and MLK Jr. Boulevard, two apartment buildings north of MLK Jr. Boulevard half-way between 2<sup>nd</sup> Avenue and Cass Avenue, and two commercial buildings at the southeast corner of MLK Jr. Boulevard and 2<sup>nd</sup> Avenue. The southern indirect APE includes vacant land at the southwest corner of MLK Jr. Boulevard and 2<sup>nd</sup> Avenue and an office building with associated parking located south of MLK Boulevard west of 2<sup>nd</sup> Avenue and extending west to an alley.

iv. **Describe the steps taken to define the boundaries of the APE:**

A site reconnaissance of the properties was completed, and an APE was established. The direct APE was established based on the extent of ground disturbing activities proposed for the Project.

The boundaries of the indirect APE were determined by the distance at which the proposed development activities would have minimal impact on the surrounding properties based on the following factors:

**Visual**

The indirect APE boundary took into consideration existing structures and mature trees visually obstructing the project activities.

**Auditory**

Noise intensive construction activities located at the subject property will be limited to the days and hours specified under the City's noise ordinance. All construction auditory effects will be temporary and are anticipated to not extend beyond the adjoining properties. Therefore, the adjoining properties are included within the indirect APE boundary.

**Traffic Patterns**

The subject property is located on the west side of 2<sup>nd</sup> Avenue in Detroit, Michigan. Currently, public access is provided at MLK Jr. Boulevard and 2<sup>nd</sup> Avenue, which are both major roadways in the area. MLK Jr. Boulevard connects to Cass Avenue, which is another major roadway in the City of Detroit. All surrounding roadways near the project area are connected to either MLK Jr. Boulevard or 3<sup>rd</sup> Street. There are likely to be short-term impacts to traffic in the Project due to the proposed construction at the subject property. The project does not reduce any publicly accessible resources, but rather makes housing more affordable and accessible to residents via public housing programming.

**Land Use**

The proposed Project entails changing the subject property to multi-family residential use from its current use as vacant land. The change in land use will affect the adjoining properties by an increase in population. Therefore, the adjoining properties are included within the indirect APE boundary.

b. **Project Work Description**

Describe all work to be undertaken as part of the project:

The proposed Project will include the construction of a four-story, mixed-used apartment building in Detroit, Michigan. The total gross area of the project will be 0.35 acres, which includes the proposed apartment building and parking lot. The Project will consist of a 28,777 total square foot building with retail space on the first floor and 33 units spread over the four floors. The building will be L-shaped and will measure approximately 99'1" by 109'1". Excavations for foundations will be conducted to depths of approximately 4'



to 6’ below ground surface (bgs). The Project will also include a 20-space parking lot located in the northwestern portion of the property for both residential and retail guests.

The building’s façade will consist of ivory concrete and terracotta planks in varied textures. There will be 5’ x 7’ casement over fixed metal windows throughout the building. There will also be vertical PTAK venting strips on all sides of the building that extend from the fourth to second floors.

The proposed plans include underground storm water retention, on-site utilities, a dumpster enclosure, and new landscaping. The excavation for sanitary sewer connection will extend from the northwestern corner of the building and will traverse approximately 108 linear feet at a depth of 7’ to 10’ bgs to the main located in the alley. The storm sewer will measure approximately 158 linear feet at a depth of 4’ to 10’ feet bgs. The storm water detention system includes a 72” diameter pipe within this excavation that accounts for the deepest and widest portion of the excavation. A new public walkway will be constructed along the east side of MLK Jr. Blvd. and 2<sup>nd</sup> Avenue. The existing 20’ alleyway to the north of the subject property will be repaved and will partially be used as a residential loading zone for the building. The 10’ x 10’ dumpster enclosure will be located in the southwest portion of the parking lot. It will consist of a 6” concrete slab and 12’ x 20” apron. The foundation for the dumpster enclosure will include an excavation to a depth of 4’ bgs. The surrounding dumpster wall will be made of brick and will also have a vinyl gate enclosure. New landscaping will be located along MLK Jr. Blvd. and 2<sup>nd</sup> Avenue, which will include Evergreen trees, shrub plants, and deciduous trees. Landscaping and paving elements are expected to include ground disturbing activities at depths of 1’ to 2’ bgs.

#### IV. IDENTIFICATION OF HISTORIC PROPERTIES

##### a. Scope of Effort Applied

- i. **List sources consulted for information on historic properties in the project area** (including but not limited to SHPO office and/or other locations of inventory data).

PM Environmental reviewed listings in the Local, State, and National Register of Historic Places to determine the existence of properties within a registered Historic district or a single historic resource. Katie Kolokithas, Survey Coordinator at SHPO was contacted through the research request email by PM Environmental for information on architectural files housed at Michigan SHPO office, which included the National Register of Historic Places Multiple Property Documentation Form for the Historic and Architectural Resources of the Cass Farm Survey Area in Detroit, Wayne County, Michigan.

- ii. Provide documentation of previously identified sites as attachments.
- iii. **Provide a map** showing the relationship between the previously identified properties and sites, your project footprint and project APE.
- iv. Have you reviewed existing site information at the SHPO:  Yes  No
- v. Have you reviewed information from non-SHPO sources:  Yes  No

##### b. Identification Results

##### i. Above-ground Properties

- A. Attach the appropriate [Michigan SHPO Identification Form](#) for each resource or site 50 years of age or older in the APE. Refer to the *Instructions for the Application for SHPO Section 106 Consultation Form* for guidance on this.
- B. **Provide the name and qualifications of the person who made recommendations of eligibility for the above-ground identification forms.**



Name Chelsea Dantuma Agency/Consulting Firm: PM Environmental, Inc.  
Is the individual a 36CFR Part 61 Qualified Historian or Architectural Historian  Yes  No  
Are their credentials currently on file with the SHPO?  Yes  No  
If NO attach this individual's qualifications form and resume.

ii. **Archaeology** (complete this section if the project involves temporary or permanent ground disturbance)  
Submit the following information using attachments, as necessary.

- A. **Attach Archaeological Sensitivity Map.**
- B. **Summary of previously reported archaeological sites and surveys:**  
This project is less than 0.50 acres in size. Therefore, it does not require archaeology to be submitted by the applicant and consultant.
- C. **Town/Range/Section or Private Claim numbers:** [town/range/section or private claim #s](#)
- D. **Width(s), length(s), and depth(s) of proposed ground disturbance(s):** [Width, length, depth of proposed ground disturbance](#)
- E. **Will work potentially impact previously undisturbed soils?**  Yes  No  
*If YES, summarize new ground disturbance:*  
[Summary of new ground disturbance](#)
- F. **Summarize past and present land use:**  
[Summary of past and present land use](#)
- G. **Potential to adversely affect significant archaeological resources:**  
 Low  Moderate  High  
**For moderate and high potential, is fieldwork recommended?**  Yes  No  
**Briefly justify the recommendation:**  
[Justification for recommendation of fieldwork](#)
- H. **Has fieldwork already been conducted?**  Yes  No  
*If YES:*  
 Previously surveyed; refer to A. and B. above.  
 Newly surveyed; attach report copies and provide full report reference here:  
[Full report reference](#)
- I. **Provide the name and qualifications of the person who provided the information for the Archaeology section:**  
**Name: Agency/Firm:** [Archaeologist's agency or firm](#)  
Is the person a 36CFR Part 61 Qualified Archaeologist?  Yes  No  
Are their credentials currently on file with the SHPO?  Yes  No  
If NO, attach this individual's qualifications form and resume.

*Archaeological site locations are legally protected.  
This application may not be made public without first redacting sensitive archaeological information.*

**V. DETERMINATION OF EFFECT**

Guidance for applying the Criteria of Adverse Effect can be found in *the Instructions for the Application for SHPO Section 106 Consultation Form.*

a. **Basis for determination of effect:**



Housing and Revitalization  
Department

Coleman A. Young Municipal Center

Phone: 313.224.6380

2 Woodward Avenue, Suite 908

Fax: 313.224.1629

Detroit, Michigan 48226

www.detroitmi.gov

We have determined that the Project will have “No Historic Properties Affected” pursuant to 36 CFR 800.5 based on the following: 1) the proposed development does not require or include physical damage to a designated or eligible historic structure located on the subject property or within the APE, 2) the properties located in the subject property and/or within the APE that are 50 years or older have suffered from a loss of integrity due to material alterations, additions, or deferred maintenance and/or loss of historic context and fabric of the surrounding neighborhood. The proposed new construction is a record of its own time, and does not imitate, mimic, or create a false sense of historical development within the APE. The proposed new construction utilizes materials and colors that complement the existing historic architecture located within the APE.

b. **Determination of effect**

**No historic properties will be affected**

**Historic properties will be affected**, and the project will (check one):

have **No Adverse Effect** on historic properties within the APE.

have an **Adverse Effect** on one or more historic properties in the APE and the federal agency, or federally authorized representative, will consult with the SHPO and other parties to resolve the adverse effect under 800.6.

Applicant Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Type or Print Name: \_\_\_\_\_

Title: \_\_\_\_\_



Housing and Revitalization  
Department

Coleman A. Young Municipal Center

2 Woodward Avenue, Suite 908

Detroit, Michigan 48226

Phone: 313.224.6380

Fax: 313.224.1629

www.detroitmi.gov

## ATTACHMENT CHECKLIST

### Identify any materials submitted as attachments to the form:

Additional federal, state, local government, applicant, consultant contacts

Maps of project location

Number of maps attached: [number of maps](#)

Site Photographs

Map of photographs

Plans and specifications

Other information pertinent to the work description: [Identify the type of materials attached](#)

Documentation of previously identified historic properties

Architectural Properties Identification Forms

Map showing the relationship between the previously identified properties, your project footprint, and project APE

Above-ground qualified person's qualification form and resume

Archaeological sensitivity map

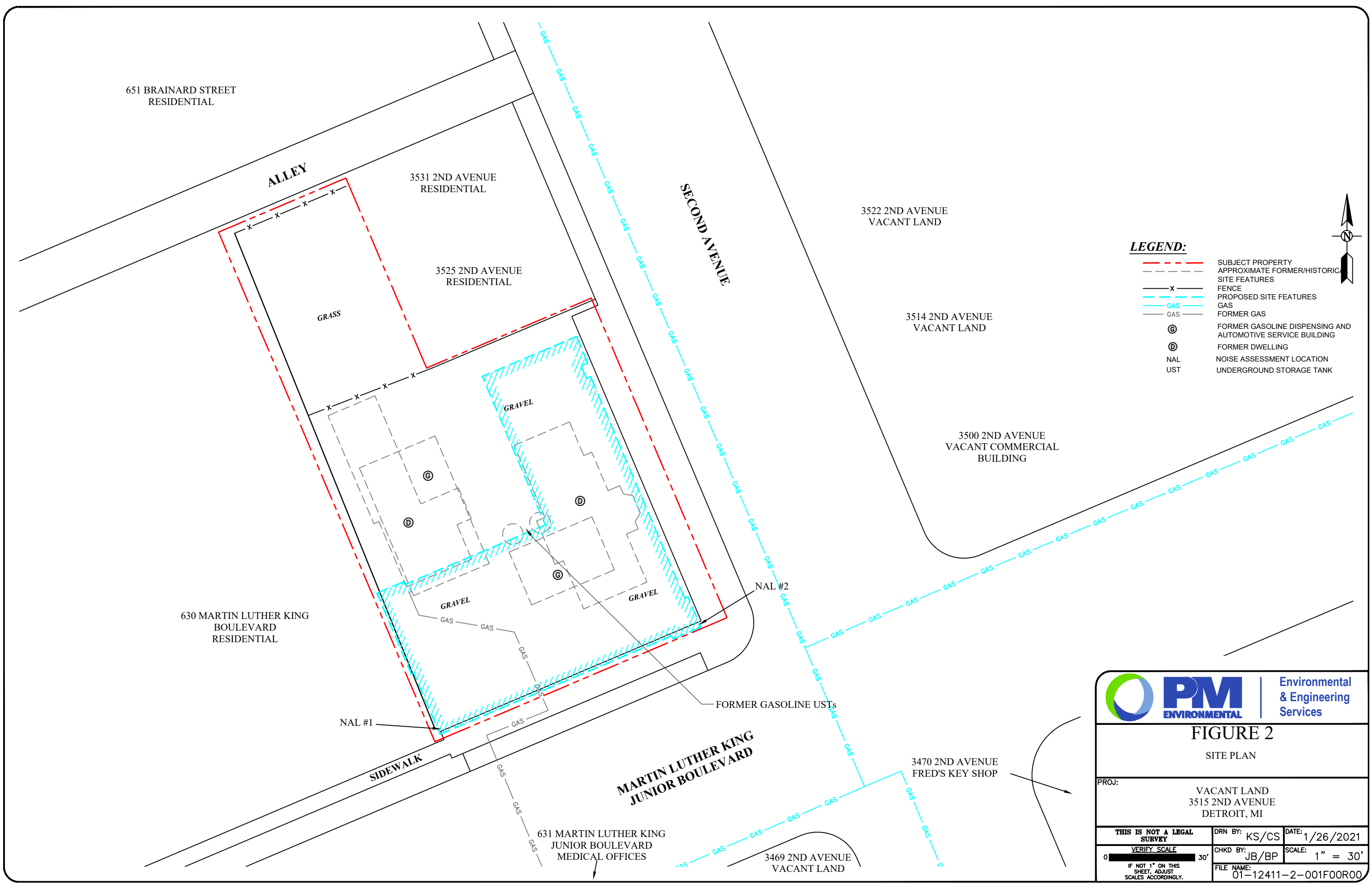
Survey report

Archaeologist qualifications and resume

Other: [Identify other attached materials](#)

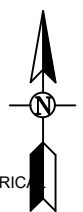
# 7.5 minute USGS Topographic Map





**LEGEND:**

- SUBJECT PROPERTY
- APPROXIMATE FORMER/HISTORIC SITE FEATURES
- x--- FENCE
- PROPOSED SITE FEATURES
- GAS
- FORMER GAS
- ⓐ FORMER GASOLINE DISPENSING AND AUTOMOTIVE SERVICE BUILDING
- ⓓ FORMER DWELLING
- NAL NOISE ASSESSMENT LOCATION
- UST UNDERGROUND STORAGE TANK



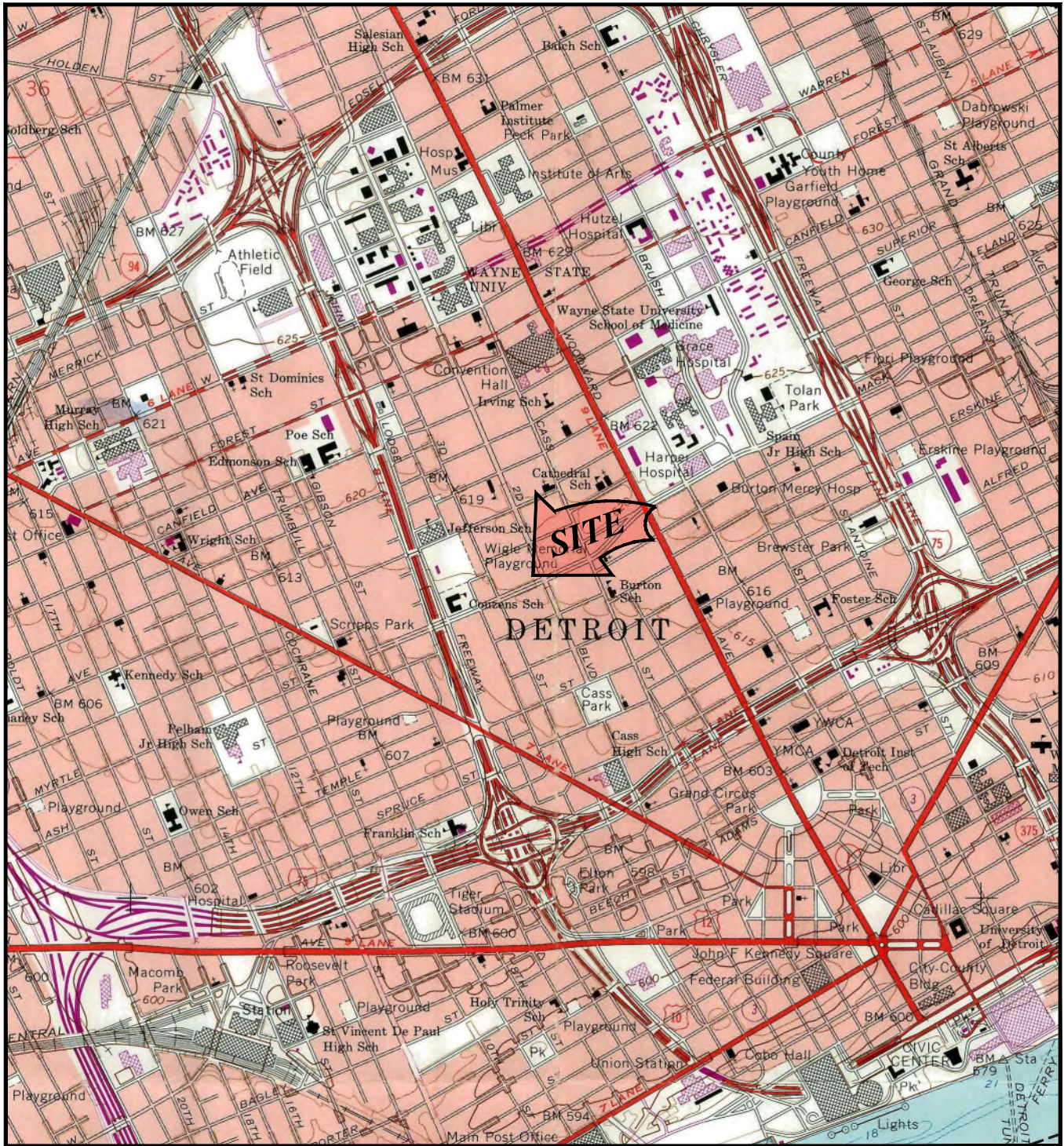
**FIGURE 2**

SITE PLAN

PROJ: VACANT LAND  
3515 2ND AVENUE  
DETROIT, MI

THIS IS NOT A LEGAL SURVEY	DRN BY: KS/CS	DATE: 1/26/2021
VERIFY SCALE	CHKD BY: JB/BP	SCALE: 1" = 30'
IF NOT 1" ON THIS SHEET, ADJUST SCALES ACCORDINGLY.		
FILE NAME: 01-12411-2-001F00R00		



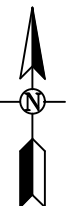


# WAYNE COUNTY

FIGURE 1

PROPERTY VICINITY MAP

UNITED STATES GEOLOGICAL SURVEY, 7.5 MINUTE SERIES  
 DETROIT, MI QUADRANGLE, 1968. PHOTO REVISED 1973 AND 1980.



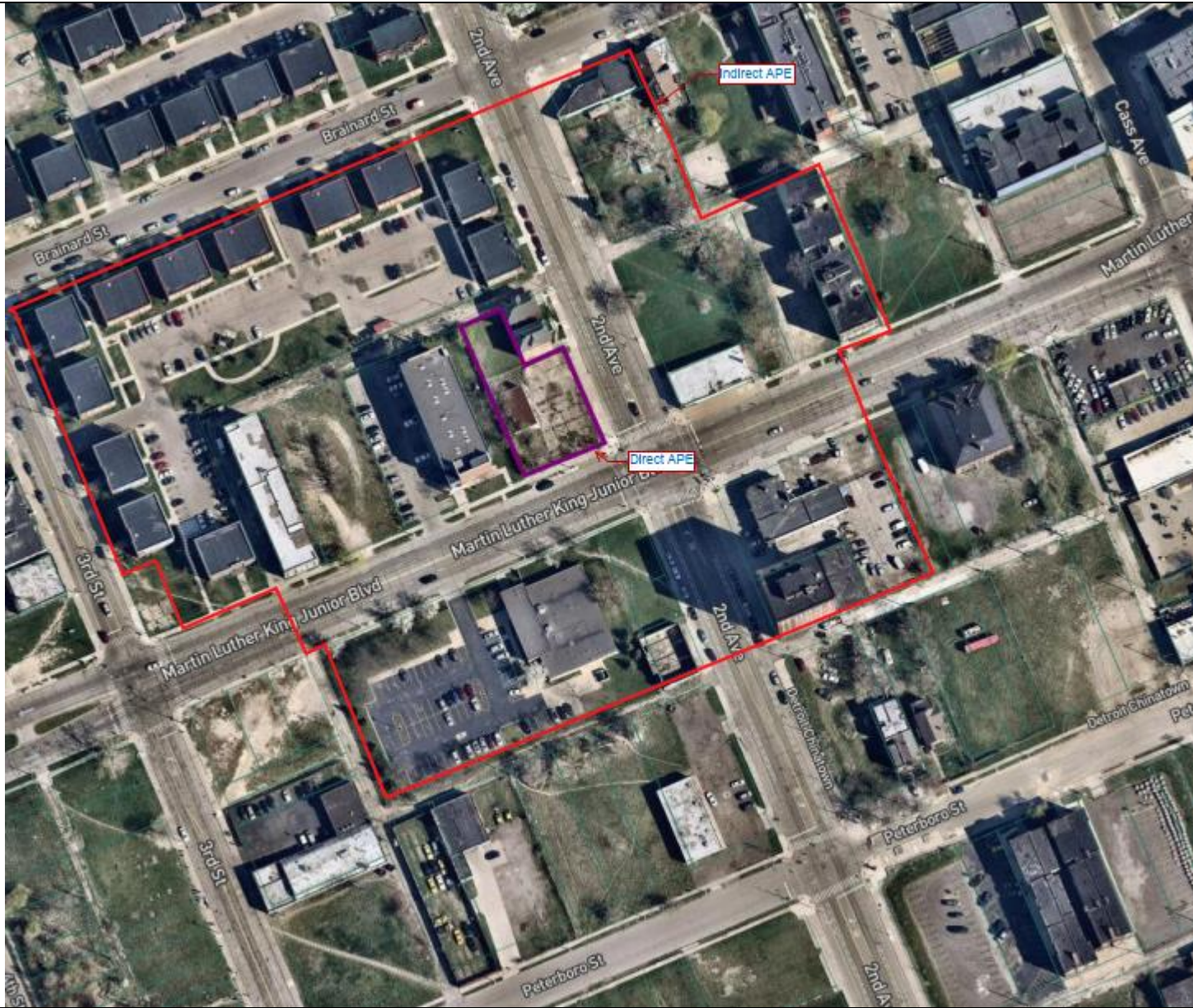
PROJ: VACANT LAND  
 3515 2ND AVENUE  
 DETROIT, MI

**THIS IS NOT A LEGAL SURVEY**  
 VERIFY SCALE  
 0 2,000'  
 IF NOT 1" ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DRN BY: KS/CS	DATE: 1/26/2021
CHKD BY: JB/BP	SCALE: 1" = 2,000'
FILE NAME: 01-12411-2-001F00R00	

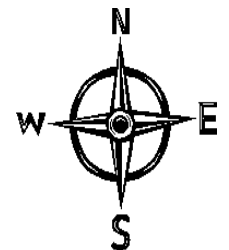
# APE Map





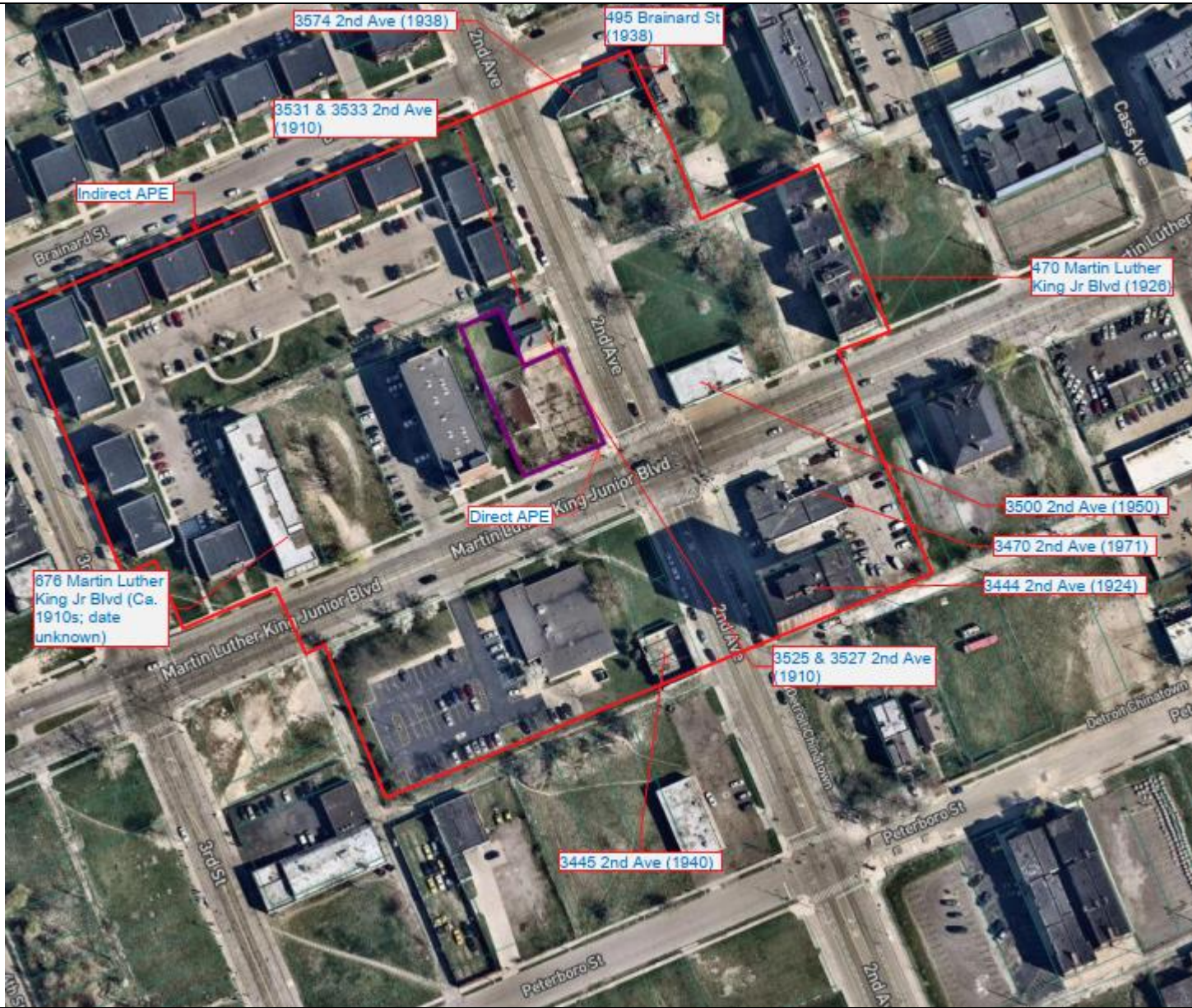
**Area of Potential Effect (APE) Map**

MLK on 2<sup>nd</sup> Apartments  
3515 2<sup>nd</sup> Avenue, Detroit, Michigan 48201  
PM Project No. 01-12411-1-0003



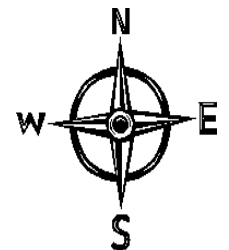
# Historic Resources Map





**Historic Resources Map**

MLK on 2<sup>nd</sup> Apartments  
 3515 2<sup>nd</sup> Avenue, Detroit, Michigan 48201  
 PM Project No. 01-12411-1-0003



# Survey Forms



# Michigan SHPO Architectural Properties Identification Form

Property Overview and Location



Street Address	470 Martin Luther King Junior Boulevard					
City/Township, State, Zip Code	Detroit, Michigan, 48201					
County	Wayne					
Assessor's Parcel #	02000734					
Latitude/Longitude (to the 6 <sup>th</sup> decimal point)	Lat: 42.345548		Long: -83.062223			
Ownership	Private <input type="checkbox"/>	Public-Local <input checked="" type="checkbox"/>	Public-State <input type="checkbox"/>	Public-Federal <input type="checkbox"/>	Multiple <input type="checkbox"/>	

## Property Type

(Insert primary photograph below.)

Building <input checked="" type="checkbox"/> select sub-type below	Structure <input checked="" type="checkbox"/>
Commercial <input type="checkbox"/>	Object <input type="checkbox"/>
Residential <input checked="" type="checkbox"/>	
Industrial <input type="checkbox"/>	
Other <input type="checkbox"/>	



## Architectural Information

Construction Date	1926	
Architectural Style	Spanish Revival	
Building Form	Accordion	
Roof Form	Flat	
Roof Materials	Rubber	
Exterior Wall Materials	Brick and Stone	
Foundation Materials	Stone	
Window Materials	Glass and Metal	
Window Type	Six-by-six and double-hung, fixed	
Outbuildings	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Number/Type:		

## Eligibility

Individually Eligible	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>
Criteria Considerations:	a. <input type="checkbox"/> b. <input type="checkbox"/> c. <input type="checkbox"/> d. <input type="checkbox"/> e. <input type="checkbox"/> f. <input type="checkbox"/> g. <input type="checkbox"/>			
Component of a Historic District	Contributing to a district <input type="checkbox"/>	Non-contributing to a district <input type="checkbox"/>	Historic District Name	
Not Eligible <input checked="" type="checkbox"/>				
Area(s) of Significance				
Period(s) of Significance				
Integrity – Does the property possess integrity in all or some of the 7 aspects?				
Location <input type="checkbox"/>	Design <input type="checkbox"/>	Materials <input type="checkbox"/>	Workmanship <input type="checkbox"/>	Setting <input type="checkbox"/> Feeling <input type="checkbox"/> Association <input type="checkbox"/>
General Integrity:	Intact <input checked="" type="checkbox"/>	Altered <input type="checkbox"/>	Moved <input type="checkbox"/>	Date(s):
Historic Name	Unknown			
Current/Common Name	King's Arms Hotel			
Historic/Original Owner	Unknown			
Historic Building Use	Unknown			
Current Building Use	Hotel			
Architect/Engineer/Designer	Unknown			
Builder/Contractor	Unknown			

Survey Date	3/28/2022	Recorded By	Chelsea Dantuma	Agency Report #	12411-1-0003
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For SHPO Use Only	SHPO Concurrence?: Y / N	Date:
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### **Narrative Architectural Description**

*Provide a detailed description of the property, including all character-defining features and any accessory resources. This is required for all properties.*

A four-story, Spanish Revival-style residential apartment hotel located on the north side of Martin Luther King Jr. Blvd. The building is accordion style shaped with brick and stone exterior finishes. The foundation consists of stone blocking. Windows consist of metal six-by-six and double-hung windows. There are two entry doors that consist of modern glass and aluminum. The roof is classified as flat and has stone parapet caps.

### **History of the Resource**

*Provide information on previous owners, land use(s), and construction and alteration dates in a narrative format. This is required for all intensive level surveys, NRPQs, and nominations, and recommended for other identification efforts.*

The King's Arms Hotel was one of five buildings labeled as an "apartment hotel" in the Cass Farm Multiple Property nomination. The "apartment hotel" is the equivalent of the single-room occupancy or "SRO" of today. Many of the rooms within these hotels offered furnished efficiency units with in-suite phones.

### **Statement of Significance/Recommendation of Eligibility**

*Provide a detailed explanation of the property's eligibility for the National Register. Include an evaluation under at least one of the four National Register Criteria and one Area of Significance. Include a discussion of the seven aspects of integrity and make a recommendation about eligibility. This is required for all properties.*

No known events that have made a significant contribution to the broad pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and do not embody the distinctive characteristics of a type, period, or method of construction. As such, Criterion C of the National Register of Historic Places does not apply.

### **References**

*List references used to research and evaluate the individual property. For NRPQ's include copies of key documents.*

**Cass Farm Multiple Property nomination**



# Michigan SHPO Architectural Properties Identification Form

Property Overview and Location



Street Address	495 Brainard Street and 3574 2 <sup>nd</sup> Avenue				
City/Township, State, Zip Code	Detroit, Michigan, 48201				
County	Wayne				
Assessor's Parcel #	02002350.002L and 02002350.001				
Latitude/Longitude (to the 6 <sup>th</sup> decimal point)	Lat: 42.346118	Long: -83.063120			
Ownership	Private <input checked="" type="checkbox"/>	Public-Local <input type="checkbox"/>	Public-State <input type="checkbox"/>	Public-Federal <input type="checkbox"/>	Multiple <input type="checkbox"/>

## Property Type

(Insert primary photograph below.)

Building <input checked="" type="checkbox"/> select sub-type below Commercial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Other <input type="checkbox"/>	Structure <input checked="" type="checkbox"/> Object <input type="checkbox"/>
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## Architectural Information

Construction Date	1938
Architectural Style	Store - Retail
Building Form	Commercial
Roof Form	Flat
Roof Materials	Rubber
Exterior Wall Materials	EIFS
Foundation Materials	Concrete Blocking
Window Materials	Glass and Metal
Window Type	Modern Storefront
Outbuildings	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Number/Type:	

## Eligibility

Individually Eligible	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>
Criteria Considerations:	a. <input type="checkbox"/> b. <input type="checkbox"/> c. <input type="checkbox"/> d. <input type="checkbox"/> e. <input type="checkbox"/> f. <input type="checkbox"/> g. <input type="checkbox"/>			
Component of a Historic District	Contributing to a district <input type="checkbox"/>	Non-contributing to a district <input type="checkbox"/>	Historic District Name	
Not Eligible <input checked="" type="checkbox"/>				
Area(s) of Significance				
Period(s) of Significance				
Integrity – Does the property possess integrity in all or some of the 7 aspects?				
Location <input type="checkbox"/>	Design <input type="checkbox"/>	Materials <input type="checkbox"/>	Workmanship <input type="checkbox"/>	Setting <input type="checkbox"/> Feeling <input type="checkbox"/> Association <input type="checkbox"/>
General Integrity:	Intact <input type="checkbox"/>	Altered <input checked="" type="checkbox"/>	Moved <input type="checkbox"/>	Date(s): N/A
Historic Name	Unknown			
Current/Common Name	Unknown			
Historic/Original Owner	Unknown			
Historic Building Use	Unknown			
Current Building Use	Vacant			
Architect/Engineer/Designer	Unknown			
Builder/Contractor	Unknown			

Survey Date	3/28/2022	Recorded By	Chelsea Dantuma	Agency Report #	12411-1-0003
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For SHPO Use Only	SHPO Concurrence?: Y / N	Date:
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**Narrative Architectural Description**

*Provide a detailed description of the property, including all character-defining features and any accessory resources. This is required for all properties.*

A single-story, commercial building located on the south side of Brainard Street. The building is composed of exterior insulation finishing system (EIFS) exterior finishes. The foundation consists of concrete blocking. Windows are modern commercial windows that have been altered. There are three entry doors that consist of modern glass and aluminum. The roof is classified as flat. The building is shared with 3574 2<sup>nd</sup> Avenue.

**History of the Resource**

*Provide information on previous owners, land use(s), and construction and alteration dates in a narrative format. This is required for all intensive level surveys, NRPQs, and nominations, and recommended for other identification efforts.*

**Statement of Significance/Recommendation of Eligibility**

*Provide a detailed explanation of the property's eligibility for the National Register. Include an evaluation under at least one of the four National Register Criteria and one Area of Significance. Include a discussion of the seven aspects of integrity and make a recommendation about eligibility. This is required for all properties.*

No known events that have made a significant contribution to the broad pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and do not embody the distinctive characteristics of a type, period, or method of construction. As such, Criterion C of the National Register of Historic Places does not apply.

**References**

*List references used to research and evaluate the individual property. For NRPQ's include copies of key documents.*

# Michigan SHPO Architectural Properties Identification Form



## Property Overview and Location

Street Address	676 Martin Luther King Junior Boulevard				
City/Township, State, Zip Code	Detroit, Michigan, 48201				
County	Wayne				
Assessor's Parcel #	04000679-82				
Latitude/Longitude (to the 6 <sup>th</sup> decimal point)	Lat: 42.344797	Long: -83.064605			
Ownership	Private <input checked="" type="checkbox"/>	Public-Local <input type="checkbox"/>	Public-State <input type="checkbox"/>	Public-Federal <input type="checkbox"/>	Multiple <input type="checkbox"/>

## Property Type

(Insert primary photograph below.)

Building <input checked="" type="checkbox"/> select sub-type below	Structure <input checked="" type="checkbox"/>
Commercial <input type="checkbox"/>	Object <input type="checkbox"/>
Residential <input checked="" type="checkbox"/>	
Industrial <input type="checkbox"/>	
Other <input type="checkbox"/>	



## Architectural Information

Construction Date	Ca. 1910s
Architectural Style	classical revival
Building Form	Rectangular
Roof Form	Flat
Roof Materials	PVC
Exterior Wall Materials	Brick and stone
Foundation Materials	Stone
Window Materials	Glass and Metal
Window Type	Double-hung, fixed, glass block
Outbuildings	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Number/Type:	

## Eligibility

Individually Eligible	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>
Criteria Considerations:	a. <input type="checkbox"/> b. <input type="checkbox"/> c. <input type="checkbox"/> d. <input type="checkbox"/> e. <input type="checkbox"/> f. <input type="checkbox"/> g. <input type="checkbox"/>			
Component of a Historic District	Contributing to a district <input type="checkbox"/>	Non-contributing to a district <input type="checkbox"/>	Historic District Name	
Not Eligible <input checked="" type="checkbox"/>				
Area(s) of Significance				
Period(s) of Significance				
Integrity – Does the property possess integrity in all or some of the 7 aspects?				
Location <input type="checkbox"/>	Design <input type="checkbox"/>	Materials <input type="checkbox"/>	Workmanship <input type="checkbox"/>	Setting <input type="checkbox"/> Feeling <input type="checkbox"/> Association <input type="checkbox"/>
General Integrity:	Intact <input type="checkbox"/>	Altered <input checked="" type="checkbox"/>	Moved <input type="checkbox"/>	Date(s): N/A
Historic Name	Trenton			
Current/Common Name	N/A			
Historic/Original Owner	Unknown			
Historic Building Use	Unknown			
Current Building Use	Residential apartments			
Architect/Engineer/Designer	Unknown			
Builder/Contractor	Unknown			

Survey Date	3/28/2022	Recorded By	Chelsea Dantuma	Agency Report #	12411-1-0003
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For SHPO Use Only	SHPO Concurrence?: Y / N	Date:
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**Narrative Architectural Description**

*Provide a detailed description of the property, including all character-defining features and any accessory resources. This is required for all properties.*

A three-story, revival-style residential apartment building located on the north side of Martin Luther King Jr Blvd. The building is primarily rectangular with brick and stone exterior finishes. The foundation consists of stone blocking. Windows consist of metal double-hung replacements windows. Entry door consists of a modern metal door with glass side lites. The roof is classified as flat with replacement aluminum parapet coping.

**History of the Resource**

*Provide information on previous owners, land use(s), and construction and alteration dates in a narrative format. This is required for all intensive level surveys, NRPQs, and nominations, and recommended for other identification efforts.*

**Statement of Significance/Recommendation of Eligibility**

*Provide a detailed explanation of the property's eligibility for the National Register. Include an evaluation under at least one of the four National Register Criteria and one Area of Significance. Include a discussion of the seven aspects of integrity and make a recommendation about eligibility. This is required for all properties.*

No known events that have made a significant contribution to the broad pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and do not embody the distinctive characteristics of a type, period, or method of construction. As such, Criterion C of the National Register of Historic Places does not apply.

**References**

*List references used to research and evaluate the individual property. For NRPQ's include copies of key documents.*

# Michigan SHPO Architectural Properties Identification Form

Property Overview and Location



Street Address	3444 2 <sup>nd</sup> Ave				
City/Township, State, Zip Code	Detroit, Michigan, 48201				
County	Wayne				
Assessor's Parcel #	02002340				
Latitude/Longitude (to the 6 <sup>th</sup> decimal point)	Lat: 42.344489	Long: -83.062297			
Ownership	Private <input checked="" type="checkbox"/>	Public-Local <input type="checkbox"/>	Public-State <input type="checkbox"/>	Public-Federal <input type="checkbox"/>	Multiple <input type="checkbox"/>

## Property Type

(Insert primary photograph below.)

Building <input checked="" type="checkbox"/> select sub-type below	Structure <input checked="" type="checkbox"/>
Commercial <input type="checkbox"/>	Object <input type="checkbox"/>
Residential <input checked="" type="checkbox"/>	
Industrial <input type="checkbox"/>	
Other <input type="checkbox"/>	



## Architectural Information

Construction Date	1924
Architectural Style	Italian Renaissance
Building Form	Square
Roof Form	Flat
Roof Materials	Rubber
Exterior Wall Materials	Brick
Foundation Materials	Concrete Block
Window Materials	Glass and Aluminum
Window Type	Sliding and double-hung, fixed
Outbuildings	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Number/Type:	

## Eligibility

Individually Eligible	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>
Criteria Considerations:	a. <input type="checkbox"/> b. <input type="checkbox"/> c. <input type="checkbox"/> d. <input type="checkbox"/> e. <input type="checkbox"/> f. <input type="checkbox"/> g. <input type="checkbox"/>			
Component of a Historic District	Contributing to a district <input type="checkbox"/>	Non-contributing to a district <input type="checkbox"/>	Historic District Name	
Not Eligible <input checked="" type="checkbox"/>				
Area(s) of Significance				
Period(s) of Significance				
Integrity – Does the property possess integrity in all or some of the 7 aspects?				
Location <input type="checkbox"/>	Design <input type="checkbox"/>	Materials <input type="checkbox"/>	Workmanship <input type="checkbox"/>	Setting <input type="checkbox"/> Feeling <input type="checkbox"/> Association <input type="checkbox"/>
General Integrity:	Intact <input type="checkbox"/>	Altered <input checked="" type="checkbox"/>	Moved <input type="checkbox"/>	Date(s):
Historic Name	Heather Hall			
Current/Common Name	Heather Hall			
Historic/Original Owner				
Historic Building Use	Apartments			
Current Building Use	Apartments			
Architect/Engineer/Designer	Robert O. Derrick			
Builder/Contractor				

Survey Date	3/28/2022	Recorded By	Chelsea Dantuma	Agency Report #	12411-1-0003
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For SHPO Use Only	SHPO Concurrence?: Y / N	Date:
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## **Narrative Architectural Description**

*Provide a detailed description of the property, including all character-defining features and any accessory resources. This is required for all properties.*

An eleven-story, Italian Renaissance-style residential hotel located on the north side of 2<sup>nd</sup> Avenue. The building is square shaped with brick and stone exterior finishes. The foundation consists of concrete. Windows are sliding and double-hung. There is one main entry door that consists of modern glass and wood. The roof is classified as flat.

## **History of the Resource**

*Provide information on previous owners, land use(s), and construction and alteration dates in a narrative format. This is required for all intensive level surveys, NRPQs, and nominations, and recommended for other identification efforts.*

Heather Hall was designed by architect Robert O. Derrick in the Italian Renaissance style in the 1920s. There are newly refinished concrete floors, new kitchens, and updated bathrooms throughout the building. Heather Hall has also been outfitted with a newly refurbished passenger elevator. The exterior of the building has been recently altered, which includes modern brick repair and re-pointing.

## **Statement of Significance/Recommendation of Eligibility**

*Provide a detailed explanation of the property's eligibility for the National Register. Include an evaluation under at least one of the four National Register Criteria and one Area of Significance. Include a discussion of the seven aspects of integrity and make a recommendation about eligibility. This is required for all properties.*

Extensive alterations have occurred throughout the building that have altered the original design. Therefore, Criterion A, B, and C of the National Register of Historic Places does not apply.

## **References**

*List references used to research and evaluate the individual property. For NRPQ's include copies of key documents.*

**Heather Detroit website accessed March 28, 2022. <https://www.heatherdetroit.com/about>.**

# Michigan SHPO Architectural Properties Identification Form



## Property Overview and Location

Street Address	3445 2 <sup>nd</sup> Ave				
City/Township, State, Zip Code	Detroit, Michigan, 48201				
County	Wayne				
Assessor's Parcel #	04003302				
Latitude/Longitude (to the 6 <sup>th</sup> decimal point)	Lat: 42.344309	Long: -83.062897			
Ownership	Private <input checked="" type="checkbox"/>	Public-Local <input type="checkbox"/>	Public-State <input type="checkbox"/>	Public-Federal <input type="checkbox"/>	Multiple <input type="checkbox"/>

## Property Type

(Insert primary photograph below.)

Building <input checked="" type="checkbox"/> select sub-type below	Structure <input checked="" type="checkbox"/>
Commercial <input checked="" type="checkbox"/>	Object <input type="checkbox"/>
Residential <input type="checkbox"/>	
Industrial <input type="checkbox"/>	
Other <input type="checkbox"/>	



## Architectural Information

Construction Date	1940		
Architectural Style	Store – Retail		
Building Form	Rectangular		
Roof Form	Flat/none		
Roof Materials	demolished		
Exterior Wall Materials	Brick		
Foundation Materials	Unknown		
Window Materials	Unknown		
Window Type	Unknown		
Outbuildings	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Number/Type:			

## Eligibility

Individually Eligible	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>
Criteria Considerations:	a. <input type="checkbox"/> b. <input type="checkbox"/> c. <input type="checkbox"/> d. <input type="checkbox"/> e. <input type="checkbox"/> f. <input type="checkbox"/> g. <input type="checkbox"/>			
Component of a Historic District	Contributing to a district <input type="checkbox"/>	Non-contributing to a district <input type="checkbox"/>	Historic District Name	
Not Eligible <input checked="" type="checkbox"/>				
Area(s) of Significance				
Period(s) of Significance				
Integrity – Does the property possess integrity in all or some of the 7 aspects?				
Location <input type="checkbox"/>	Design <input type="checkbox"/>	Materials <input type="checkbox"/>	Workmanship <input type="checkbox"/>	Setting <input type="checkbox"/> Feeling <input type="checkbox"/> Association <input type="checkbox"/>
General Integrity:	Intact <input type="checkbox"/>	Altered <input type="checkbox"/>	Moved <input type="checkbox"/>	Date(s):
Historic Name	Unknown			
Current/Common Name	Unknown			
Historic/Original Owner	Unknown			
Historic Building Use	Unknown			
Current Building Use	Commercial / Vacant			
Architect/Engineer/Designer	Unknown			
Builder/Contractor	Unknown			

Survey Date	3/28/2022	Recorded By	Chelsea Dantuma	Agency Report #	12411-1-0003
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For SHPO Use Only	SHPO Concurrence?: Y / N	Date:
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**Narrative Architectural Description**

*Provide a detailed description of the property, including all character-defining features and any accessory resources. This is required for all properties.*

A single-story, commercial-style building located on the west side of 2<sup>nd</sup> Avenue. The commercial building has painted brick exterior finishes. The foundation and window materials are not visible. There are currently no entry doors that can be viewed. The roof is classified as flat, based on aerial images, has been demolished.

**History of the Resource**

*Provide information on previous owners, land use(s), and construction and alteration dates in a narrative format. This is required for all intensive level surveys, NRPQs, and nominations, and recommended for other identification efforts.*

**Statement of Significance/Recommendation of Eligibility**

*Provide a detailed explanation of the property's eligibility for the National Register. Include an evaluation under at least one of the four National Register Criteria and one Area of Significance. Include a discussion of the seven aspects of integrity and make a recommendation about eligibility. This is required for all properties.*

No known events that have made a significant contribution to the broad pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and do not embody the distinctive characteristics of a type, period, or method of construction. As such, Criterion C of the National Register of Historic Places does not apply.

**References**

*List references used to research and evaluate the individual property. For NRPQ's include copies of key documents.*



# Michigan SHPO Architectural Properties Identification Form

Property Overview and Location



Street Address	3470 2 <sup>nd</sup> Ave				
City/Township, State, Zip Code	Detroit, Michigan, 48201				
County	Wayne				
Assessor's Parcel #	02000729-31				
Latitude/Longitude (to the 6 <sup>th</sup> decimal point)	Lat: 42.344733	Long: -83.062242			
Ownership	Private <input checked="" type="checkbox"/>	Public-Local <input type="checkbox"/>	Public-State <input type="checkbox"/>	Public-Federal <input type="checkbox"/>	Multiple <input type="checkbox"/>

## Property Type

(Insert primary photograph below.)

Building <input checked="" type="checkbox"/> select sub-type below	Structure <input checked="" type="checkbox"/>
Commercial <input checked="" type="checkbox"/>	Object <input type="checkbox"/>
Residential <input type="checkbox"/>	
Industrial <input type="checkbox"/>	
Other <input type="checkbox"/>	



## Architectural Information

Construction Date	1971
Architectural Style	Store – Retail
Building Form	Rectangular
Roof Form	Flat
Roof Materials	Rubber
Exterior Wall Materials	Brick and asphalt Shingle
Foundation Materials	Concrete Block
Window Materials	Glass and Metal
Window Type	Storefront
Outbuildings	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Number/Type:	

## Eligibility

Individually Eligible	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>
Criteria Considerations:	a. <input type="checkbox"/> b. <input type="checkbox"/> c. <input type="checkbox"/> d. <input type="checkbox"/> e. <input type="checkbox"/> f. <input type="checkbox"/> g. <input type="checkbox"/>			
Component of a Historic District	Contributing to a district <input type="checkbox"/>	Non-contributing to a district <input type="checkbox"/>	Historic District Name	
Not Eligible <input checked="" type="checkbox"/>				
Area(s) of Significance				
Period(s) of Significance				
Integrity – Does the property possess integrity in all or some of the 7 aspects?				
Location <input type="checkbox"/>	Design <input type="checkbox"/>	Materials <input type="checkbox"/>	Workmanship <input type="checkbox"/>	Setting <input type="checkbox"/> Feeling <input type="checkbox"/> Association <input type="checkbox"/>
General Integrity:	Intact <input type="checkbox"/>	Altered <input type="checkbox"/>	Moved <input type="checkbox"/>	Date(s):
Historic Name	Unknown			
Current/Common Name	Fred's Key Shop			
Historic/Original Owner	Unknown			
Historic Building Use	Store – Retail			
Current Building Use	Store – Retail			
Architect/Engineer/Designer	Unknown			
Builder/Contractor	Unknown			

Survey Date	3/28/2022	Recorded By	Chelsea Dantuma	Agency Report #	12411-1-0003
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For SHPO Use Only	SHPO Concurrence?: Y / N	Date:
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### **Narrative Architectural Description**

*Provide a detailed description of the property, including all character-defining features and any accessory resources. This is required for all properties.*

A single-story, commercial-style retail building located on the east side of 2<sup>nd</sup> Avenue. The building is L-shaped with brick and asphalt shingle exterior finishes. The foundation consists of concrete blocking. Aluminum storefront systems are present. Entry doors are metal with various overhead doors located throughout the building exterior. The roof is classified as flat.

### **History of the Resource**

*Provide information on previous owners, land use(s), and construction and alteration dates in a narrative format. This is required for all intensive level surveys, NRPQs, and nominations, and recommended for other identification efforts.*

### **Statement of Significance/Recommendation of Eligibility**

*Provide a detailed explanation of the property's eligibility for the National Register. Include an evaluation under at least one of the four National Register Criteria and one Area of Significance. Include a discussion of the seven aspects of integrity and make a recommendation about eligibility. This is required for all properties.*

No known events that have made a significant contribution to the broad pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and do not embody the distinctive characteristics of a type, period, or method of construction. As such, Criterion C of the National Register of Historic Places does not apply.

### **References**

*List references used to research and evaluate the individual property. For NRPQ's include copies of key documents.*

# Michigan SHPO Architectural Properties Identification Form



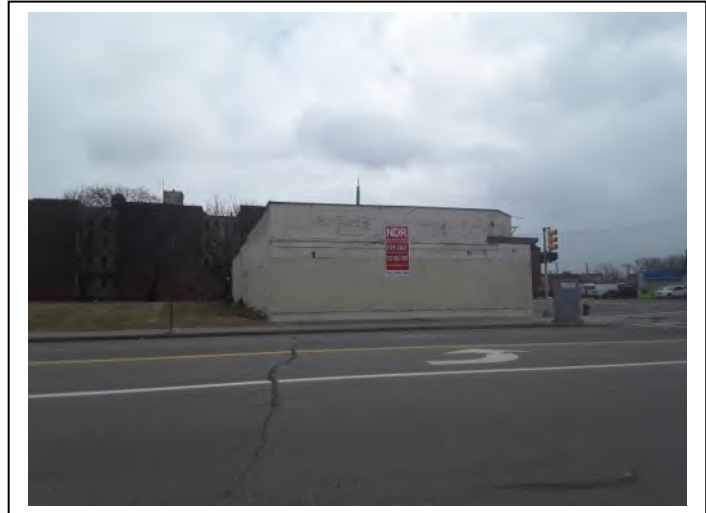
## Property Overview and Location

Street Address	3500 2 <sup>nd</sup> Ave				
City/Township, State, Zip Code	Detroit, Michigan, 48201				
County	Wayne				
Assessor's Parcel #	02002341-2				
Latitude/Longitude (to the 6 <sup>th</sup> decimal point)	Lat: 42.345177	Long: -83.062713			
Ownership	Private <input checked="" type="checkbox"/>	Public-Local <input type="checkbox"/>	Public-State <input type="checkbox"/>	Public-Federal <input type="checkbox"/>	Multiple <input type="checkbox"/>

## Property Type

(Insert primary photograph below.)

Building <input checked="" type="checkbox"/> select sub-type below	Structure <input checked="" type="checkbox"/>
Commercial <input checked="" type="checkbox"/>	Object <input type="checkbox"/>
Residential <input type="checkbox"/>	
Industrial <input type="checkbox"/>	
Other <input type="checkbox"/>	



## Architectural Information

Construction Date	1950
Architectural Style	Store-Retail
Building Form	Rectangular
Roof Form	Flat
Roof Materials	Rubber
Exterior Wall Materials	Brick
Foundation Materials	concrete
Window Materials	Unknown – not visible
Window Type	Unknown
Outbuildings	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Number/Type:	

## Eligibility

Individually Eligible	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>
Criteria Considerations:	a. <input type="checkbox"/> b. <input type="checkbox"/> c. <input type="checkbox"/> d. <input type="checkbox"/> e. <input type="checkbox"/> f. <input type="checkbox"/> g. <input type="checkbox"/>			
Component of a Historic District	Contributing to a district <input type="checkbox"/>	Non-contributing to a district <input type="checkbox"/>	Historic District Name	
Not Eligible <input checked="" type="checkbox"/>				
Area(s) of Significance				
Period(s) of Significance				
Integrity – Does the property possess integrity in all or some of the 7 aspects?				
Location <input type="checkbox"/>	Design <input type="checkbox"/>	Materials <input type="checkbox"/>	Workmanship <input type="checkbox"/>	Setting <input type="checkbox"/> Feeling <input type="checkbox"/> Association <input type="checkbox"/>
General Integrity:	Intact <input type="checkbox"/>	Altered <input type="checkbox"/>	Moved <input type="checkbox"/>	Date(s):
Historic Name	Unknown			
Current/Common Name	Unknown			
Historic/Original Owner	Unknown			
Historic Building Use	Commercial			
Current Building Use	Vacant			
Architect/Engineer/Designer	Unknown			
Builder/Contractor	Unknown			

Survey Date	3/28/2022	Recorded By	Chelsea Dantuma	Agency Report #	12411-1-0003
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For SHPO Use Only	SHPO Concurrence?: Y / N	Date:
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**Narrative Architectural Description**

*Provide a detailed description of the property, including all character-defining features and any accessory resources. This is required for all properties.*

A single-story, commercial-style building located on the east side of 2<sup>nd</sup> Avenue. The building is primary rectangular shaped with painted brick exterior finishes. Windows are unknown because they are currently covered. Exterior doors include metal pedestrian doors and an overhead rollup door. The roof is classified as flat.

**History of the Resource**

*Provide information on previous owners, land use(s), and construction and alteration dates in a narrative format. This is required for all intensive level surveys, NRPQs, and nominations, and recommended for other identification efforts.*

**Statement of Significance/Recommendation of Eligibility**

*Provide a detailed explanation of the property's eligibility for the National Register. Include an evaluation under at least one of the four National Register Criteria and one Area of Significance. Include a discussion of the seven aspects of integrity and make a recommendation about eligibility. This is required for all properties.*

No known events that have made a significant contribution to the broad pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and do not embody the distinctive characteristics of a type, period, or method of construction. As such, Criterion C of the National Register of Historic Places does not apply.

**References**

*List references used to research and evaluate the individual property. For NRPQ's include copies of key documents.*

# Michigan SHPO Architectural Properties Identification Form



## Property Overview and Location

Street Address	3525 & 3527 2 <sup>nd</sup> Avenue					
City/Township, State, Zip Code	Detroit, Michigan, 48201					
County	Wayne					
Assessor's Parcel #	04003301					
Latitude/Longitude (to the 6 <sup>th</sup> decimal point)	Lat: 42.345340		Long: -83.063280			
Ownership	Private <input checked="" type="checkbox"/>	Public-Local <input type="checkbox"/>	Public-State <input type="checkbox"/>	Public-Federal <input type="checkbox"/>	Multiple <input type="checkbox"/>	

## Property Type

(Insert primary photograph below.)

Building <input checked="" type="checkbox"/> select sub-type below	Structure <input checked="" type="checkbox"/>
Commercial <input type="checkbox"/>	Object <input type="checkbox"/>
Residential <input checked="" type="checkbox"/>	
Industrial <input type="checkbox"/>	
Other <input type="checkbox"/>	



## Architectural Information

Construction Date	1910	
Architectural Style	Four Square	
Building Form	Square	
Roof Form	Pitched	
Roof Materials	Asphalt Shingle	
Exterior Wall Materials	Brick	
Foundation Materials	Concrete	
Window Materials	Glass and Vinyl	
Window Type	Double-hung, fixed	
Outbuildings	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Number/Type:		

## Eligibility

Individually Eligible	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>
Criteria Considerations:	a. <input type="checkbox"/> b. <input type="checkbox"/> c. <input type="checkbox"/> d. <input type="checkbox"/> e. <input type="checkbox"/> f. <input type="checkbox"/> g. <input type="checkbox"/>		
Component of a Historic District	Contributing to a district <input type="checkbox"/>	Non-contributing to a district <input type="checkbox"/>	Historic District Name
Not Eligible <input checked="" type="checkbox"/>			
Area(s) of Significance			
Period(s) of Significance			
Integrity – Does the property possess integrity in all or some of the 7 aspects?			
Location <input checked="" type="checkbox"/>	Design <input type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/> Setting <input type="checkbox"/> Feeling <input type="checkbox"/> Association <input type="checkbox"/>
General Integrity:	Intact <input type="checkbox"/>	Altered <input type="checkbox"/>	Moved <input type="checkbox"/> Date(s):
Historic Name	N/A		
Current/Common Name	N/A		
Historic/Original Owner	N/A		
Historic Building Use	Residential		
Current Building Use	Residential		
Architect/Engineer/Designer	Unknown		
Builder/Contractor	Unknown		

Survey Date	3/28/2022	Recorded By	Chelsea Dantuma	Agency Report #	12411-1-0003
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For SHPO Use Only	SHPO Concurrence?: Y / N	Date:
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**Narrative Architectural Description**

*Provide a detailed description of the property, including all character-defining features and any accessory resources. This is required for all properties.*

A three-story, four-square residential duplex dwelling located on the west side of 2<sup>nd</sup> Avenue. The dwelling is square shaped with brick exterior finishes. The foundation consists of concrete blocking. Windows are double hung with vinyl surrounds. There are two main entry doors, one for each address. The roof is classified as hipped and has asphalt shingle roof finishes.

**History of the Resource**

*Provide information on previous owners, land use(s), and construction and alteration dates in a narrative format. This is required for all intensive level surveys, NRPQs, and nominations, and recommended for other identification efforts.*

**Statement of Significance/Recommendation of Eligibility**

*Provide a detailed explanation of the property's eligibility for the National Register. Include an evaluation under at least one of the four National Register Criteria and one Area of Significance. Include a discussion of the seven aspects of integrity and make a recommendation about eligibility. This is required for all properties.*

No known events that have made a significant contribution to the broad pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and do not embody the distinctive characteristics of a type, period, or method of construction. As such, Criterion C of the National Register of Historic Places does not apply.

**References**

*List references used to research and evaluate the individual property. For NRPQ's include copies of key documents.*

# Michigan SHPO Architectural Properties Identification Form



## Property Overview and Location

Street Address	3531 and 3533 2 <sup>nd</sup> Ave				
City/Township, State, Zip Code	Detroit, Michigan, 48201				
County	Wayne				
Assessor's Parcel #	04003297-300				
Latitude/Longitude (to the 6 <sup>th</sup> decimal point)	Lat: 42.345369	Long: -83.063527			
Ownership	Private <input checked="" type="checkbox"/>	Public-Local <input type="checkbox"/>	Public-State <input type="checkbox"/>	Public-Federal <input type="checkbox"/>	Multiple <input type="checkbox"/>

## Property Type

(Insert primary photograph below.)

Building <input checked="" type="checkbox"/> select sub-type below	Structure <input checked="" type="checkbox"/>
Commercial <input type="checkbox"/>	Object <input type="checkbox"/>
Residential <input checked="" type="checkbox"/>	
Industrial <input type="checkbox"/>	
Other <input type="checkbox"/>	



## Architectural Information

Construction Date	1910
Architectural Style	Four Square
Building Form	Square
Roof Form	Hipped
Roof Materials	Asphalt Shingles
Exterior Wall Materials	Brick
Foundation Materials	Concrete Blocking
Window Materials	Glass and Vinyl
Window Type	Double-hung, fixed
Outbuildings	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Number/Type:	

## Eligibility

Individually Eligible	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>
Criteria Considerations:	a. <input type="checkbox"/> b. <input type="checkbox"/> c. <input type="checkbox"/> d. <input type="checkbox"/> e. <input type="checkbox"/> f. <input type="checkbox"/> g. <input type="checkbox"/>			
Component of a Historic District	Contributing to a district <input type="checkbox"/>	Non-contributing to a district <input type="checkbox"/>	Historic District Name	
Not Eligible <input checked="" type="checkbox"/>				
Area(s) of Significance				
Period(s) of Significance				
Integrity – Does the property possess integrity in all or some of the 7 aspects?				
Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input type="checkbox"/> Feeling <input type="checkbox"/> Association <input type="checkbox"/>
General Integrity:	Intact <input type="checkbox"/>	Altered <input type="checkbox"/>	Moved <input type="checkbox"/>	Date(s):
Historic Name	N/A			
Current/Common Name	N/A			
Historic/Original Owner	Unknown			
Historic Building Use	Residential			
Current Building Use	Residential			
Architect/Engineer/Designer	Unknown			
Builder/Contractor	Unknown			

Survey Date	3/28/2022	Recorded By	Chelsea Dantuma	Agency Report #	12411-1-0003
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For SHPO Use Only	SHPO Concurrence?: Y / N	Date:
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**Narrative Architectural Description**

*Provide a detailed description of the property, including all character-defining features and any accessory resources. This is required for all properties.*

A three-story, four-square residential duplex dwelling located on the west side of 2<sup>nd</sup> Avenue. The dwelling is square shaped with brick exterior finishes. The foundation consists of concrete blocking. Windows are double hung with vinyl surrounds. There are two main entry doors, one for each address. The roof is classified as hipped and has asphalt shingle roof finishes.

**History of the Resource**

*Provide information on previous owners, land use(s), and construction and alteration dates in a narrative format. This is required for all intensive level surveys, NRPQs, and nominations, and recommended for other identification efforts.*

**Statement of Significance/Recommendation of Eligibility**

*Provide a detailed explanation of the property's eligibility for the National Register. Include an evaluation under at least one of the four National Register Criteria and one Area of Significance. Include a discussion of the seven aspects of integrity and make a recommendation about eligibility. This is required for all properties.*

No known events that have made a significant contribution to the broad pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and do not embody the distinctive characteristics of a type, period, or method of construction. As such, Criterion C of the National Register of Historic Places does not apply.

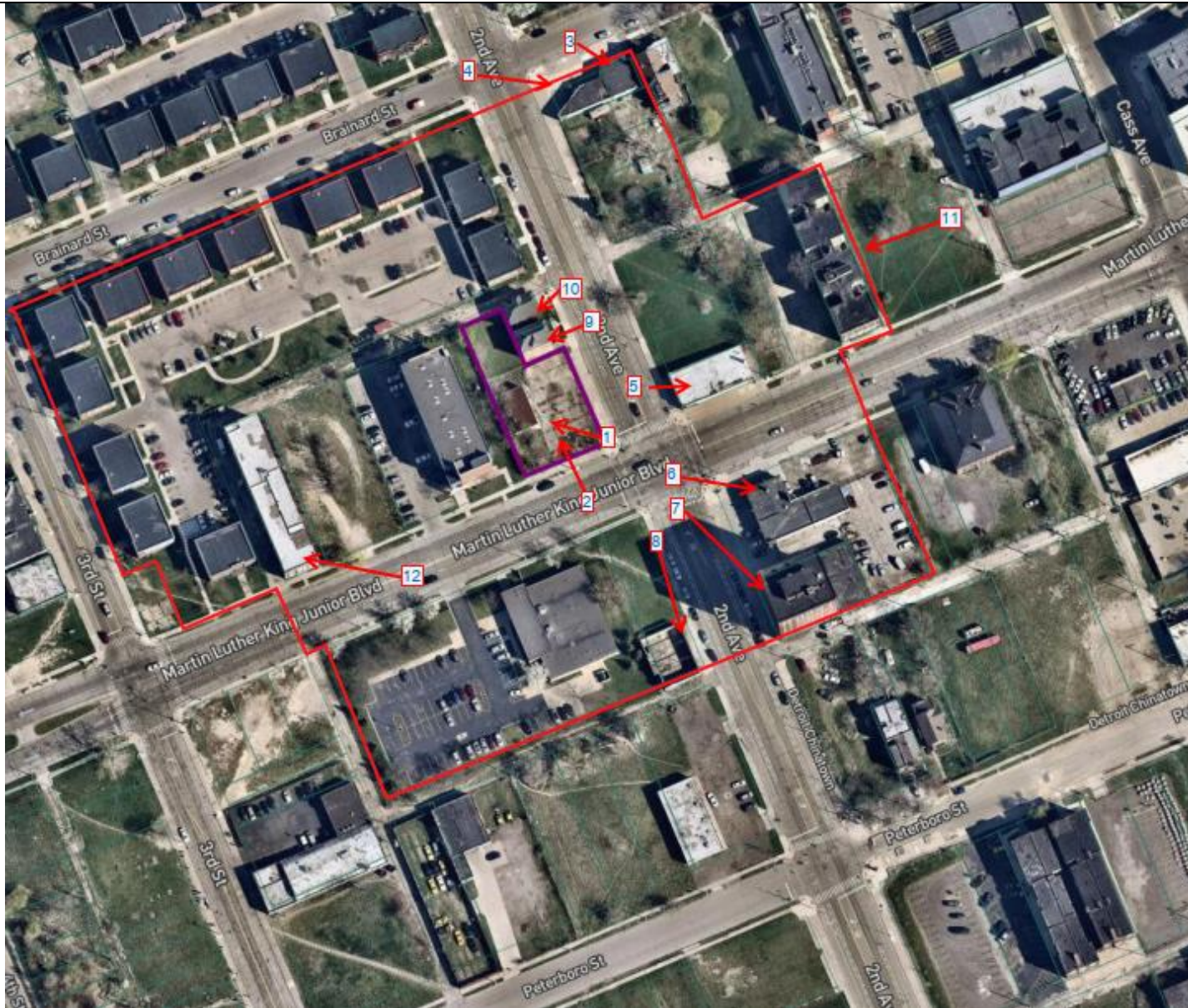
**References**

*List references used to research and evaluate the individual property. For NRPQ's include copies of key documents.*



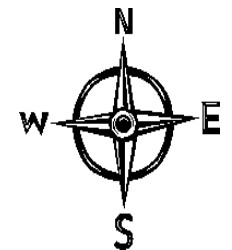
# Photograph Location Map





### Photograph Location Map

MLK on 2<sup>nd</sup> Apartments  
3515 2<sup>nd</sup> Avenue, Detroit, Michigan 48201  
PM Project No. 01-12411-1-0003



# Photographs





Photographs From Site Reconnaissance  
PM Project No. 01-12411-1-0003  
Location: 3515 2nd Avenue, Detroit, Michigan

### Photograph 1



Subject Property: 3515 2<sup>nd</sup> Avenue

### Photograph 2



Subject Property: 3515 2<sup>nd</sup> Avenue



Photographs From Site Reconnaissance  
PM Project No. 01-12411-1-0003  
Location: 3515 2nd Avenue, Detroit, Michigan

### Photograph 3



495 Brainard Street (1938)

### Photograph 4



3574 2<sup>nd</sup> Avenue (1938)



Photographs From Site Reconnaissance  
PM Project No. 01-12411-1-0003  
Location: 3515 2nd Avenue, Detroit, Michigan

### Photograph 5



3500 2<sup>nd</sup> Avenue (1950)

### Photograph 6



3470 2<sup>nd</sup> Avenue (1971)



Photographs From Site Reconnaissance  
PM Project No. 01-12411-1-0003  
Location: 3515 2nd Avenue, Detroit, Michigan

### Photograph 7



3444 2<sup>nd</sup> Avenue (1924)

### Photograph 8



3445 2<sup>nd</sup> Avenue (1940)



Photographs From Site Reconnaissance  
PM Project No. 01-12411-1-0003  
Location: 3515 2nd Avenue, Detroit, Michigan

### Photograph 9



3525 and 3527 2<sup>nd</sup> Avenue (1910)

### Photograph 10



3531 and 3533 2<sup>nd</sup> Avenue (1910)





Photographs From Site Reconnaissance  
PM Project No. 01-12411-1-0003  
Location: 3515 2nd Avenue, Detroit, Michigan

### Photograph 11



470 Martin Luther King Junior Boulevard (1926)

### Photograph 12



676 Martin Luther King Junior Boulevard (Ca. 1910s)

# Scope of Work





*An affordable non-profit housing corporation serving Michigan's housing needs*

## MLK on 2<sup>nd</sup> Narrative

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### Project Narrative

The partnership of MHT Housing, Inc. (“MHT”) and Nassar Companies, LLC (“Nassar”) is pleased to undertake the new construction of a four-story, mixed-use, affordable apartment community located at 3515 2<sup>nd</sup> Avenue, Detroit, Michigan. The property will feature 33 affordable apartment units managed by MHT Housing’s affiliated managing agent, MHT Management, LLC. In addition, the property will include roughly 1,000 square feet of commercial space facing Martin Luther King Jr. Blvd. Please note the development team is not underwriting to any commercial revenue in the proforma. The partnership plans to target a wide range of residents in this development, due to its central location within the city, and will provide future residents with unparalleled access to opportunity. With MHT’s 30+ years of affordable housing development experience, Nassar’s many years of commercial and market rate development, and MHT Management’s 15+ years of affordable management experience, there will be sufficient strength and expertise to get this development completed. In looking at the landscape for those needing affordable housing options, the team feels that this housing development offers a great opportunity to provide affordable units on an underutilized, vacant site in an area that is experiencing tremendous growth. The project is consistent with the City of Detroit’s neighborhood revitalization plan and has received \$1,000,000 in HOME subsidy from Detroit and 5 units of Project Based Vouchers from the Detroit Housing Commission. Further, the enclosed application provides evidence of the transactions readiness to proceed. MHT and Nassar is submitting a 9% Low Income Housing Tax Credit application for this property in the proposed **February 2021 Funding Round**.

**Given program rent restrictions, there will be minimal cash flow to pay all operating expenses and the required new mortgage. Therefore, MHT is requesting that a new 4% PILOT be awarded to be concurrent with the new Permanent Mortgage on the property.**

### Project Location

The Property will be located at 3515 2<sup>nd</sup> Avenue, Detroit, Michigan 48201, in the Midtown area of Detroit. This location will provide access to all the best amenities the City of Detroit has to offer for the residents living in the development. Within just a few blocks in any direction are many of Detroit’s most significant amenities, restaurants, arenas, shopping, and any other need potential residents may have. Due to its exceptional location, residents of MLK on 2<sup>nd</sup> will have access to full-service grocery store, pharmacy, general practice doctor’s office, clinic, and park, among other amenities. Further, the property will have access to all of the City’s public transit options, allowing



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for access to the available services and amenities to the residents as needed, should they need to access something a bit further away from the site. The planned construction of affordable housing units in this location not only provides great opportunities for future residents, but also makes optimal use of a currently vacant site in the heart of Midtown Detroit.

### **Planned Financing Sources**

- \$6,118,847 - 9% Low Income Housing Tax Credits Syndicated by City Real Estate Advisors
- \$1,037,650 - Conventional Permanent Mortgage from Cinnaire Lending
- \$1,000,000 - City of Detroit HOME Funds
- \$200 - GP and SLP Equity
- \$46,828 - Deferred Developer Fee
- \$5,000,000 – Fifth Third Bank Construction Loan

### **Affordability, Unit Mix, & Utilities**

The Project will consist of 33 one-bedroom units, all units of which will have one bathroom, with unit sizes planned to be approximately 575 square feet. All units will be available for individuals and families regardless of their age. MLK on 2<sup>nd</sup> is planned to be completed as a 9% LIHTC development utilizing income averaging, which will include 12 units at 40% area median income, 16 units at 80% area median income, and of 5 units at or below 30% of area median income with assistance provided by DHC Project Based Vouchers. Residents residing in the DHC Voucher units will not be responsible for utilities, as the development will cover the monthly utilities for those units. The residents occupying the remainder of the units will be responsible for monthly gas and electric costs, estimated to be approximately \$80 per month. Confirmation of the DHC's commitment to providing the development with 5 Project Based Vouchers was awarded on May 14, 2020 as shown in Exhibit 31. Further details of the development financing can be found in the enclosed proforma.

### **Amenities**

The Development Team, contractor, and architect plan to certify to complete the development in accordance with Enterprise Green Environmental Criteria, accessible community space over 500 square feet, a 1,500 square foot roof-top garden, 10% barrier free and 100% visitable units. The Project will feature first class amenities for its residents. Each unit will feature energy efficient appliances including washers and dryers, dishwashers, frost free refrigerators, ovens, ranges with hoods, disposals, microwaves, and central air conditioning. The development will also feature a



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combination of private parking, with an attached parking lot, a nearby lot and street parking, allowing for adequate parking availability to meet both the resident needs and the City's requirements. In addition, the Partnership will work closely with the City of Detroit to build and construct the property in accordance with neighborhood features and local design requirements.

### **Developer & Management**

MLK on 2<sup>nd</sup> is being co-developed through a memorandum of understanding between MHT and Nassar Companies. Both entities will provide required basis and timing guaranties, operating deficit guarantees and repurchase obligations to Investor Member to the extent requested. The property will be constructed by MHT Construction and professionally managed by MHT Management.

MHT has over 30 years of affordable housing development experience in the State of Michigan and is a 501(c)(3) nonprofit organization. MHT serves as the general or managing member of nearly 6,500 elderly and family units and has been successful in obtaining multiple funding sources for preservation, adaptive reuse, and new construction projects, that include HOME and NSP funding, Brownfield and Historic tax credits, HUD221(d)4 and Fannie Mae loans. The property will be managed by MHT's affiliated management company, MHT Management. MHT Management was formed in 2017 and has a shared service agreement with Continental Management. Continental Management was formed in 2003 and now oversees 122 affordable housing developments which are unsurpassed in terms of quality and efficiency. In fact, Continental Management was named 2016 and 2020 Property Management Company of the Year by the Detroit Metropolitan Apartment Association. Continental Management has no unresolved compliance audit findings and all federally assisted properties have REAC scores that average 93.9. All management and occupancy reviews are satisfactory and above.

Nassar Companies, LLC is an established investor, developer, general contractor/construction manager, and property manager that delivers new state-of-the-art, commercial Hi-Technology Facilities, Office, Speculative Facilities, Special Project, and Mixed-Use developments. It has successfully acquired, developed, and constructed facilities for some of the most respected corporations in the world. This includes but not limited to Tenneco, Hella, Faurecia, Toyota, Fujitsu, GKN Driveline, Mando America, and many others. Nassar Companies has experience working primarily within Southeast Michigan in communities such as Novi, Wixom, Northville, Plymouth, Lyon Township, Auburn Hills, Dearborn, and others. The team at Nassar Companies brings over thirty years of experience and a proven track record.

# Project Plans











**FIRE SEPARATION:**

MBC Sect 1023.2	Interior Exit Stairway Fire Barrier (Connecting 4-stories or more).	Wall Fire Door	2 Hour Fire Rating 1 1/2 Hour Fire Rating (MBC T.716.5) Vision lite: 100 sq. in.
MBC Sect 713.4	Shaft Enclosure (Elevator Hoistway) (Connecting 4-stories or more).	Wall Fire Door	2 Hour Fire Rating 1 1/2 Hour Fire Rating (MBC T.716.5)
MBC T. 1020.1	Residential Corridor Wall Fire Partition	Wall	0.5 Hr Fire Rating w/ fire suppression system
MBC Sect. 708	Fire Partitions Walls separating dwelling units Walls separating tenant spaces Walls separating elevator lobby	Fire Door	1/3 Hour (20 min.) Fire Rating (MBC T.716.5)
MBC Sect. 711	Horizontal Assemblies Floors separating dwelling units Floors separating occupancies (R / B)	1 Hour 1 Hour w/ fire suppression system (MBC T.508.4)	
MBC Sect 509 MBC T. 509	Incidental Use Area Fire Separation Mechanical Room	1-Hour Fire Rating, or provide automatic fire-extinguishing system and construction capable of resisting the passage of smoke	

**LIFE SAFETY LEGEND**

---	TRAVEL PATH
---	1/2 HOUR FIRE RATED PARTITION
---	1 HOUR FIRE RATED PARTITION
---	2 HOUR FIRE RATED PARTITION
---	2 HOUR FIRE RATED WALL
---	SOLID BRICK MASONRY
FE	RECESSED-100 ABC DRY CHEMICAL FIRE EXTINGUISHER

**FIRE RESISTANCE CONSTRUCTION DESCRIPTIONS:**

Roof-Ceiling	1-Hour Fire Rated	UL Design No. P522 Wood roof trusses, wood structural panels, resilient channels, glass or mineral fiber batt, blanket, or loose-fill cellulose insulation, and gypsum wallboard
Roof-Ceiling	1-Hour Fire Rated	Gypsum Assoc. File No. RC 2601 or GA-610-13 (2) Layers 5/8" Type X gyp. bd. attached to underside of 2x10 min. roof/ceiling joists. Or "Fire Resistance Provided By Gypsum Board Membrane Protection": (2) layers 5/8" Type X gyp. bd. directly applied to any framing or furring.
Floor-Ceiling	1-Hour Fire Rated	UL Design No. L521, GA File No. FC 5518 Wood trusses, wood structural panels, gypsum floor topping, resilient channels, glass or mineral fiber batt, blanket, or loose-fill cellulose insulation, ceiling damper, and gypsum wallboard
Floor-Ceiling	1-Hour Fire Rated	UL Design No. L569, GA File No. FC 5109 Wood joists, wood structural panels, gypsum floor topping, resilient channels, glass or mineral fiber batt, blanket, or loose-fill cellulose insulation, ceiling damper, and gypsum wallboard
Floor-Ceiling	2-Hour Fire Rated	UL Design No. L577, GA File No. FC 5752 Wood trusses, wood structural panels, gypsum floor topping, resilient channels, glass or mineral fiber batt, blanket, or loose-fill cellulose insulation, ceiling damper, and gypsum wallboard
Wall	1-Hour Fire Rated	UL Design No. U305, GA File No. WP 3661 Wood studs, resilient channels-one side (opt.), (1) layer 5/8" Type X gypsum wall board each side, mineral or glass fiber insulation
Wall	1-Hour Fire Rated	UL Design No. U344 Wood studs, wood structural panel sheathing, resilient channels-one side (opt.), (1) layer 5/8" Type X gypsum wall board each side, mineral or glass fiber, or fiber-sprayed insulation
Wall	2-Hour Fire Rated	UL Design No. U301, GA File No. WP 4230 Wood studs, resilient channels-one side (opt.), (2) layers 5/8" Type X gypsum wall board each side, mineral or glass fiber insulation
Wall	2-Hour Fire Rated	UL Design No. U905 Concrete block (CMU)

**Accessibility Requirements**

**Fair Housing Act (FHA)**  
All covered units in NEW multifamily housing built for first occupancy after March 13, 1991 shall adhere to the Seven Technical Requirements of the Fair Housing Act Design Manual. To be a covered unit, all of the finished living space must be on the same floor, that is, be a single-story unit.

**Requirement 1** Accessible building entrance on an accessible route  
**Requirement 2** Accessible and usable public and common use areas  
**Requirement 3** Usable doors  
**Requirement 4** Accessible route into and through the Covered Unit  
**Requirement 5** Light switches, electrical outlets, thermostats, and other environmental controls in accessible locations  
**Requirement 6** Reinforced walls for grab bars  
**Requirement 7** Usable kitchens and bathrooms

**Section 504 of the Rehabilitation Act of 1973**  
Section 504 pertains to Federally Funded projects ONLY. Scoping requirements are set forth in HUD's final regulation and may be found at 24 CFR Part 8. Applicable units shall be made accessible per the technical requirements of UFAS (Uniform Federal Accessibility Standards)  
5% of the total dwelling units shall be made accessible for persons with mobility impairments. 25 units x 5% = 2 units  
2% of the total dwelling units shall be made accessible for persons with hearing or vision impairments. 25 units x 2% = 1 unit.

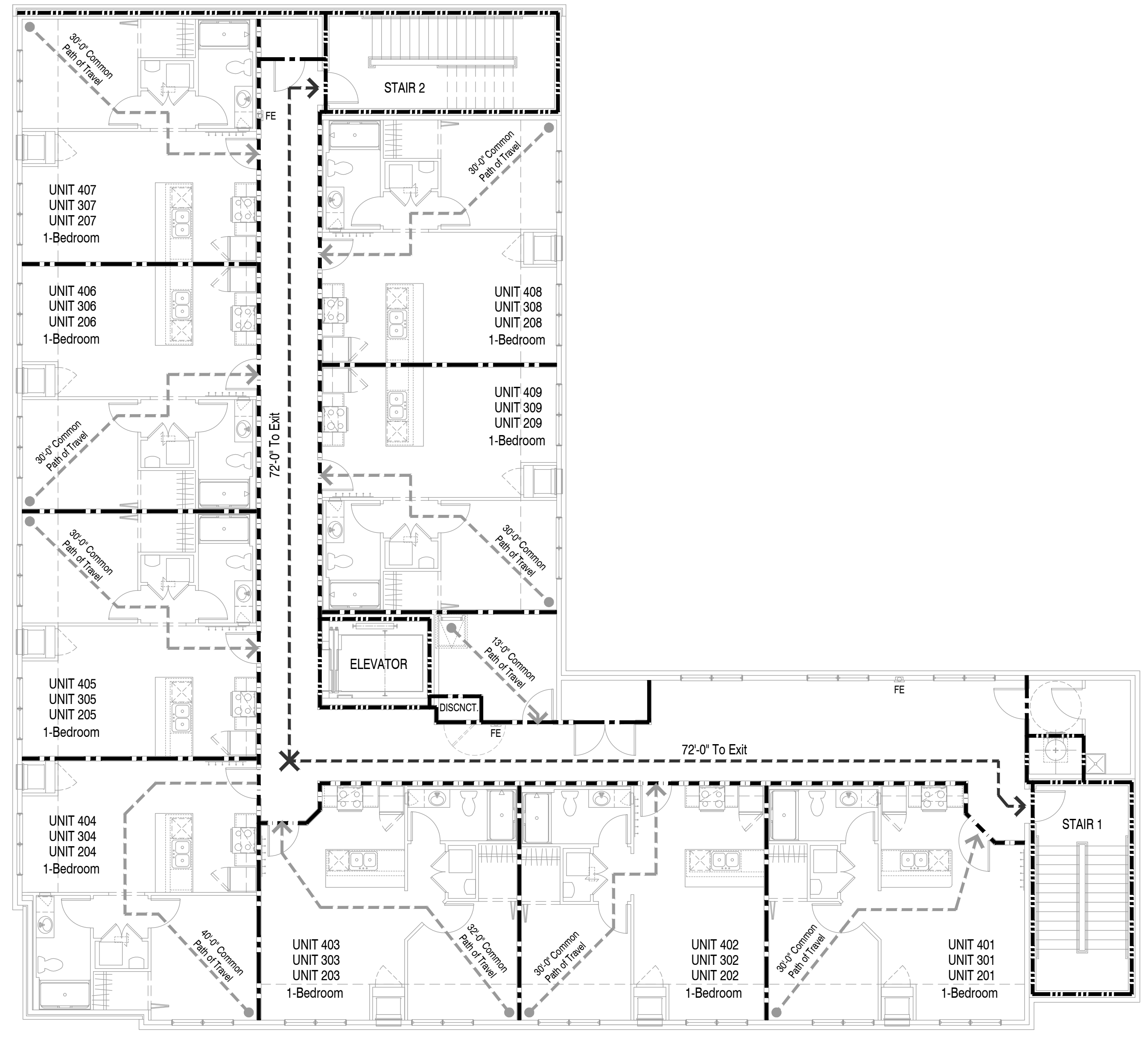
**UFAS Sect. 4.28 Alarms:**  
"If provided, audible emergency alarms shall produce a sound that exceeds the prevailing equivalent sound level in the room or space by at least 15 decibels or exceeds any maximum sound level with a duration of 30 seconds by 5 decibels, whichever is louder. Sound levels for alarm signals shall not exceed 120 decibels."  
"If provided, electrically powered internally illuminated emergency exit signs shall flash as a visual emergency alarm in conjunction with audible emergency alarms. The flashing frequency of visual alarm devices shall be less than 5 Hz. If such alarms use electricity from the building as a power source, then they shall be installed on the same system as the audible emergency alarms."  
"Accessible sleeping accommodations shall have a visual alarm connected to the building emergency alarm system or shall have a standard 110-volt electrical receptacle into which such an alarm could be connected. Instructions for use of the auxiliary alarm or connection shall be provided."

**Americans with Disabilities Act (ADA)**  
The ADA sets guidelines for accessibility to places of public accommodation and commercial facilities by individuals with disabilities. Strictly residential facilities are not considered places of public accommodation and therefore would not be subject to the ADA nor would amenities provided for the exclusive use of the residents and their guests. However, common areas that function as one of the ADA's twelve categories of places of public accommodation within residential facilities are considered places of public accommodation if they are open to persons other than residents and their guests such as a rental/sales office.

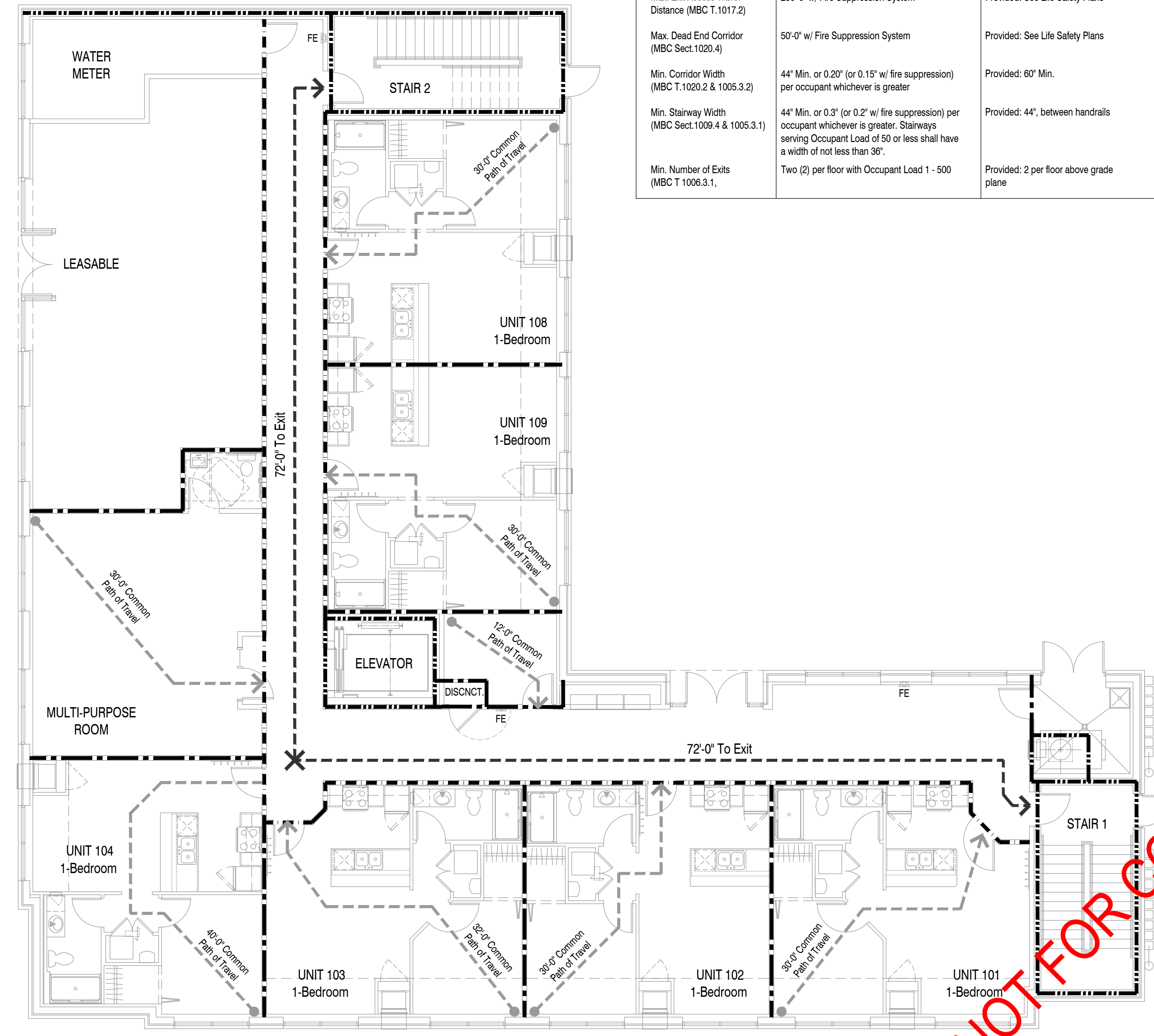
**Michigan Barrier-Free**  
Parking (MBC Sect 1106.2) 2%, but not less than one, of each type of parking space provided  
Accessible Routes (MBC Sect 1104.4) At least one accessible route shall connect each accessible level in multilevel buildings and facilities. Exception 2: Levels that do not contain accessible elements or other spaces required by Section 1107 or 1108 are not required to be served by an accessible route from an accessible level.  
Entrances and Exits (MBC Sect 1105.1.6) Tenant spaces, dwelling units and sleeping units: At least one accessible entrance shall be provided to each tenant, dwelling unit and sleeping unit within a facility.  
Dwelling Unit Distribution (MBC Sect 1107.7.3) All units on accessible levels (elevator access) shall be TYPE B per ICC/ANSI A117.1. Minimum 5% of the units shall be TYPE A per ICC/ANSI A117.1 if there are more than 20 dwelling or sleeping units. 33 units x 5% = 2 units

**CODE COMPLIANCE ANALYSIS AND PROJECT DATA CHART**

<b>REFERENCE CODES</b>		ICC/ANSI A117.1-2009 Accessible and Usable Buildings and Facilities
2015 Michigan Building Code (MBC)	2015 Michigan Mechanical Code	2015 Michigan Plumbing Code
2017 National Electric Code	2015 Michigan Uniform Energy Code	Rules NFPA 13 (Automatic Fire Protection System)
October 2020 MSHDA Standards of Design	November 2021, City of Detroit Zoning Ordinance	
<b>USE GROUP</b>		
MBC Sect. 310	Residential Group R-2	
<b>TYPE OF CONSTRUCTION</b>		
MBC Sect 602	Type V A (SA, all building elements of any material. 1-HOUR fire resistance rating of structure), w/ approved automatic sprinkler system	
<b>ALLOWABLE HEIGHT AND AREA</b>		
MBC Table 503	Area	36,000 s.f. per floor (T. 506.2)
	Height	4 Stories (T. 504.4) / 70'-0" max. (T. 504.3)
<b>ACTUAL HEIGHT AND AREA</b>		
	Area	7,309 / floor < 36,000 s.f.
	Height	4 Stories = 4 Stories 48'-0" +/- total height < 70'-0"
<b>ALLOWANCE PER OCCUPANT PER FLOOR</b>		
MBC Table 1004.1.2	Residential	200 s.f. gross / occupant
	Accessory Business and Small Assembly per MBC 303.1.2	100 s.f. gross / occupant
	Accessory Storage, Mech Rm	300 s.f. gross / occupant
<b>CALCULATED OCCUPANCY LOAD PER FLOOR</b>		
	Ground flr - Residential	3,543 s.f. / 200 s.f. = 18 occupants / flr
	Accessory Business	913 s.f. / 100 s.f. = 9 occupants / flr
	Accessory Small Assembly	610 s.f. / 100 s.f. = 6 occupants / flr
	Accessory Mech.	240 / 300 s.f. = 1 occupants / flr
	2nd - 4th flr - Residential	5,310 s.f. / 200 s.f. = 21 occupants / flr
	Accessory Mech.	331 / 300 s.f. = 1 occupants / flr
	<b>TOTAL</b>	<b>100 occupants</b>
<b>MEANS OF EGRESS</b>		
Max. Exit Access Travel Distance (MBC T.1017.2)	250'-0" w/ Fire Suppression System	Provided: See Life Safety Plans
Max. Dead End Corridor (MBC Sect.1020.4)	50'-0" w/ Fire Suppression System	Provided: See Life Safety Plans
Min. Corridor Width (MBC T.1020.2 & 1005.3.2)	44" Min. or 0.20' (or 0.15' w/ fire suppression) per occupant whichever is greater	Provided: 60" Min.
Min. Stairway Width (MBC Sect.1009.4 & 1005.3.1)	44" Min. or 0.3' (or 0.2' w/ fire suppression) per occupant whichever is greater. Stairways serving Occupant Load of 50 or less shall have a width of not less than 36".	Provided: 44", between handrails
Min. Number of Exits (MBC T.1006.3.1)	Two (2) per floor with Occupant Load 1 - 500	Provided: 2 per floor above grade plane



2  
TS.2  
2nd - 4th Floor - Life Safety Plan  
Scale: 1/8" = 1'-0"



1  
TS.2  
Ground Floor - Life Safety Plan  
Scale: 1/8" = 1'-0"



104 W. Fourth Street  
Suite 303  
Royal Oak, Michigan 48067

248.629.7153 ph.  
248.629.7154 fax

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Architect of Record

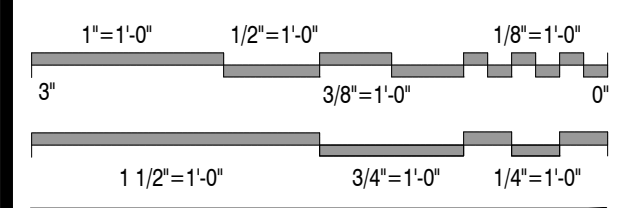
Owner

MHT HOUSING, INC.  
32600 Telegraph Road, Ste 102  
Bingham Farms, MI 48025

Project

New Apartments  
SECOND AVENUE APARTMENTS

3515 Second Ave  
Detroit, MI 48201

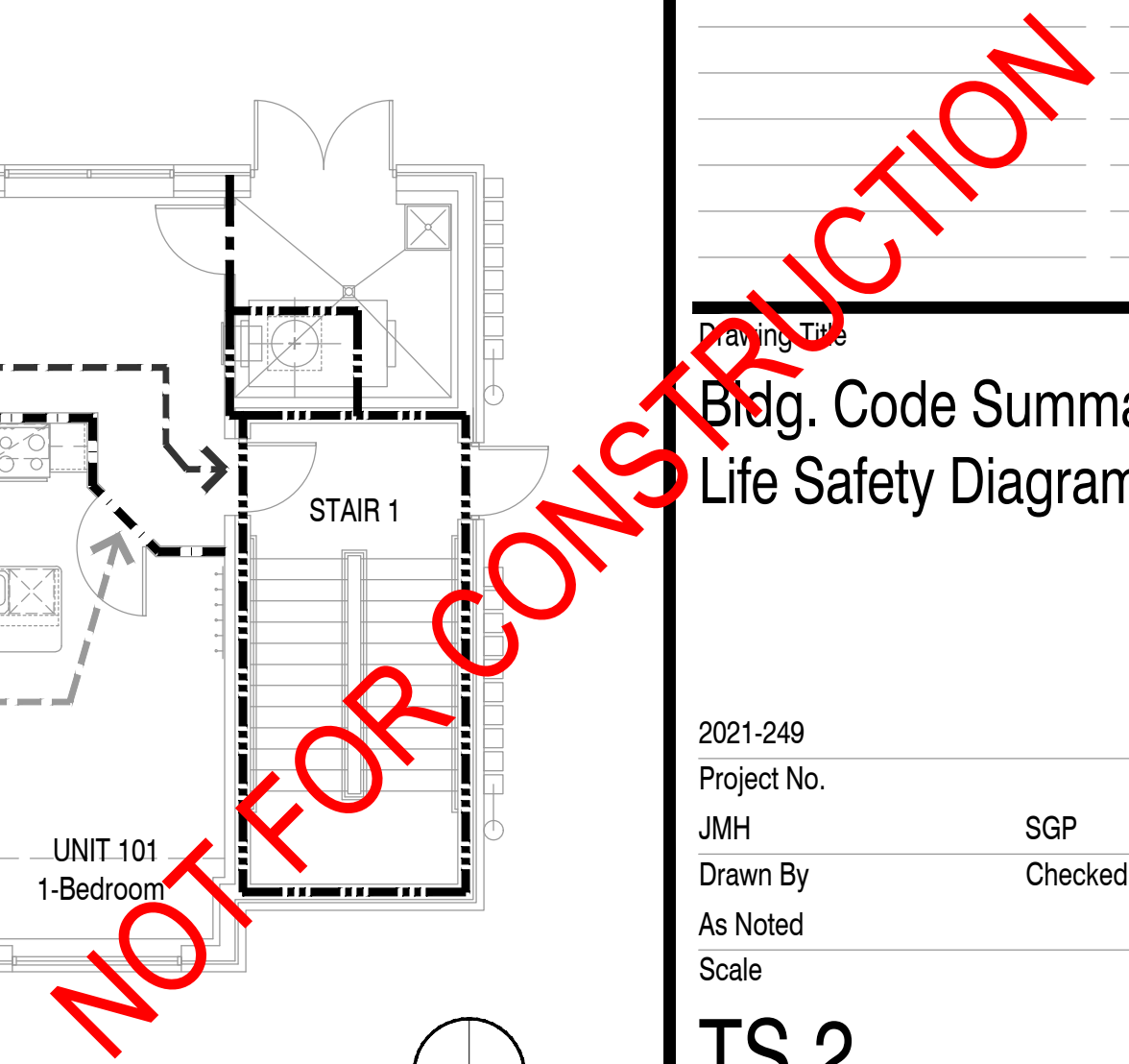


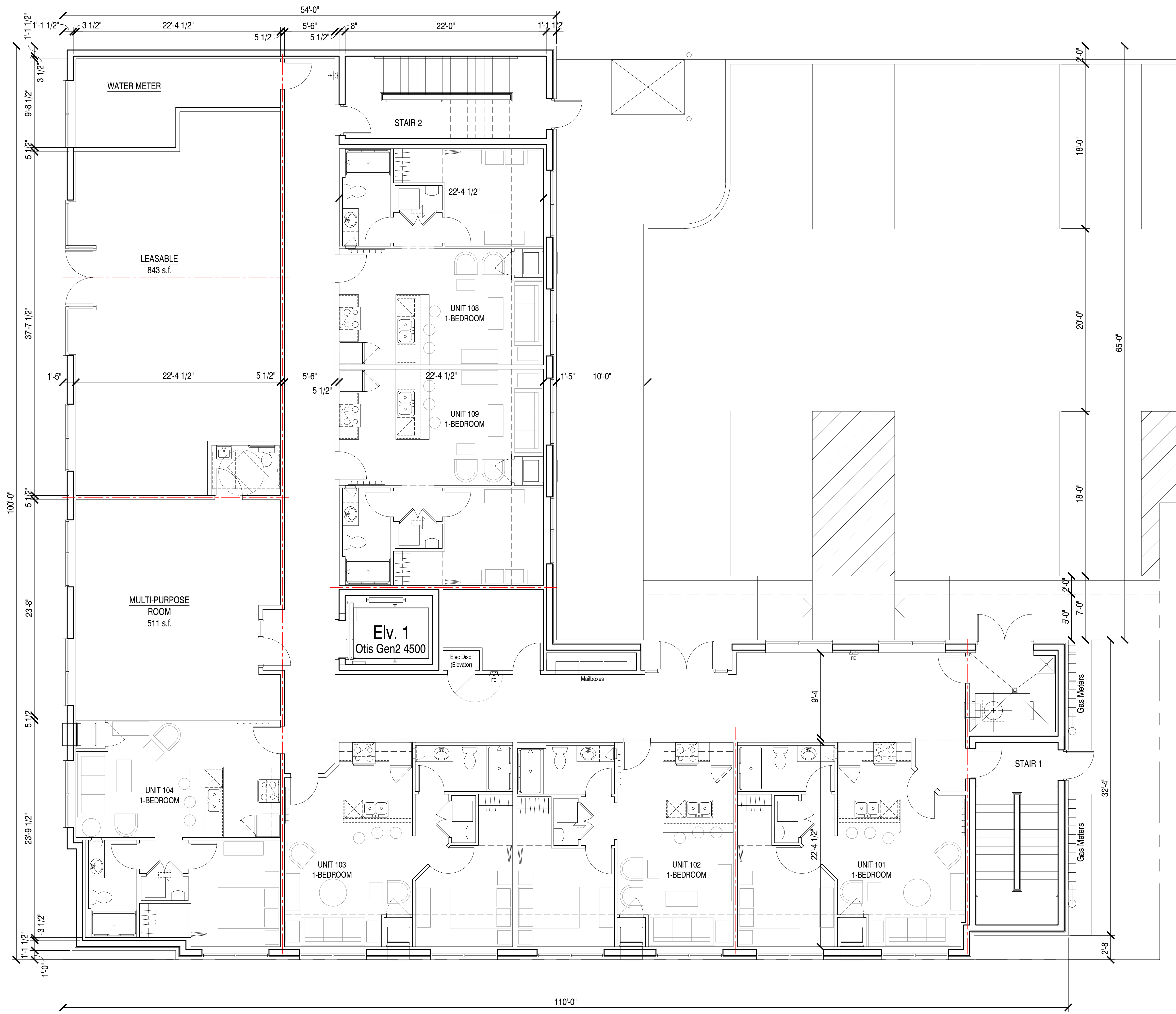
Issued For	Date
Preliminary	09.13.2021
Preliminary	09.30.2021
Preliminary	11.22.2021
Preliminary	12.06.2021

Blag. Code Summary  
Life Safety Diagrams

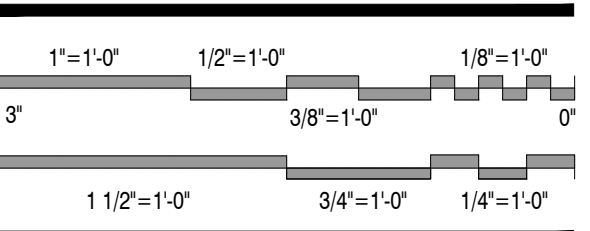
2021-249  
Project No. JMH  
Drawn By SGP  
As Noted  
Scale Checked By

TS.2  
Drawing No.





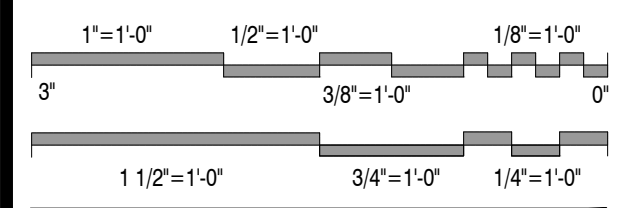
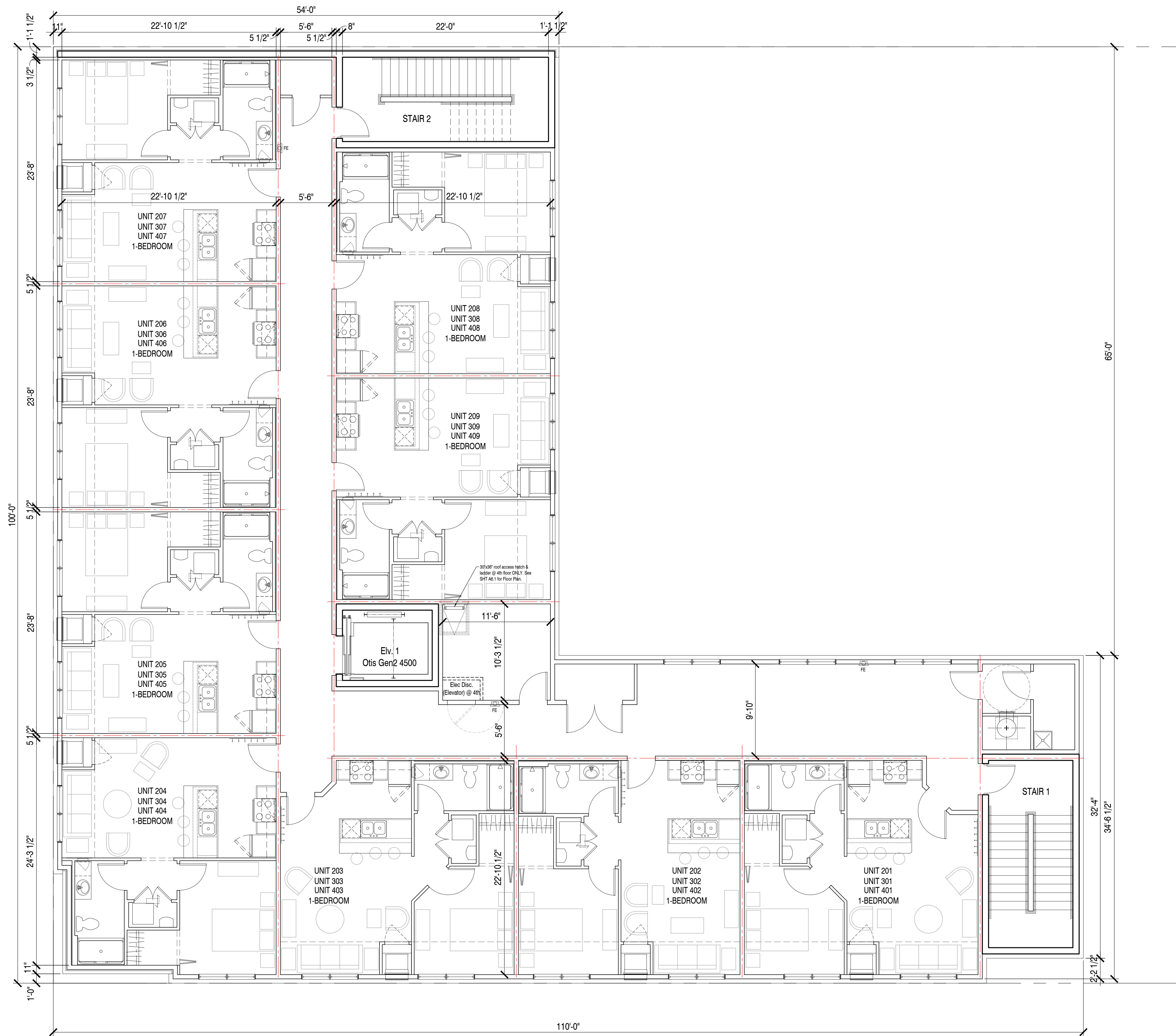
1 Ground Floor Plan  
 Scale: 3/16" = 1'-0"  
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Issued For	Date
Preliminary	09.13.2021
Preliminary	09.30.2021
Preliminary	11.22.2021
Preliminary	12.06.2021

Ground Floor Plan

**NOT FOR CONSTRUCTION**



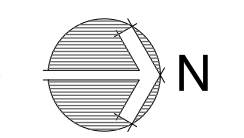
Issued For	Date
Preliminary	09.13.2021
Preliminary	09.30.2021
Preliminary	11.22.2021
Preliminary	12.08.2021

2nd - 4th Floor Plan

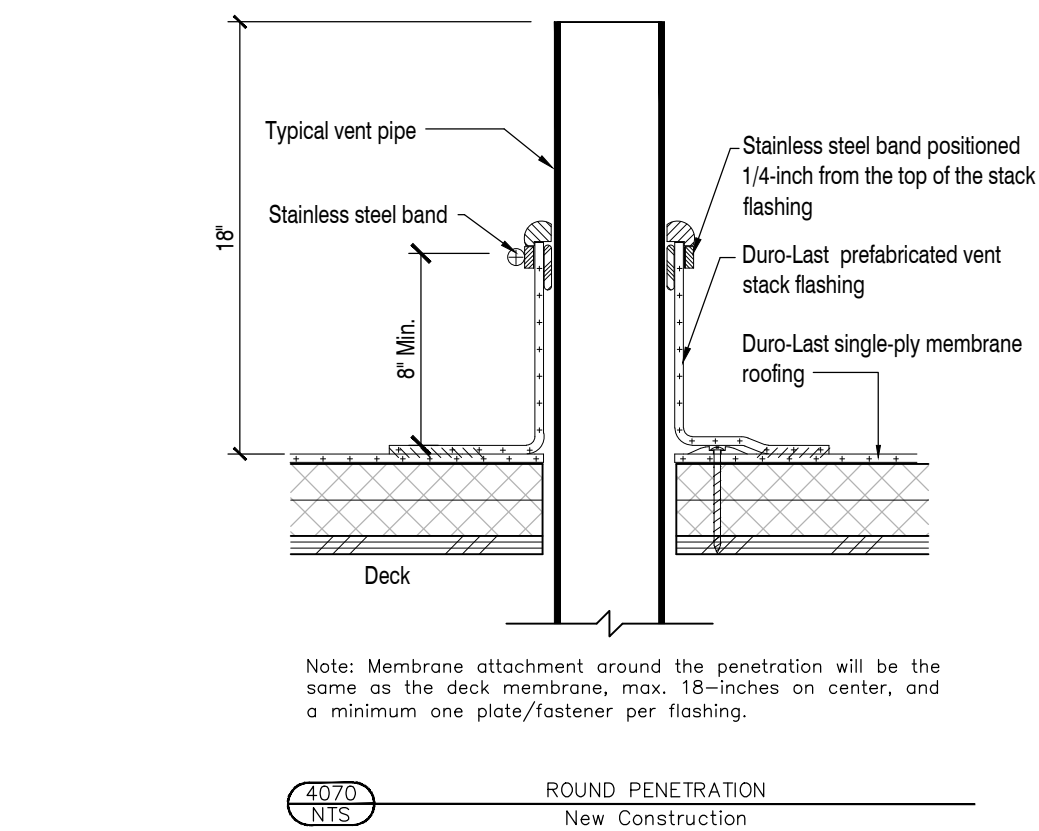
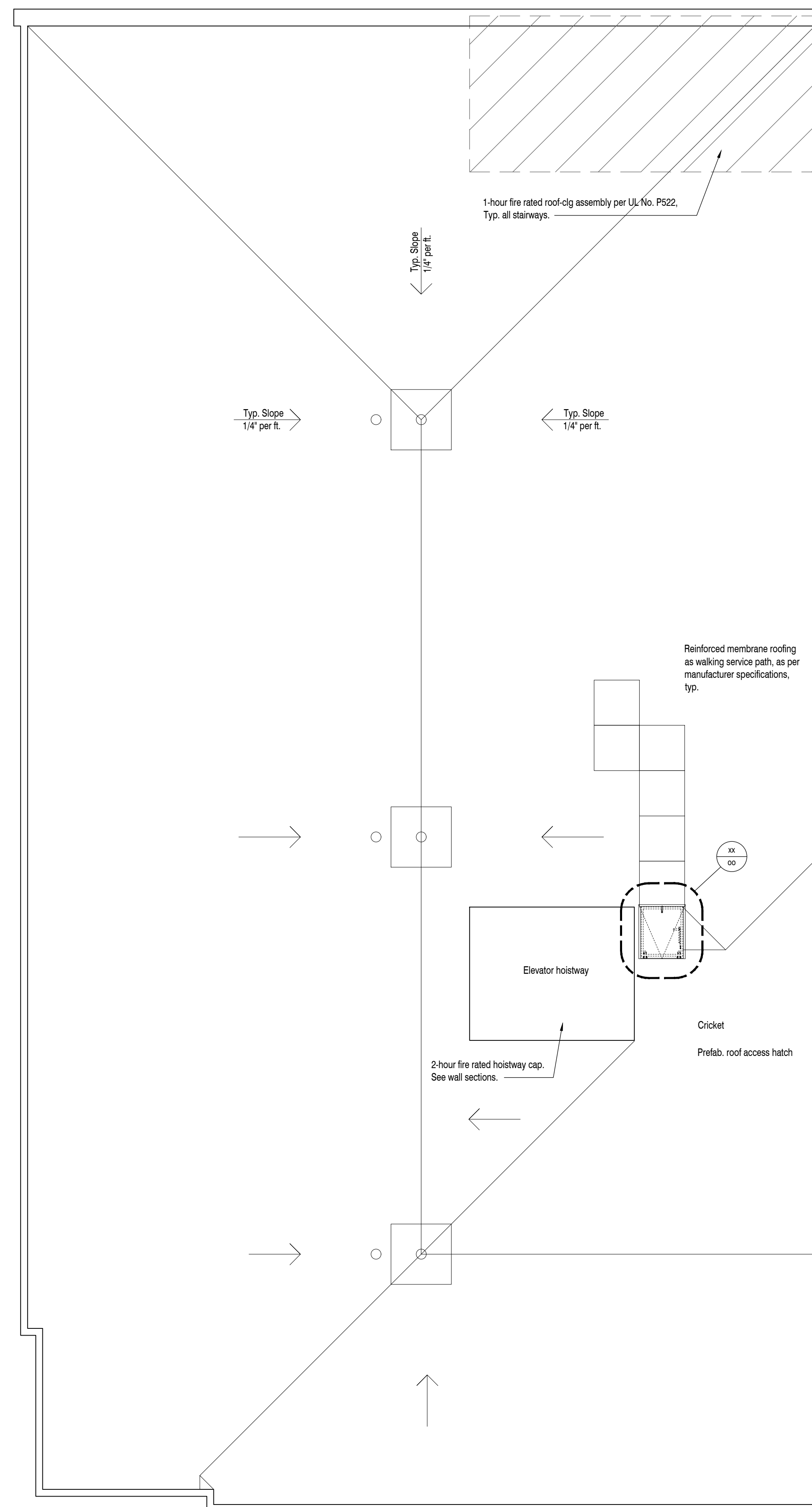
2021-249  
Project No.  
JMH  
Drawn By

SGP  
Checked By

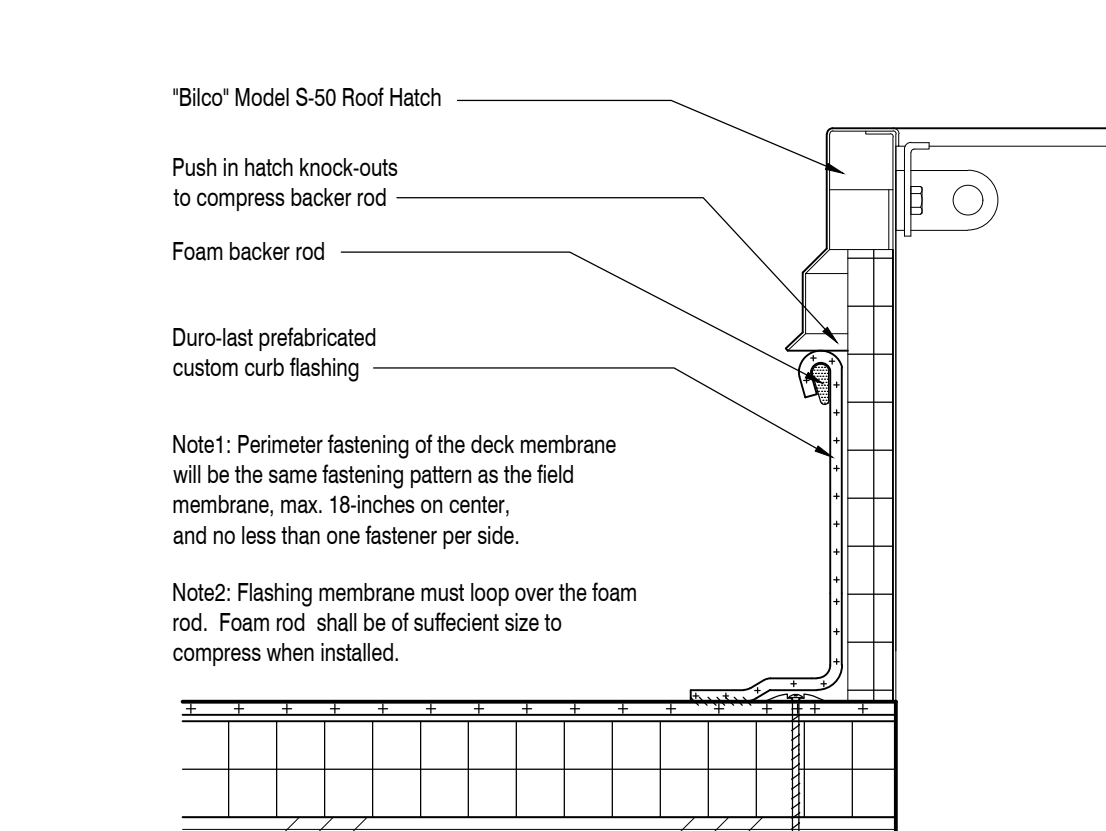
Scale  
**A1.2**  
Drawing No.



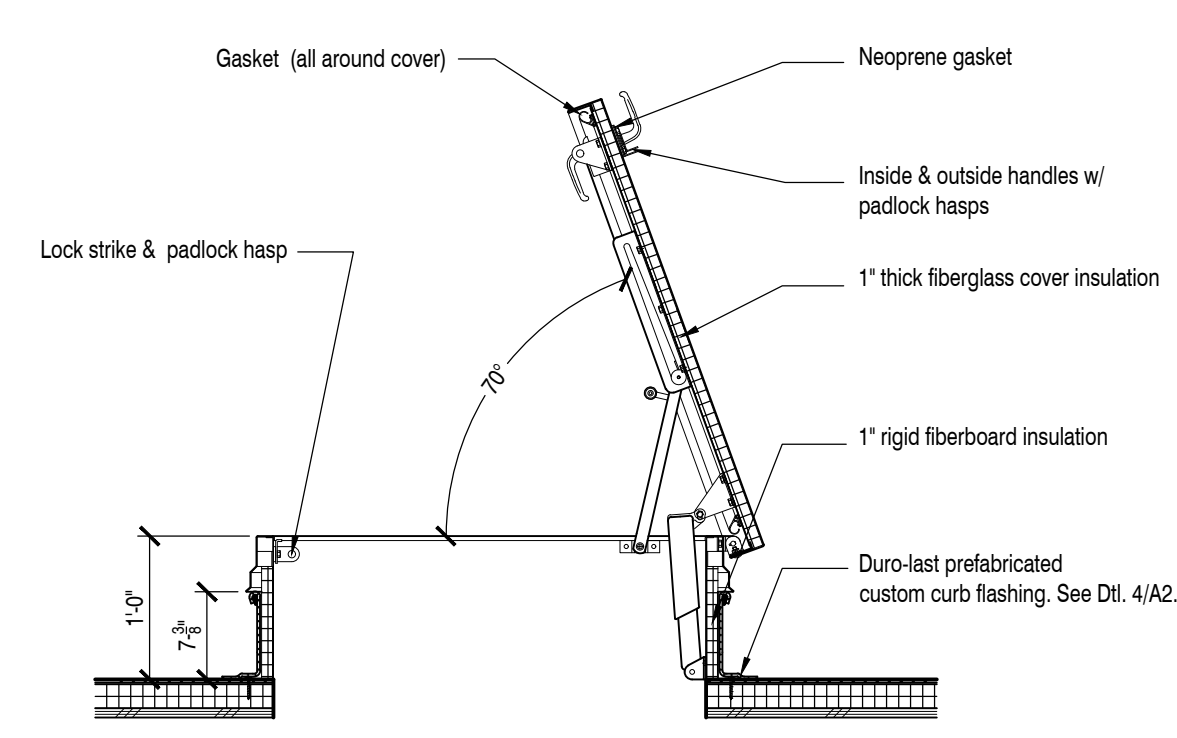
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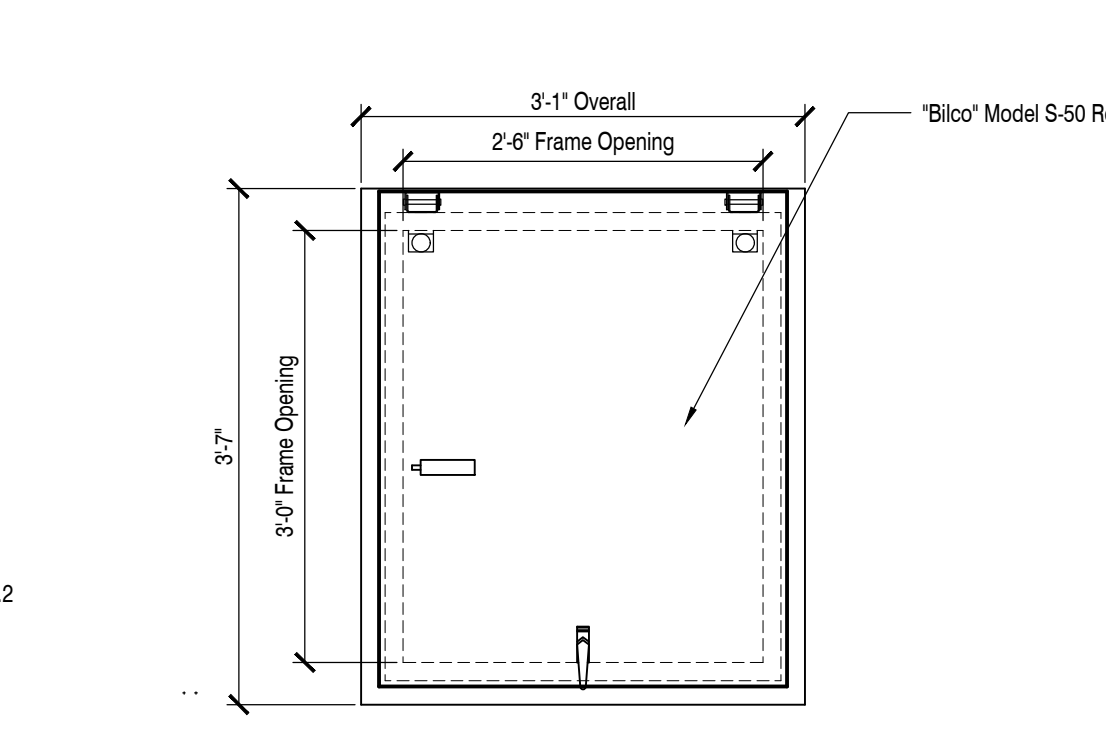
**6** Thru-Roof Pipe Penetration Flashing  
A1.3 Scale: N.T.S.



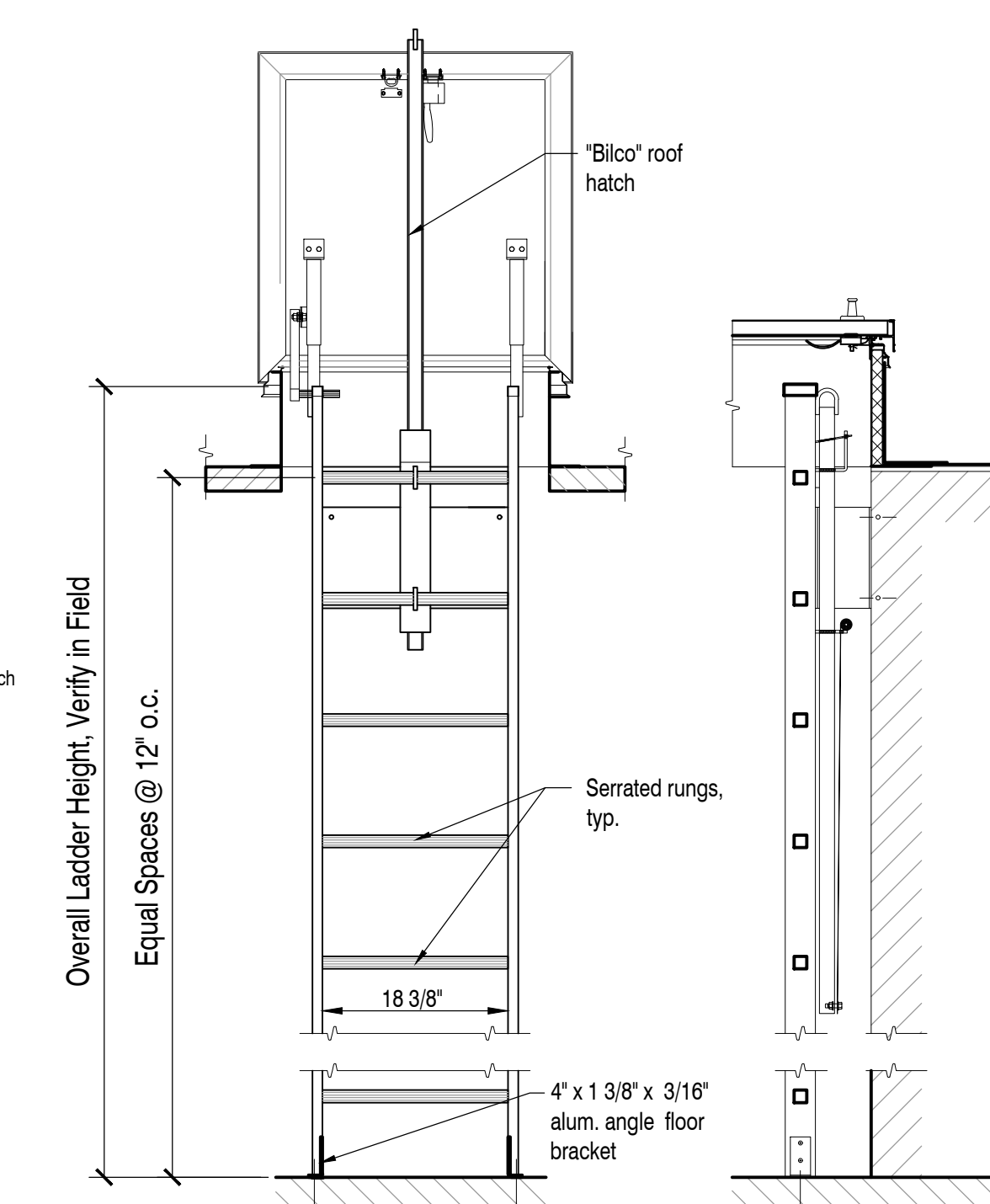
**4** Roof Access Hatch - Flashing Section  
A1.3 Scale: N.T.S.



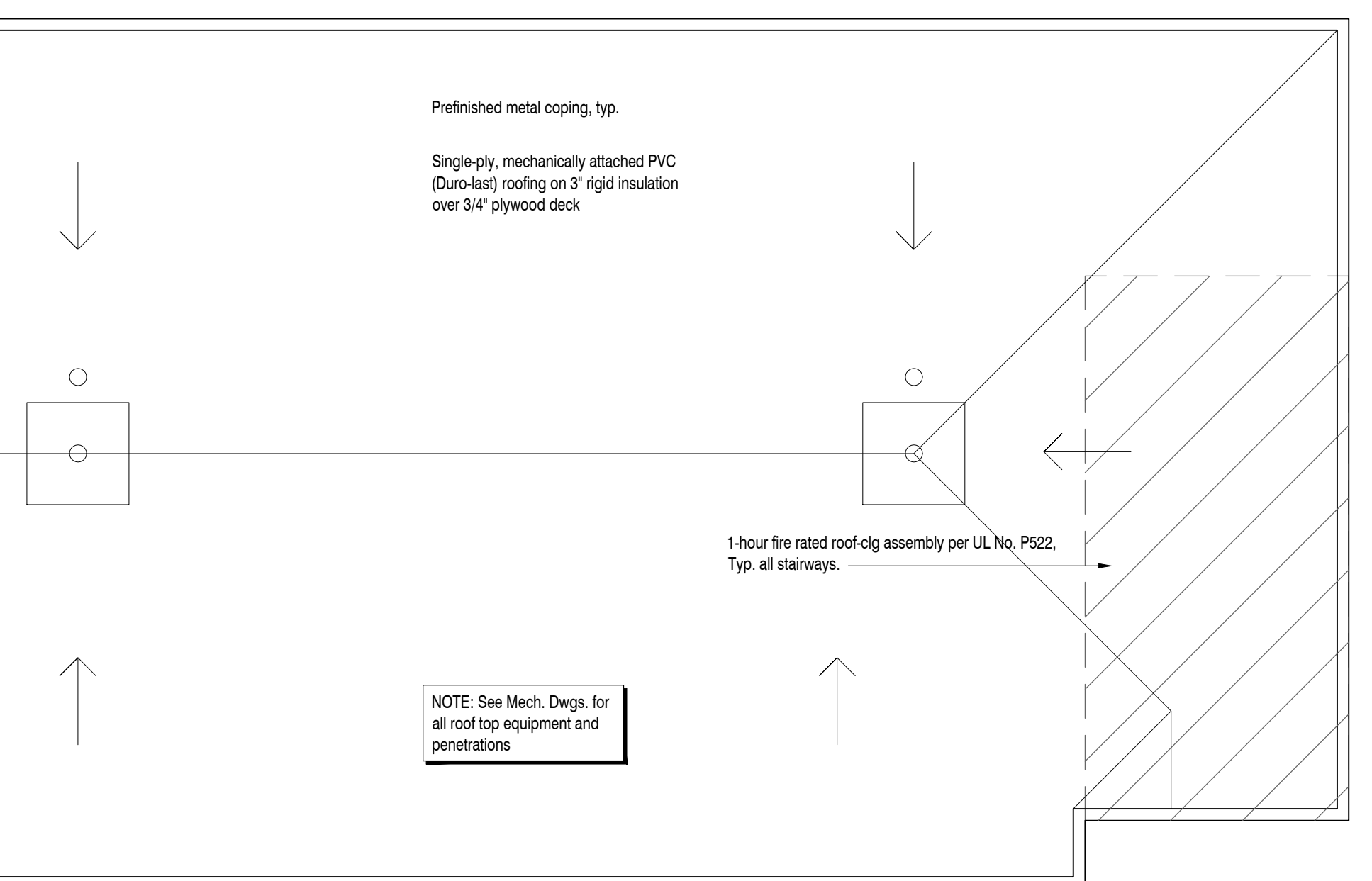
**5** Roof Access Hatch - Section  
A1.3 Scale: 3/4" = 1'-0"



**3** Roof Access Hatch - Plan  
A1.3 Scale: 3/4" = 1'-0"

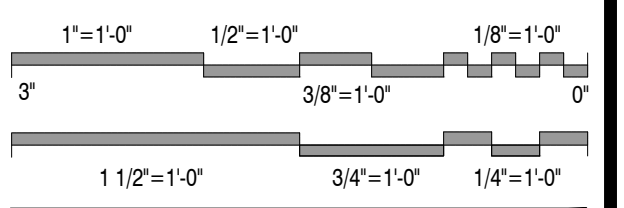


**2** Roof Access Ladder - Elev./Section  
A1.3 Scale: 3/4" = 1'-0"



**1** Roof Plan  
A1.3 Scale: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

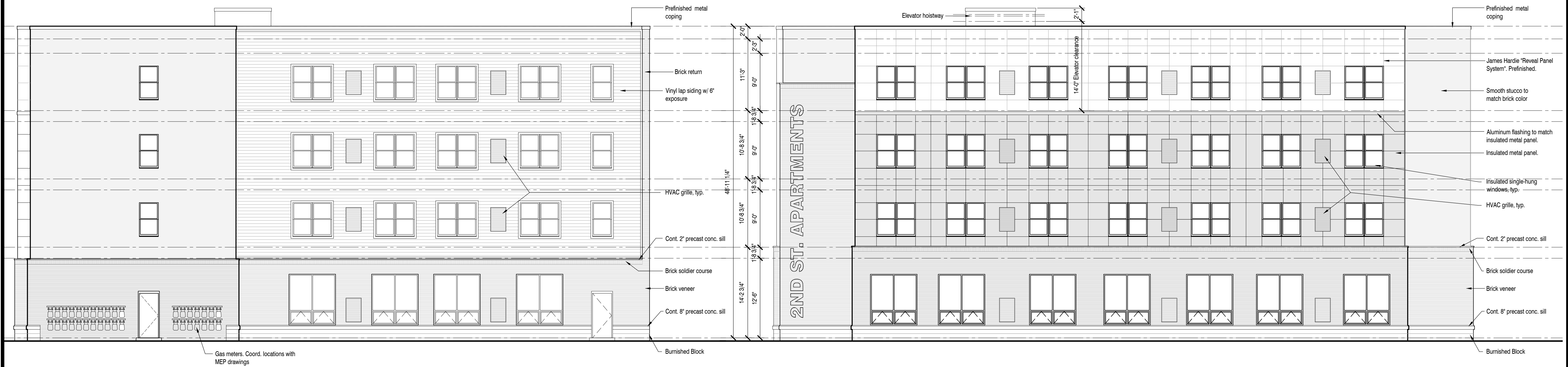


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Preliminary	09.30.2021
Preliminary	11.22.2021
Preliminary	12.08.2021

Exterior Elevations

2021-249	Project No.	SGP
JMH	Drawn By	Checked By

Scale  
**A3.1**  
Drawing No.



4 North Side Elevation  
A3.1 Scale: 1/8" = 1'-0"

2 East (2nd Ave.) Elevation  
A3.1 Scale: 1/8" = 1'-0"

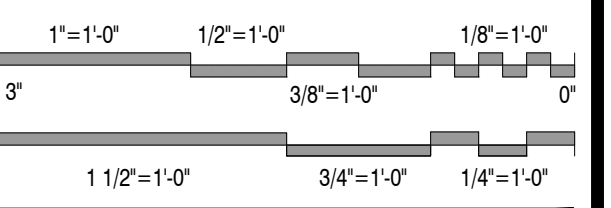


3 West Side Elevation  
A3.1 Scale: 1/8" = 1'-0"



1 South (MLK Jr. Blvd) Elevation  
A3.1 Scale: 1/8" = 1'-0"

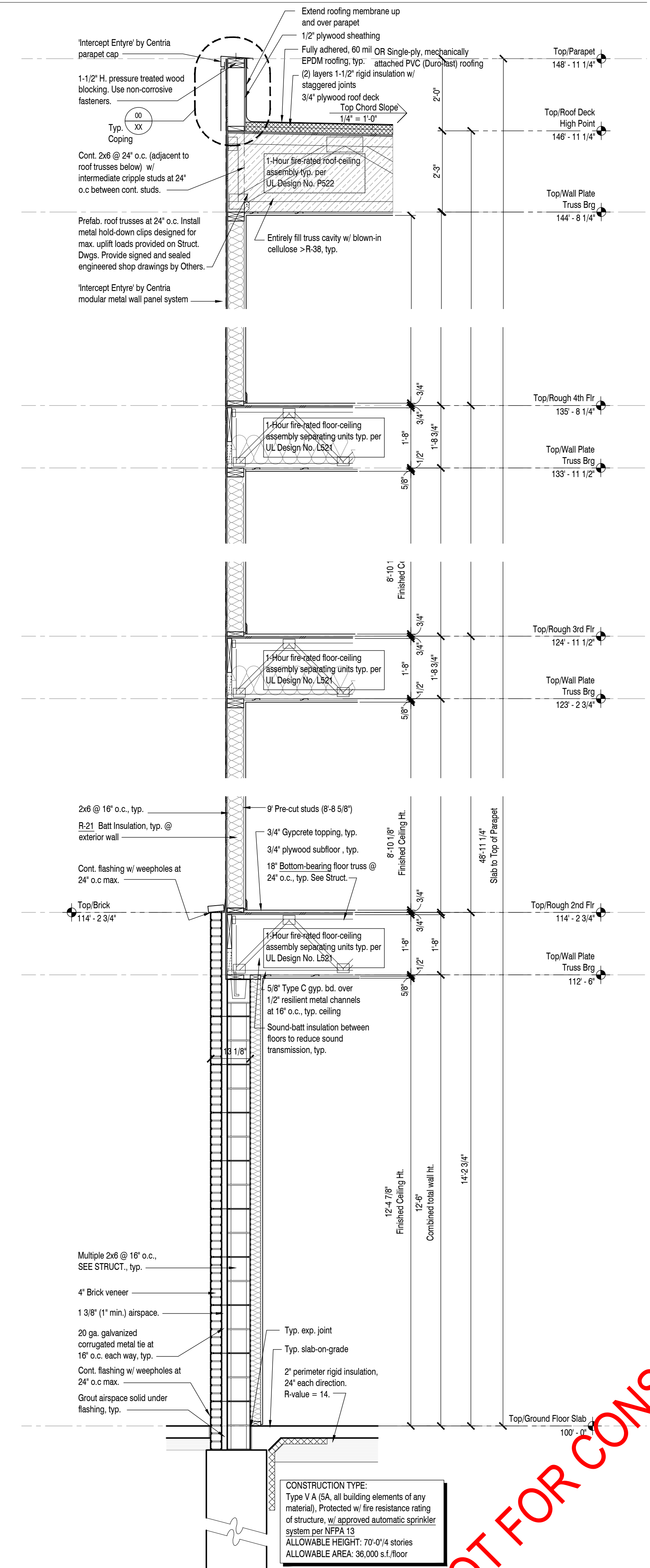
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Issued For	Date
Preliminary	09.13.2021
Preliminary	09.30.2021
Preliminary	11.22.2021
Preliminary	12.06.2021

Wall Sections

2021-249	Project No.	SGP
JMH	Drawn By	Checked By
As Noted	Scale	
<b>A6.1</b>	Drawing No.	



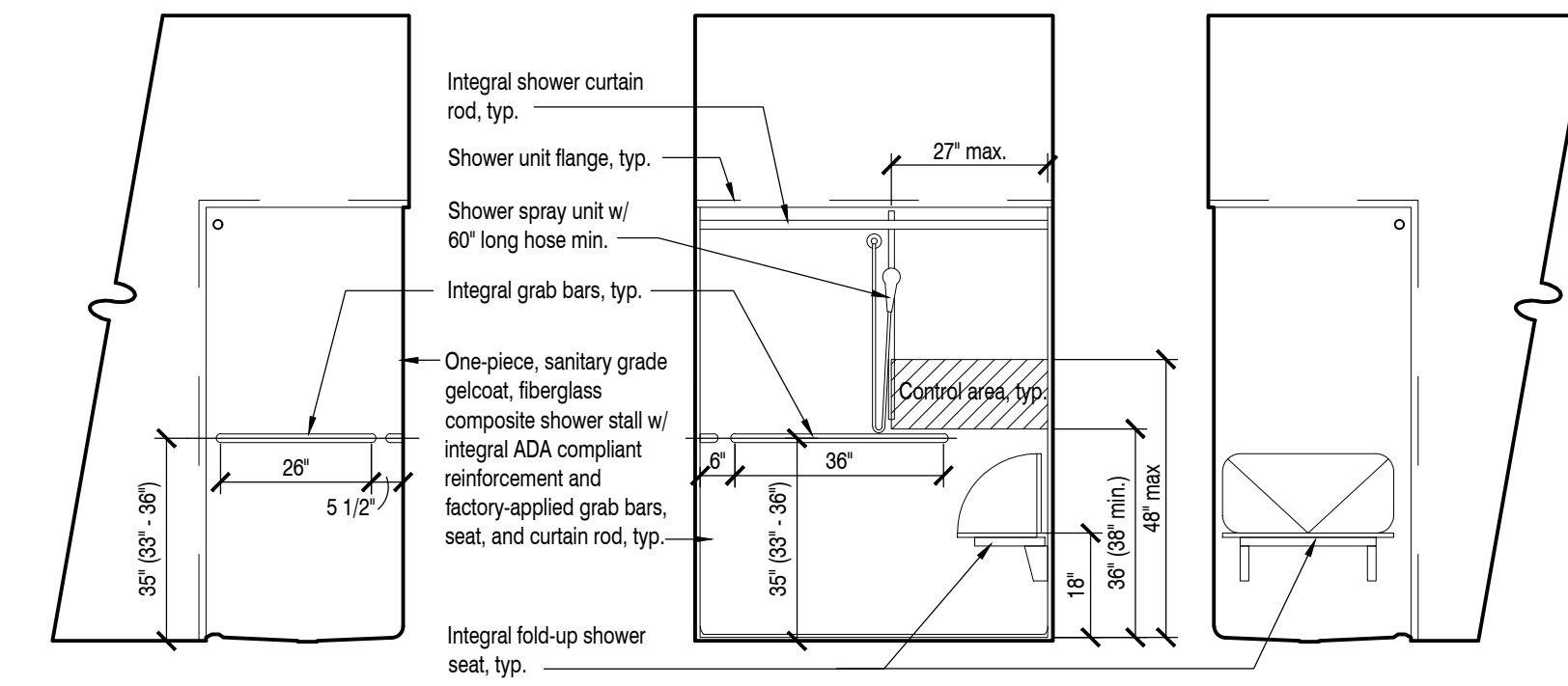
Wall Section at  
CMU 1st Floor

2  
A6.1 Scale: 1/2" = 1'-0"

CONSTRUCTION TYPE:  
Type V A (SA, all building elements of any material). Protected w/ fire resistance rating of structure. w/ approved automatic sprinkler system per NFPA 13  
ALLOWABLE HEIGHT: 70'-0"/4 stories  
ALLOWABLE AREA: 36,000 s.f./floor

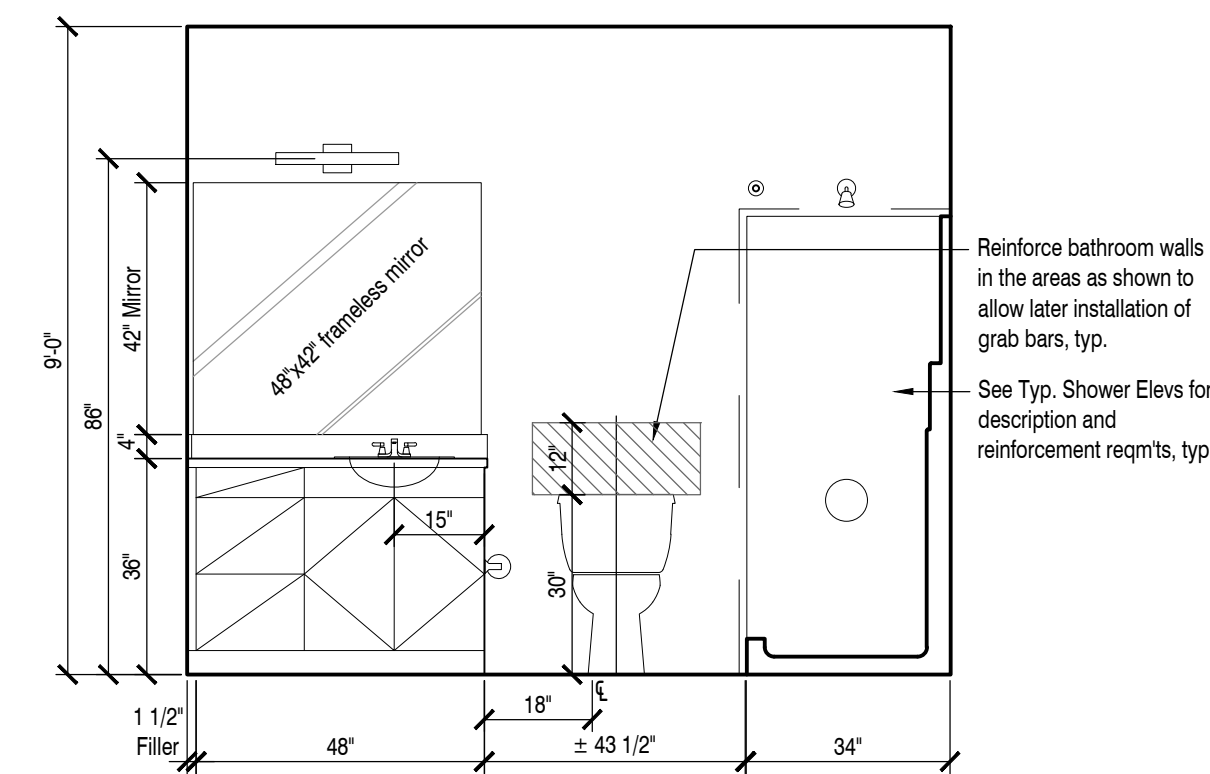
NOTE: Notes, specification, and detail pertaining to foundation and framing as provided on Structural Drawings supercede those of Architectural Drawings. Refer to Structural Drawings, TYP.

NOT FOR CONSTRUCTION



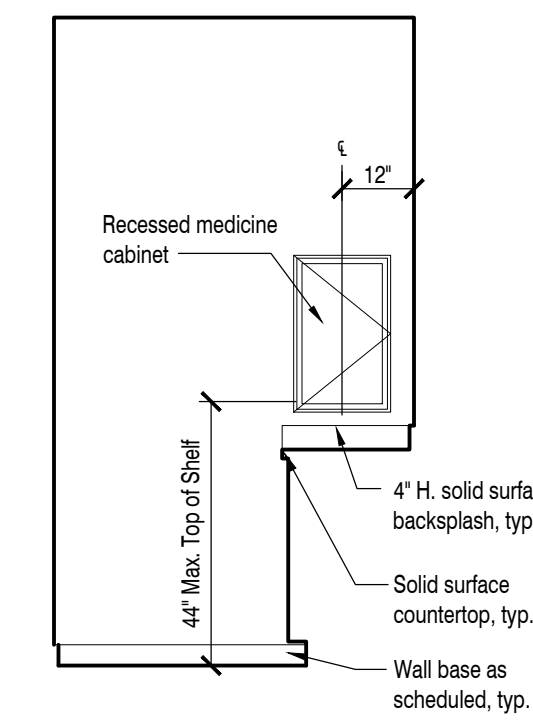
xx Interior Elevation - TYPE A Shower

A7.1 Scale: 3/8" = 1'-0"



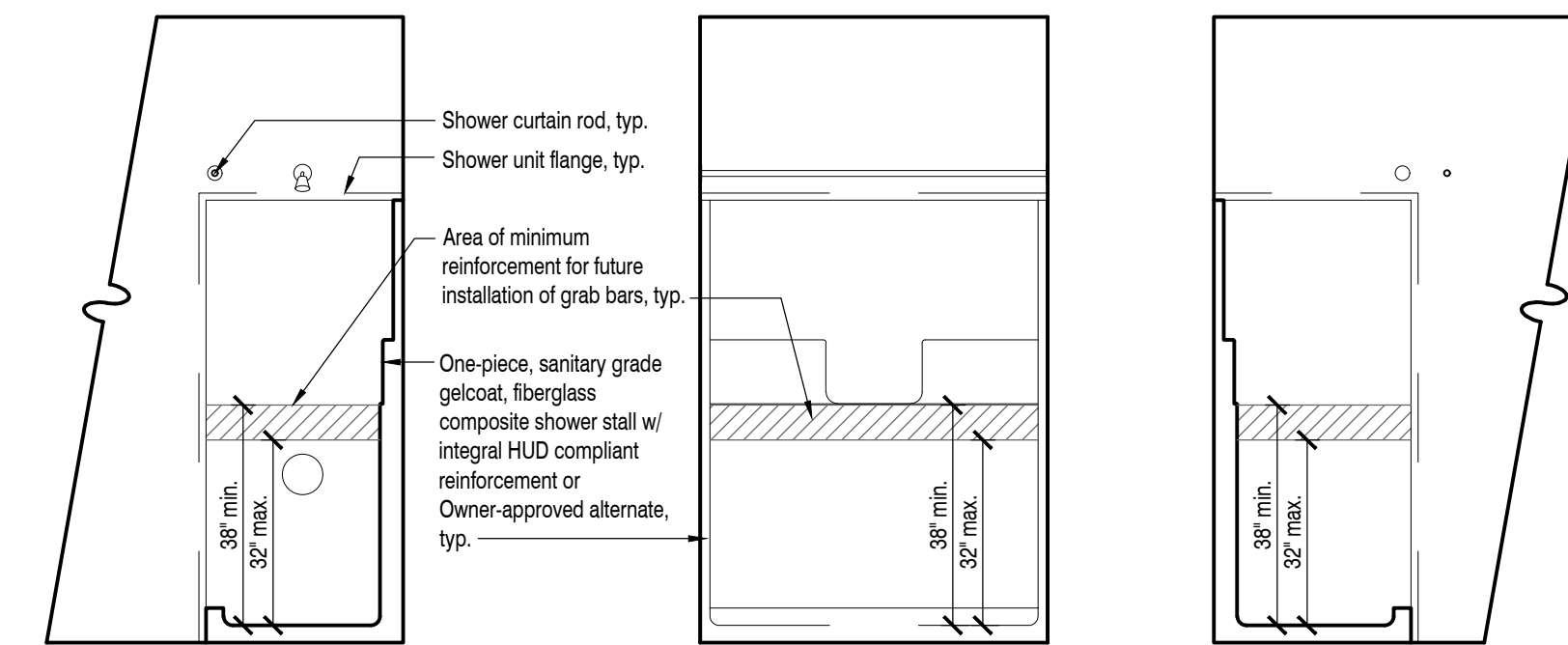
xx Interior Elevation - Typ. Bathroom

A7.1 Scale: 3/8" = 1'-0"



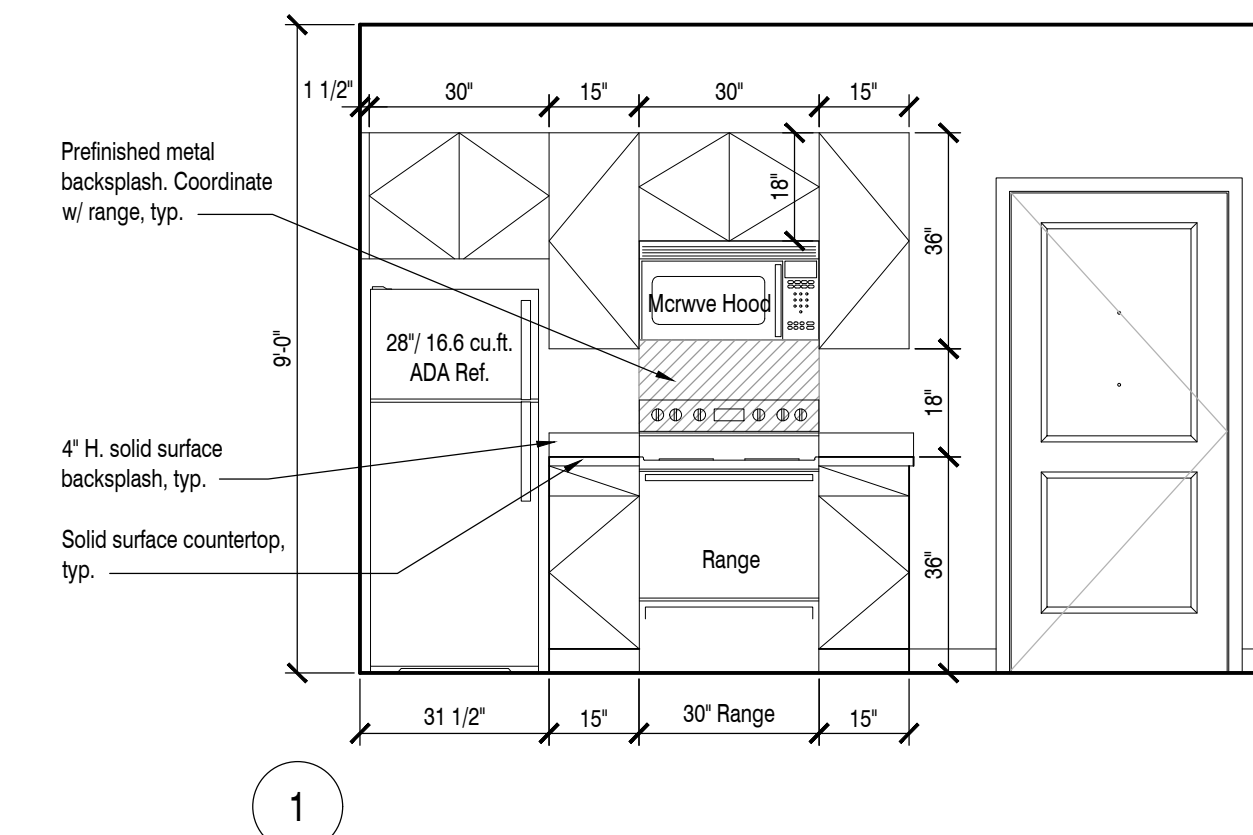
xx Interior Elevation - Bathrooms TYP. MEDICINE CABT

A7.1 Scale: 3/8" = 1'-0"



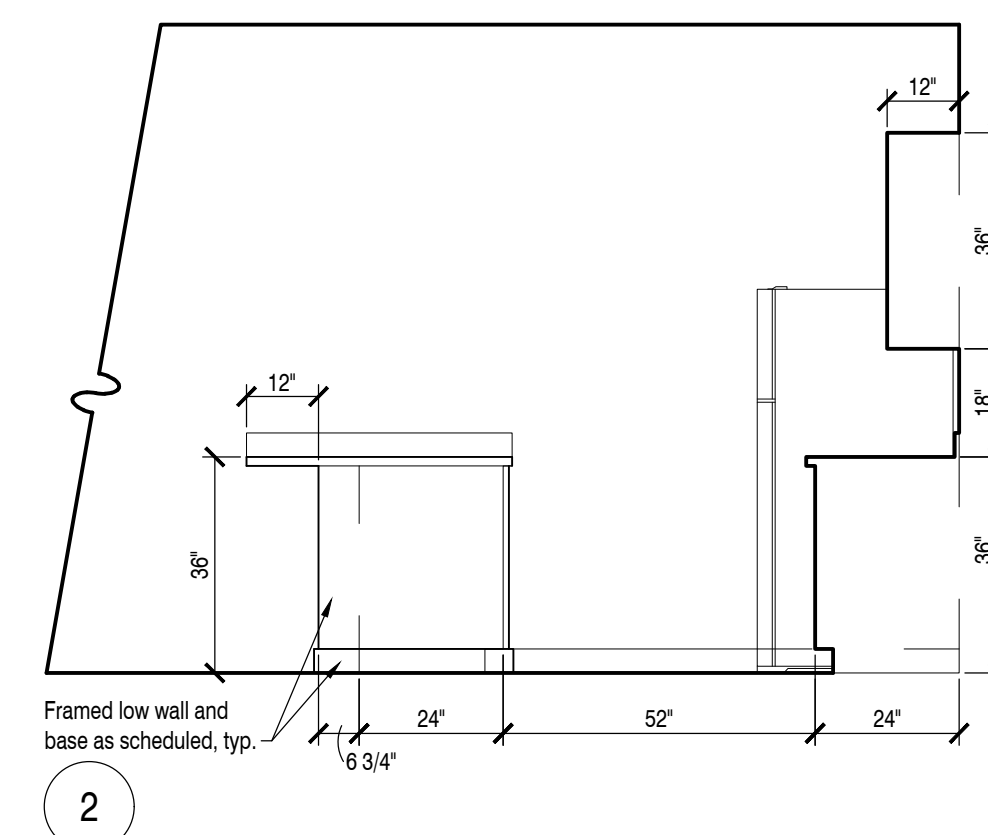
xx Interior Elevation - Bathrooms TYP. SHOWER REINFORCEMENT

A7.1 Scale: 3/8" = 1'-0"



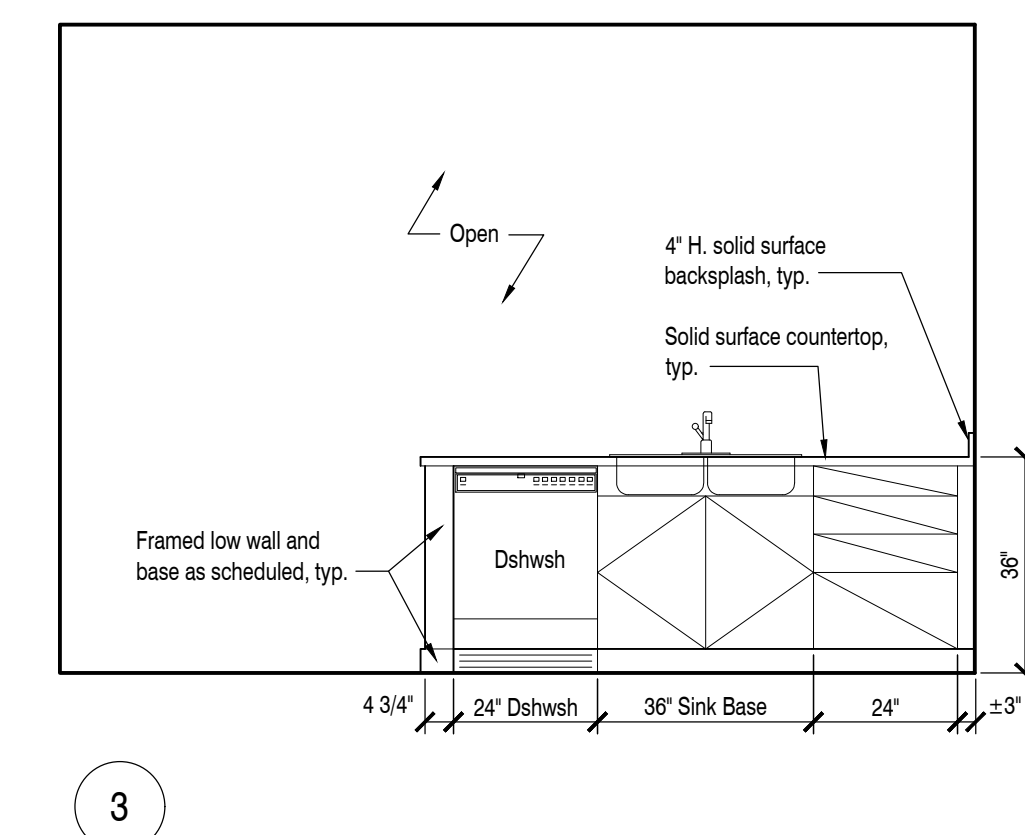
xx Interior Elevation - Typ. Kitchen

A7.1 Scale: 3/8" = 1'-0"



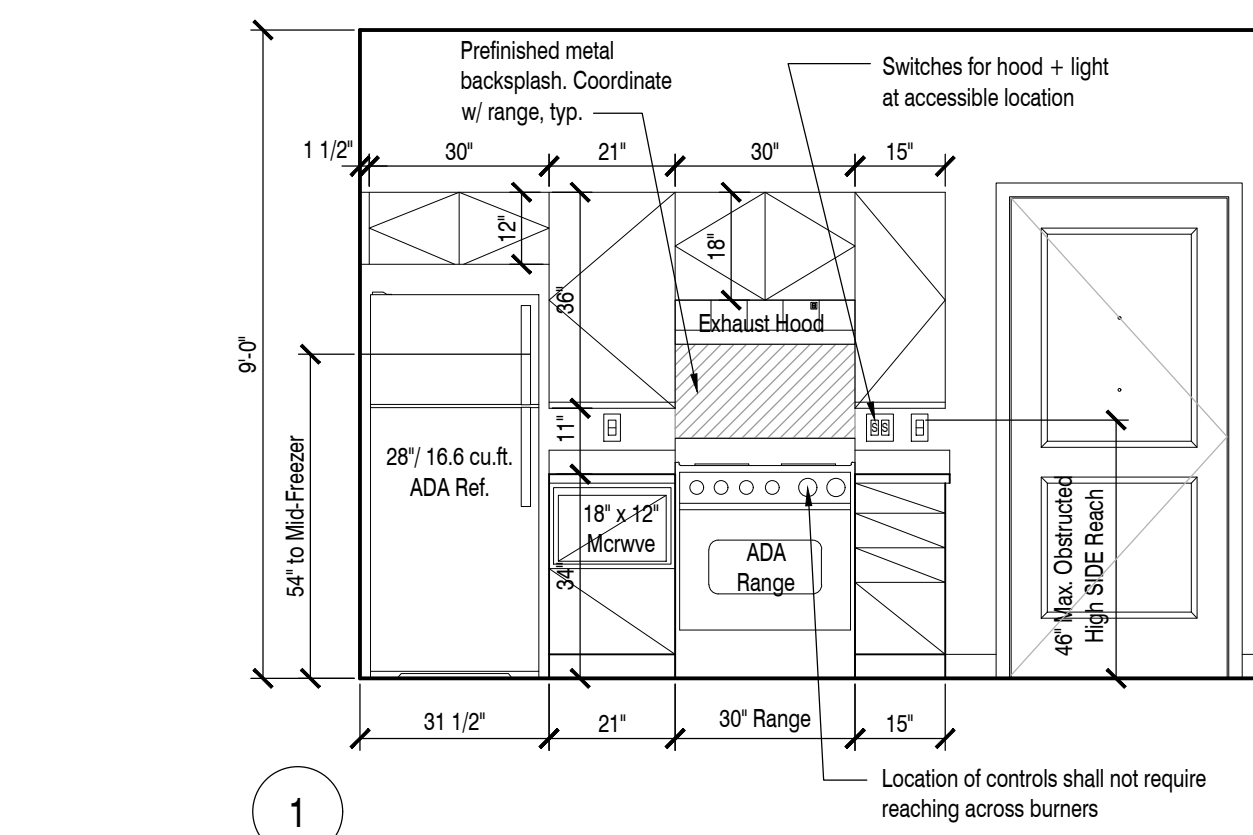
xx Interior Elevation - Typ. Kitchen

A7.1 Scale: 3/8" = 1'-0"



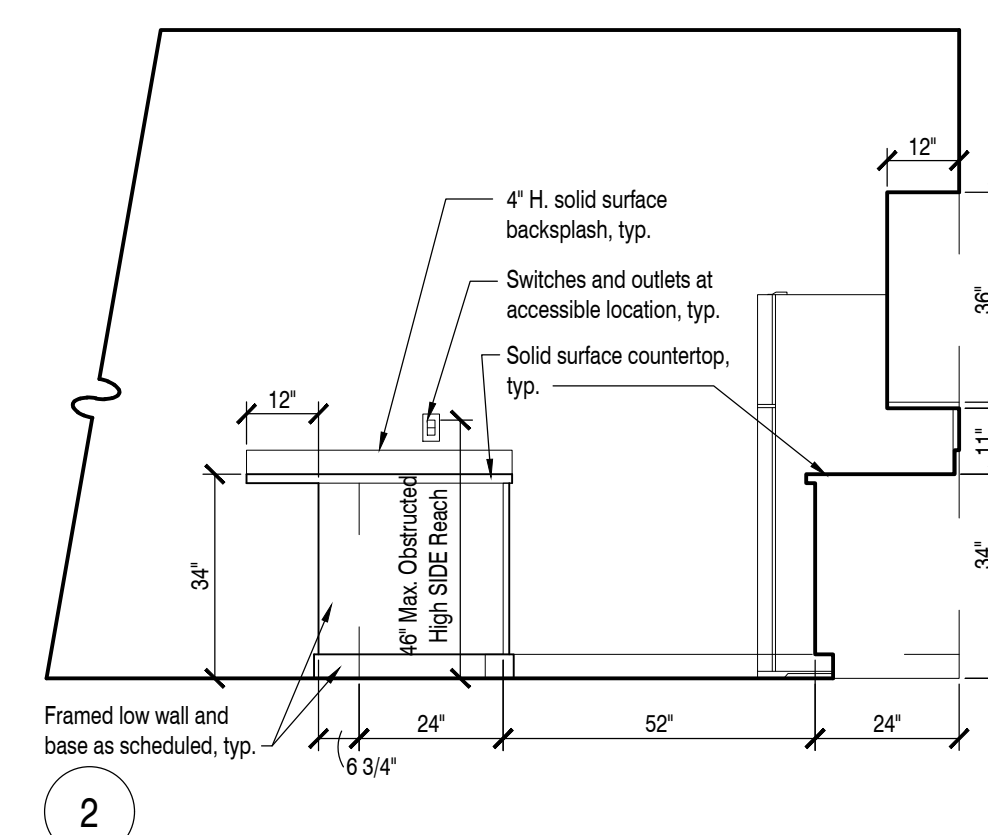
xx Interior Elevation - Typ. Kitchen

A7.1 Scale: 3/8" = 1'-0"



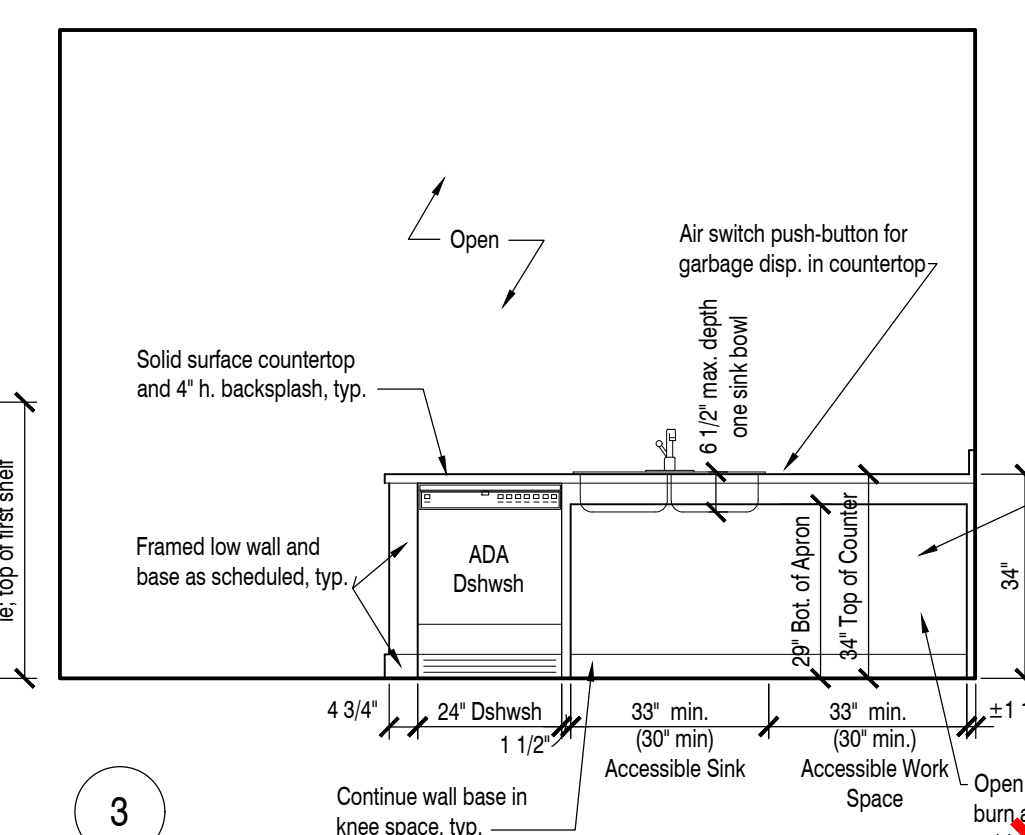
xx Interior Elevation - TYPE A Kitchen

A7.1 Scale: 3/8" = 1'-0"



xx Interior Elevation - TYPE A Kitchen

A7.1 Scale: 3/8" = 1'-0"



xx Interior Elevation - TYPE A Kitchen

A7.1 Scale: 3/8" = 1'-0"

NOT FOR CONSTRUCTION

2021-249  
Project No. JMH  
Drawn By JMH  
Checked By GGP  
Scale: 3/8" = 1'-0"  
A7.1  
Drawing No.





**PROJECT: SECOND STREET APARTMENTS**  
**CLIENT: FADI NASSAR**  
**LOCATION: 3515 SECOND STREET, DETROIT**

**Scope of Work:**  
 This building will be mixed use on the first floor, with retail along Martin Luther King Jr. Blvd. The remainder of the building will be dedicated to residential units. Parking for both retail and residents will be provided on site and on street parking along the property on Second Street. The first floor will hold offices, mechanical/utility room, community room and 2 ADA public restrooms. The building will be equipped with an elevator and two egress staircases.

**Legal Description:**  
 LAND SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS:

3515 2ND AVE - TAX NUMBER: 040000689-90  
 LOT 18 AND THE SOUTH 120 FEET OF LOT 17, BLOCK 90, CASS FARMS SUBDIVISION AS RECORDED IN LIBER 1 PAGE 175

SHEET INDEX	
ARCHITECTURAL	
COVER SHEET	ASP.1
NEIGHBORHOOD SITE PLAN	ASP.2
LANDSCAPE PLAN	LP.1
FIRST FLOOR PLAN	A.1.1
SECOND FLOOR PLAN	A.1.2
THIRD FLOOR PLAN	A.1.3
FOURTH FLOOR PLAN	A.1.4
ROOF TOP FLOOR PLAN	A.1.5
ENLARGED UNIT FLOOR PLAN	A.1.6
EXTERIOR ELEVATIONS	A.2.1
EXTERIOR ELEVATIONS	A.2.2
PHOTOMETRIC PLAN	1

**SURVEY**

ALTA/TOPOGRAPHIC SURVEY	1
<b>CIVIL</b>	
STORMWATER MANAGEMENT	1

**PROPERTY INFO:**  
 AREA: 15,500± SF OR 0.35± ACRES

**BUILDING**  
 FLOORS: 4  
 HEIGHT: 58'-0"  
 BUILDING FOOTPRINT: 7,126 SF  
 BUILDING SIZE: 28,777 SF

**APARTMENT UNITS: (33) 1 BEDROOM UNITS**

**USE: MIXED USE - FIRST FLOOR RETAIL & RESIDENTIAL**  
**SECOND TO FOURTH FLOOR RESIDENTIAL**

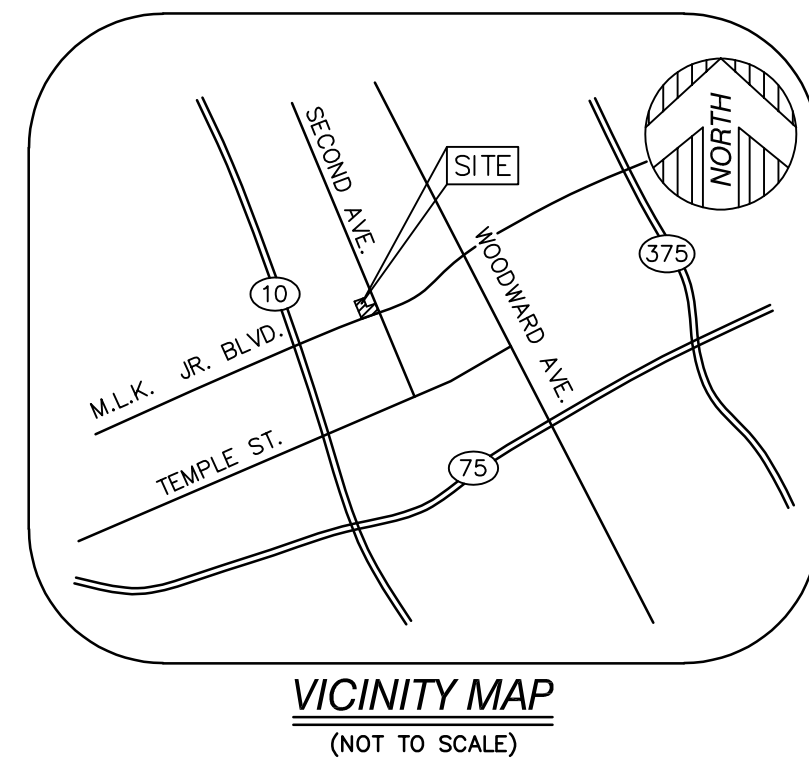
**SETBACKS**  
 FRONT: 0 FEET  
 PROPOSED FRONT: 0 FEET  
 REAR: 10 FEET  
 PROPOSED REAR: 10' & 135' FEET  
 SIDE: 0 FEET  
 PROPOSED SIDE: 0 FEET & 1.3 FEET

**LOT COVERAGE**  
 7,126/15,500 = 46%

**ZONING DESIGNATION**  
 SD2 - SPECIAL DEVELOPMENT DISTRICT, MIXED-USE

**RESIDENTIAL DENSITY**  
 33 UNITS/0.35 ACRES = 94.3 UNITS PER ACRE

**RECREATIONAL SPACE REQUIREMENT**  
 0.07RSR = 0.07X28,777 = 2,015 SF  
 PROVIDED  
 SITE = 469 SF  
 ROOF TOP GARDEN = 1,551 SF  
 TOTAL = 2,020 SF



**FAR**  
 BUILDABLE LAND AREA: 14,500 SF  
 GROSS FLOOR AREA: 28,777 SF  
 28,777/14,500 = 1.98

**PARKING**  
 Apartments 0.75 per dwelling unit (Bus stop within 0.5 miles of site.)  
 Retail: (1 per 200 SF gross floor area) x 0.75 (Bus stop within 0.5 miles of site.) (Sec. 50-14-49)

**Required:**  
 Apartments: 0.75 X 33 = 25 Spaces  
 Retail: (911 SF /200)x0.75 = 4 Spaces  
**TOTAL: 29 SPACES**

**PROVIDED:**  
 On site: 20 Spaces  
 On street: 6 Spaces  
**TOTAL: 26 Spaces**

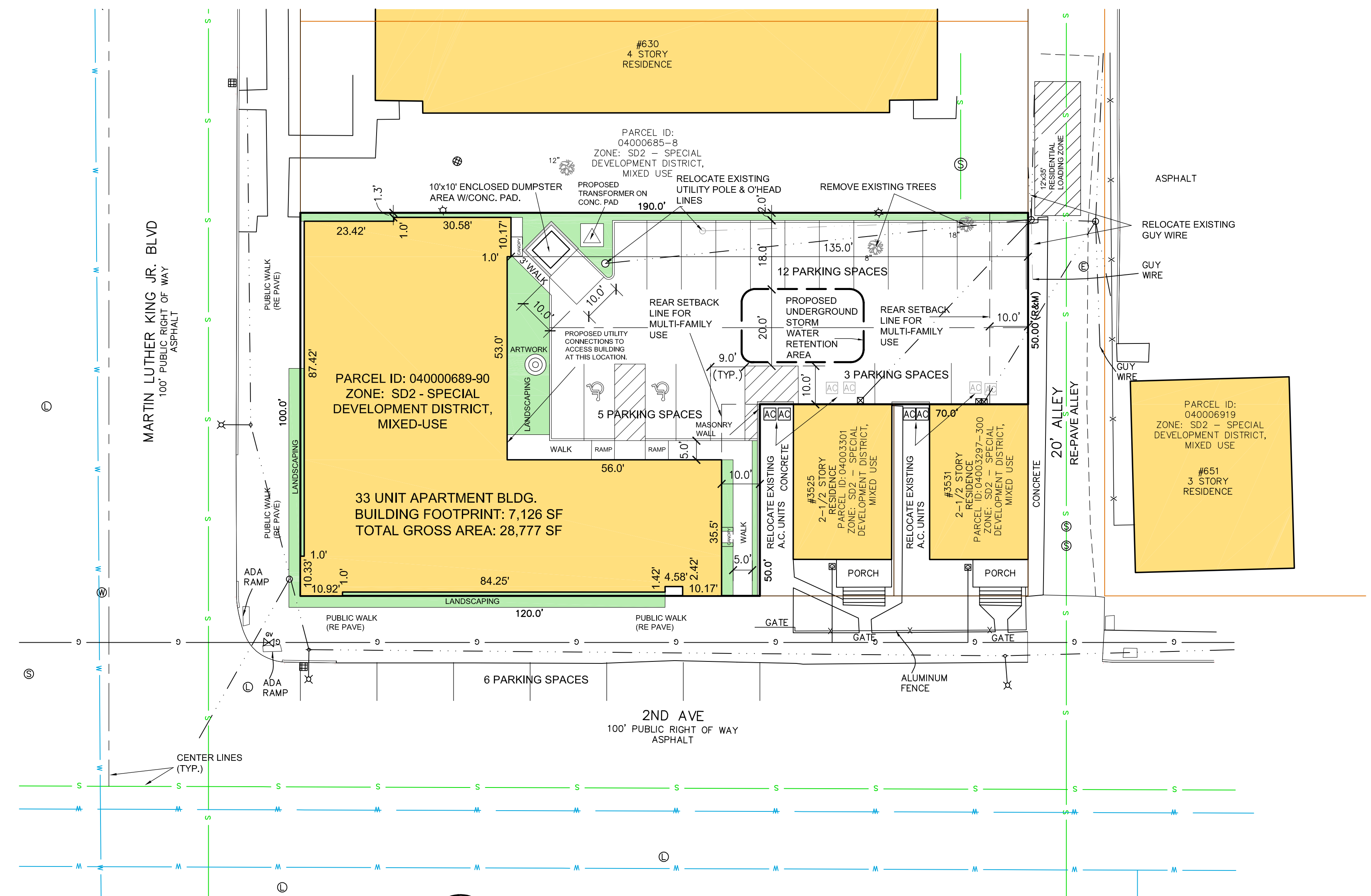
**DEFICIT of 3 spaces**

**Loading Zones**  
 Retail = 911 Sf = No Loading Zone Required  
 Residential = 12'x35'

**NOTE:**  
 ALL PROPOSED UTILITIES ARE TO BE PROPERLY LOCATED BY A CIVIL ENGINEER FOR BUILDING PERMITS.

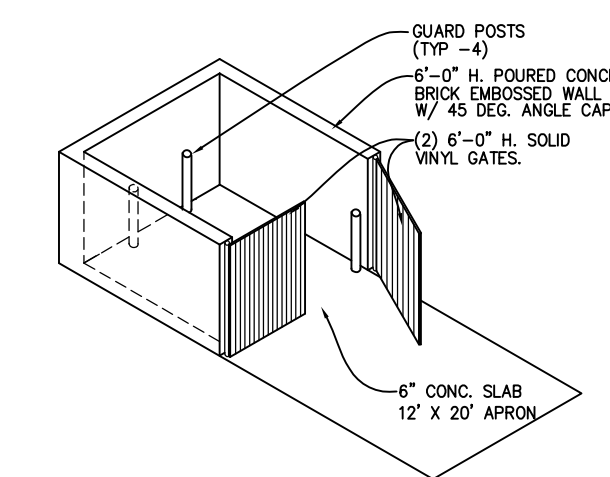


**CONCEPT RENDERING**

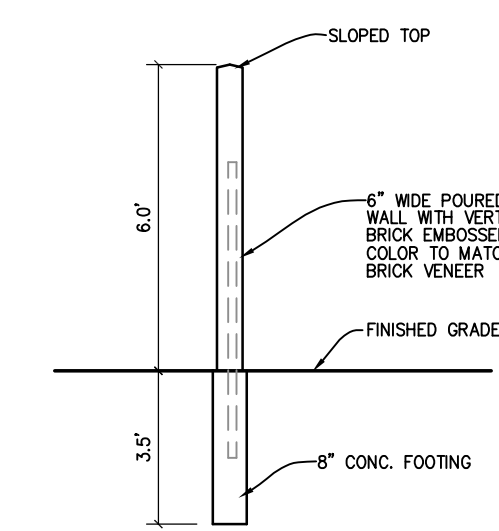


**CONCEPT SITE PLAN**

SCALE: 1"=20'-0"



**DUMPSTER DETAIL**  
 NOT TO SCALE

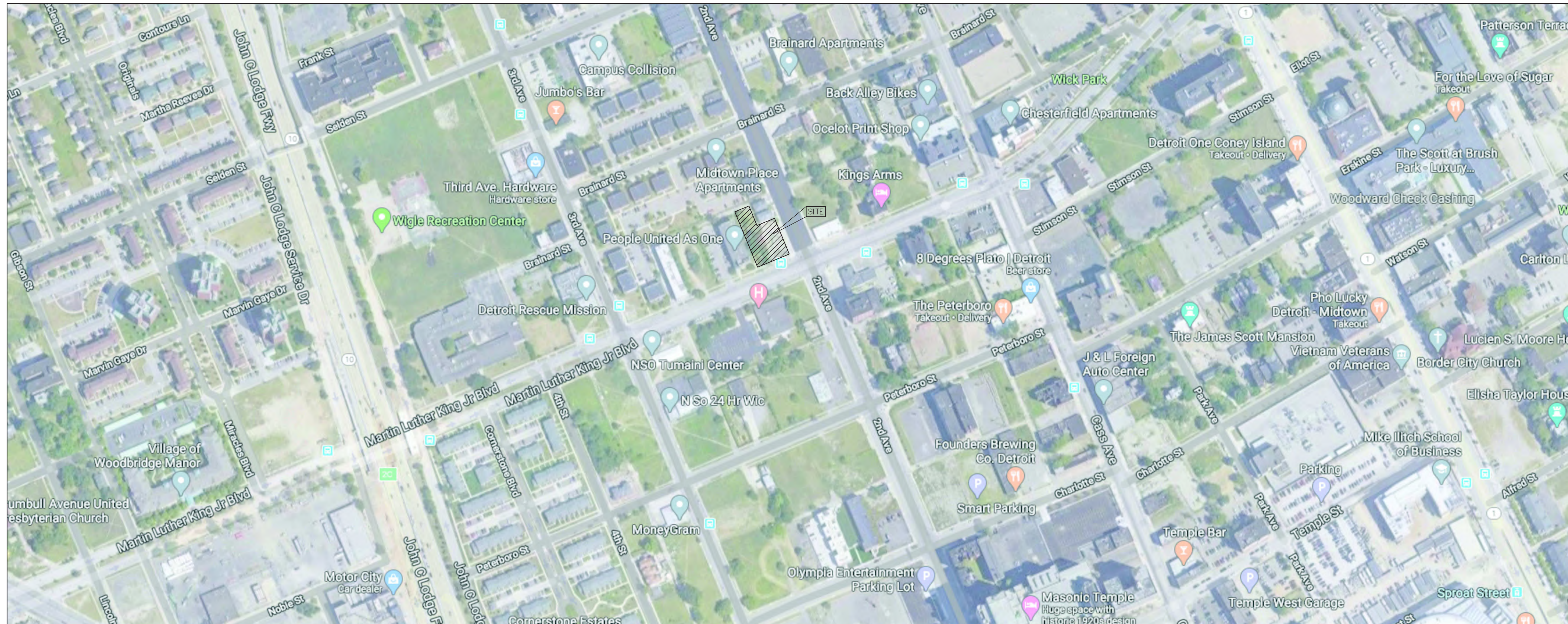


**CONCRETE WALL DETAIL**  
 NOT TO SCALE

**LEGEND**

●	FOUND MONUMENT (AS NOTED)
⊕	ELECTRIC METER
⊖	ELECTRIC MANHOLE
⊙	ELECTRIC PANEL
⊚	UTILITY POLE
⊛	GAS METER
⊜	GAS VALVE
⊝	LIGHT POLE WITH STREET LAMP
⊞	WATER VALVE
⊟	WATER GATE MANHOLE
⊠	FIRE HYDRANT
⊡	TRAFFIC SIGNAL
⊢	PUBLIC LIGHTING MANHOLE
⊣	SEWER MANHOLE
⊤	ROUND CATCH BASIN
⊥	SQUARE CATCH BASIN
⊦	AIR CONDITIONING UNIT
⊧	LIGHTPOST/LAMP POST
⊨	DECIDUOUS TREE (AS NOTED)
⊩	PARCEL BOUNDARY LINE
⊪	PLATTED LOT LINE
⊫	ADJOINER PARCEL LINE
⊬	BUILDING
⊭	CONCRETE CURB
⊮	EDGE OF CONCRETE (CONC.)
⊯	FENCE (AS NOTED)
⊰	OVERHEAD UTILITY LINE
⊱	GAS LINE
⊲	SEWER LINE
⊳	WATER LINE
■	BUILDING AREA

CLIENT:	FADI NASSAR
PROJECT:	SECOND STREET APARTMENTS
LOCATION:	3515 SECOND ST., DETROIT, MICHIGAN
AREA:	SITE AREA: 15,500± SF OR 0.35± ACRES
PROFESSIONAL ARCHITECTS	KEM-TEC & ASSOCIATES
PROFESSIONAL ENGINEERS	
PROFESSIONAL SURVEYORS	
ADDRESS:	22556 GRATIOT AVENUE
PHONE:	(586) 772-2222
FAX:	(586) 772-4048
APPLICANT:	FADI NASSAR
ADDRESS:	PO BOX 2477
CITY:	BIRMINGHAM, MI 48012
PHONE:	(248) 787-7070
DRAWN BY:	BO/ML
SCALE:	1" = 20'-0"
DATE:	08/18/20
PROJECT NO:	20-01425
SHEET NO:	ASP.1
REVISION:	#1 11-04-20
DATE:	BY
DESCRIPTION:	UTILITY NOTE



**CONCEPT SITE PLAN**  
NOT TO SCALE

DRAWN BY: M.L. SCALE: NOT TO SCALE DATE: 09/18/20 PROJECT NO: 20-01425	APPLICANT: <b>FADI NASSAR</b> PO BOX 2477 BIRMINGHAM, MI 48012 PHONE: (248) 787-7070	PROFESSIONAL ARCHITECTS PROFESSIONAL ENGINEERS PROFESSIONAL SURVEYORS <b>KEM-TEC &amp; ASSOCIATES</b> 22550 GRATIOT AVENUE DETROIT, MI 48219 (586) 772-2222 PHONE (586) 772-4048 FAX	<b>NEIGHBORHOOD SITE PLAN</b>	CLIENT: <b>FADI NASSAR</b> <b>SECOND STREET APARTMENTS</b> 3515 SECOND ST., DETROIT, MICHIGAN SITE AREA: 15,500± SF OR 0.35± ACRES	REVISION DATE BY DESCRIPTION
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**LANDSCAPING NOTES**

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL MATERIALS AND PLANTS SHOWN ON THE PLAN WHETHER OR NOT INCLUDED IN THE "PLANT LIST".
- ALL NURSERY STOCK TO BE WELL BRANCHED, HEALTHY, FULL, VIGOROUS, PRE INOCULATED, AND FERTILIZED. DECIDUOUS TREES TO BE FREE OF FRESH SCARS AND BRANCHES TO BE A HEIGHT OF 5' ABOVE ROOTBALL. TRUNKS SHALL BE WRAPPED, IF NECESSARY, TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPER SHALL REMOVE SAID WRAP AT THE PROPER TIME AS PART OF HIS CONTRACT.
- ALL NURSERY STOCK SHALL BE GUARANTEED.
- TOPSOIL, 4" THICK, SHALL BE PROVIDED AND GRADED BY THE LANDSCAPE CONTRACTOR AND SUBJECT TO APPROVAL BY THE OWNER.
- ALTERNATIVES MAY ONLY BE USED IN THE EVENT OF UNAVAILABILITY OF THE SELECTED SPECIES WITHIN A REASONABLE DISTANCE OR DUE TO SEASON. PROOF MAY BE REQUESTED BY THE ENGINEER.
- EVERGREEN TREES SHALL NOT BE PLANTED DURING JUNE, JULY, OR AUGUST.
- MULCH SHALL NOT CONTAIN ANY FARM WASTE AND SHALL BE INDICATED ON PLAN FOR EACH AREA.
- A CHEMICAL WEED PREVENTATIVE BARRIER SHALL BE APPLIED IN ALL NON-GRASS AREAS WHICH DO NOT HAVE POLYETHYLENE FILM MULCH INDICATED.
- REMOVE ALL TWINE, WIRE, AND BURLAP FROM SHRUB AND TREE EARTH BALLS AND FROM TREE TRUNKS.
- LAWN TREES TO BE MULCHED WITH A 2' WIDE BY MINIMUM 6" DEEP SHREDDED BARK RING.
- SHRUB BEDS TO BE MULCHED WITH 3" OF SHREDDED WOOD BARK.
- ALL SOD AND SEED TO BE KENTUCKY BLUE BLEND.

**EXAMINATION OF SITE**

- THE CONTRACTOR SHALL VISIT THE JOB SITE BEFORE HE SUBMITS HIS BID TO TO BECOME FAMILIAR WITH THE ACTUAL JOB CONDITIONS AND TO CHECK FOR ANY INTERFERENCE BETWEEN THE WORK AND THAT OF OTHER TRADES AND/OR ANY APPARENT VIOLATIONS OF LOCAL OR STATE CODES, LAWS, ORDINANCES, AND REGULATIONS. IF ANY INTERFERENCE OR VIOLATIONS APPEAR AND DEPARTURE FROM THE DESIGN INTENT OF THE CONTRACT DOCUMENT S IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE ENTERING INTO THE CONTRACT WITH THE OWNER. FAILURE TO PROVIDE THE ARCHITECT/ENGINEER WITH THE AFOREMENTIONED NOTIFICATION WILL RESULT IN THE CONTRACTOR BEING HELD RESPONSIBLE TO COMPLETE ALL WORK TO MEET THE INTENT OF THE CONTRACT DRAWINGS WITH NO ADDITIONAL EXPENSE ("EXTRAS") BEING INCURRED BY THE OWNER.

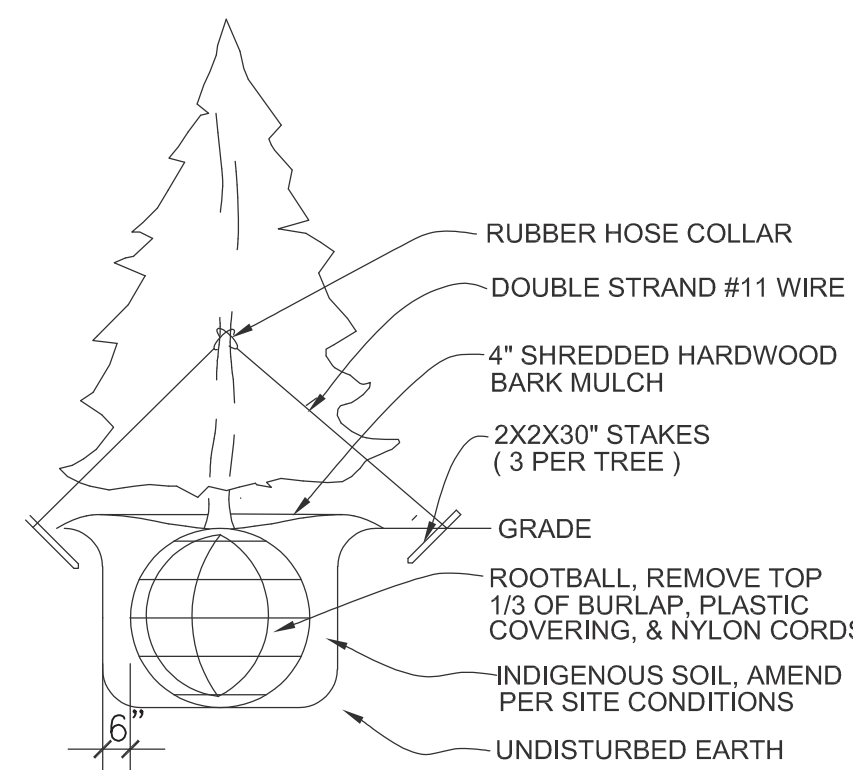
**CLEANING**

- PREMISES SHALL BE CLEANED UPON COMPLETION OF THE WORK.
- UPON COMPLETION OF THE WORK, THOROUGHLY CLEAN ALL SYSTEMS AND TEST TO INSURE THAT THE SYSTEMS PERFORM TO THEIR REQUIREMENTS.

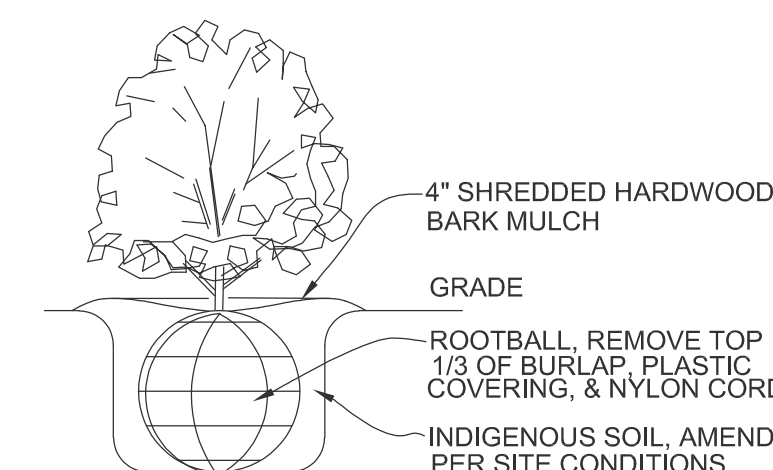
**MAINTENANCE**

- THE PROPERTY OWNER WILL TAKE CARE OF THE LANDSCAPING. A LANDSCAPING MAINTENANCE PLAN WILL BE DEVELOPED AS PER ENTERPRISE GREEN COMMUNITIES' REQUIREMENTS PER THE BUILDING AND OPERATIONS MANUAL AND WILL BE PROVIDED AT A LATER DATE.

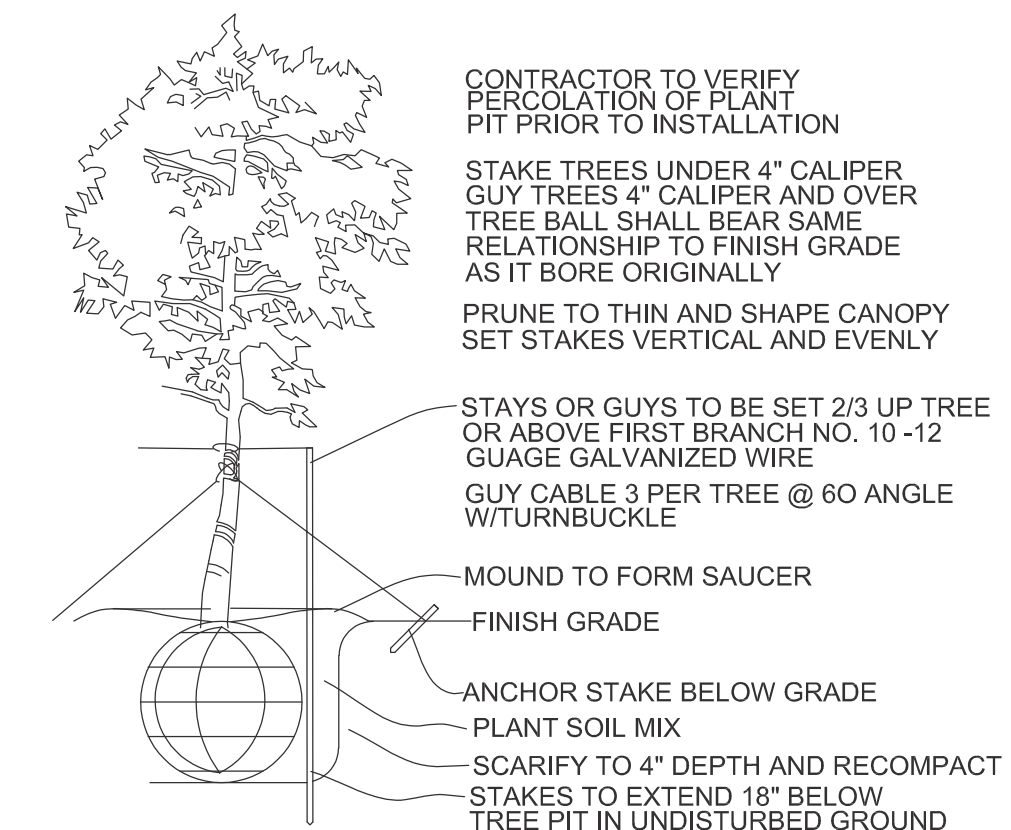
LANDSCAPING SCHEDULE				
SYM.	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
"A"	55	GREEN VELVET BOXWOOD	BUXUS X "GREEN VELVET"	18"
"B"	11	AMERICAN ARBORVITAE	TSUGA CANADENSIS	4'-5'



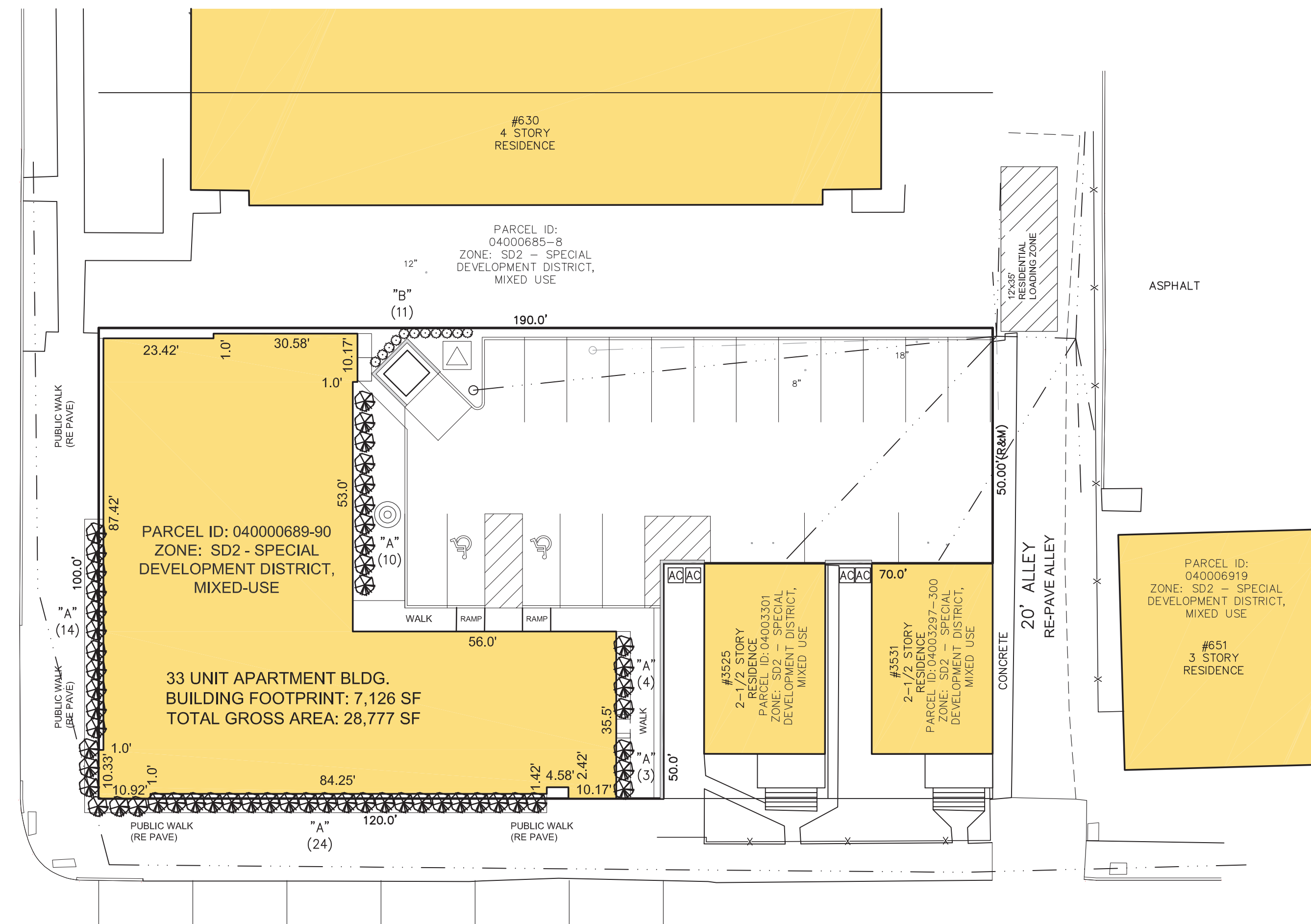
**EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



**SHRUB PLANTING DETAIL**  
NOT TO SCALE



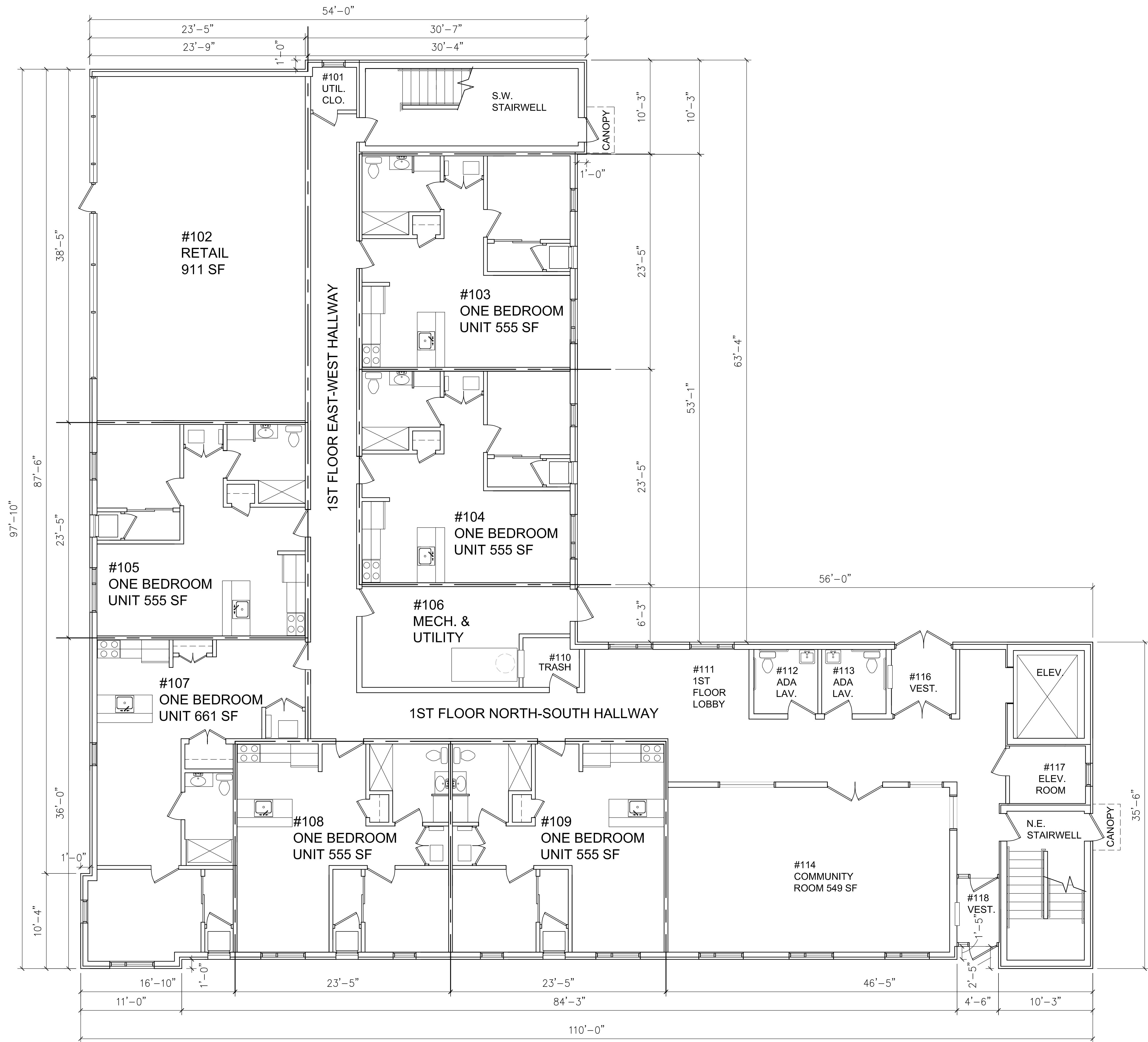
**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE



**CONCEPT SITE PLAN**

SCALE: 1"=20'-0"

CLIENT:	FADI NASSAR
PROJECT:	SECOND STREET APARTMENTS 3515 SECOND ST., DETROIT, MICHIGAN SITE AREA: 15,500± SF OR 0.35± ACRES
PROFESSIONAL ARCHITECTS PROFESSIONAL ENGINEERS PROFESSIONAL SURVEYORS	KEM-TEC & ASSOCIATES
22556 GRATIOT AVENUE DETROIT, MI 48212 (586)772-2222 PHONE (586)772-4048 FAX	
APPLICANT:	FADI NASSAR PO BOX 2477 BIRMINGHAM, MI 48012 PHONE: (248) 787-7070
DRAWN BY: M.L.L.	SCALE: 1" = 20'-0"
DATE: 08/18/20	PROJECT NO: 20-01425
SHEET NO: LP.1	

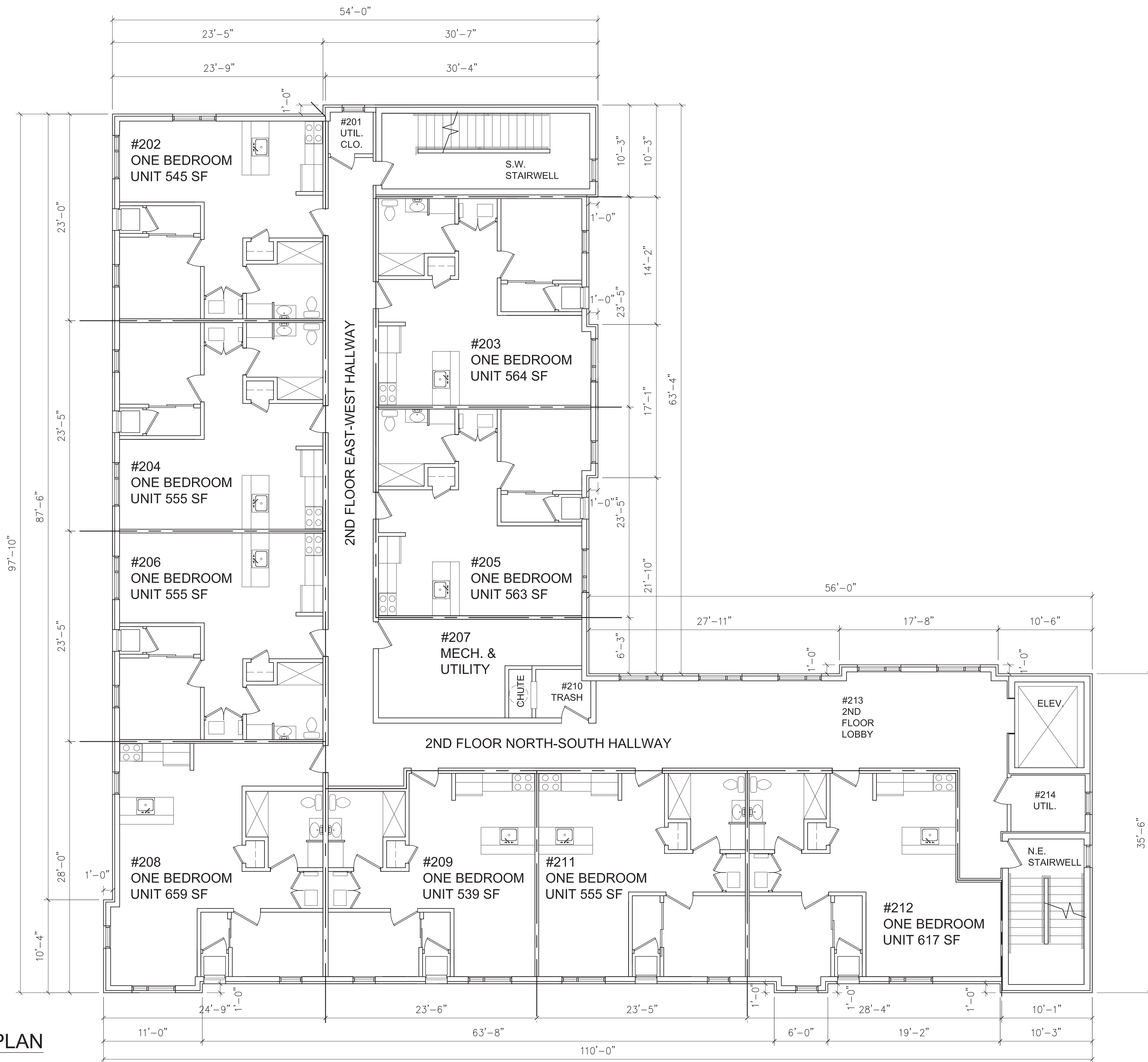


**FIRST FLOOR PLAN**  
 SCALE: 3/16"=1'-0" 7,126 SF

BO/ML:	APPLICANT:	<b>FADI NASSAR</b> PO BOX 2477 BIRMINGHAM, MI 48012 PHONE: (248) 787-7070		PROFESSIONAL ARCHITECTS PROFESSIONAL ENGINEERS PROFESSIONAL SURVEYORS 22556 GRATIOT AVENUE OAKLAND, MI 48867 (586) 772-2222 PHONE (586) 772-4048 FAX	<b>FIRST FLOOR PLAN</b>	CLIENT: <b>FADI NASSAR</b> <b>SECOND STREET APARTMENTS</b> 3515 SECOND ST., DETROIT, MICHIGAN SITE AREA: 15,500± SF OR 0.35± ACRES	REVISION #	DATE	BY	DESCRIPTION
SCALE: 3/16" = 1'-0"										
DATE: 08/18/20										
PROJECT NO: 20-01425										
SHEET NO: <b>A.1.1</b>										



**SECOND FLOOR PLAN**  
SCALE: 3/16"=1'-0" 7,174 SF



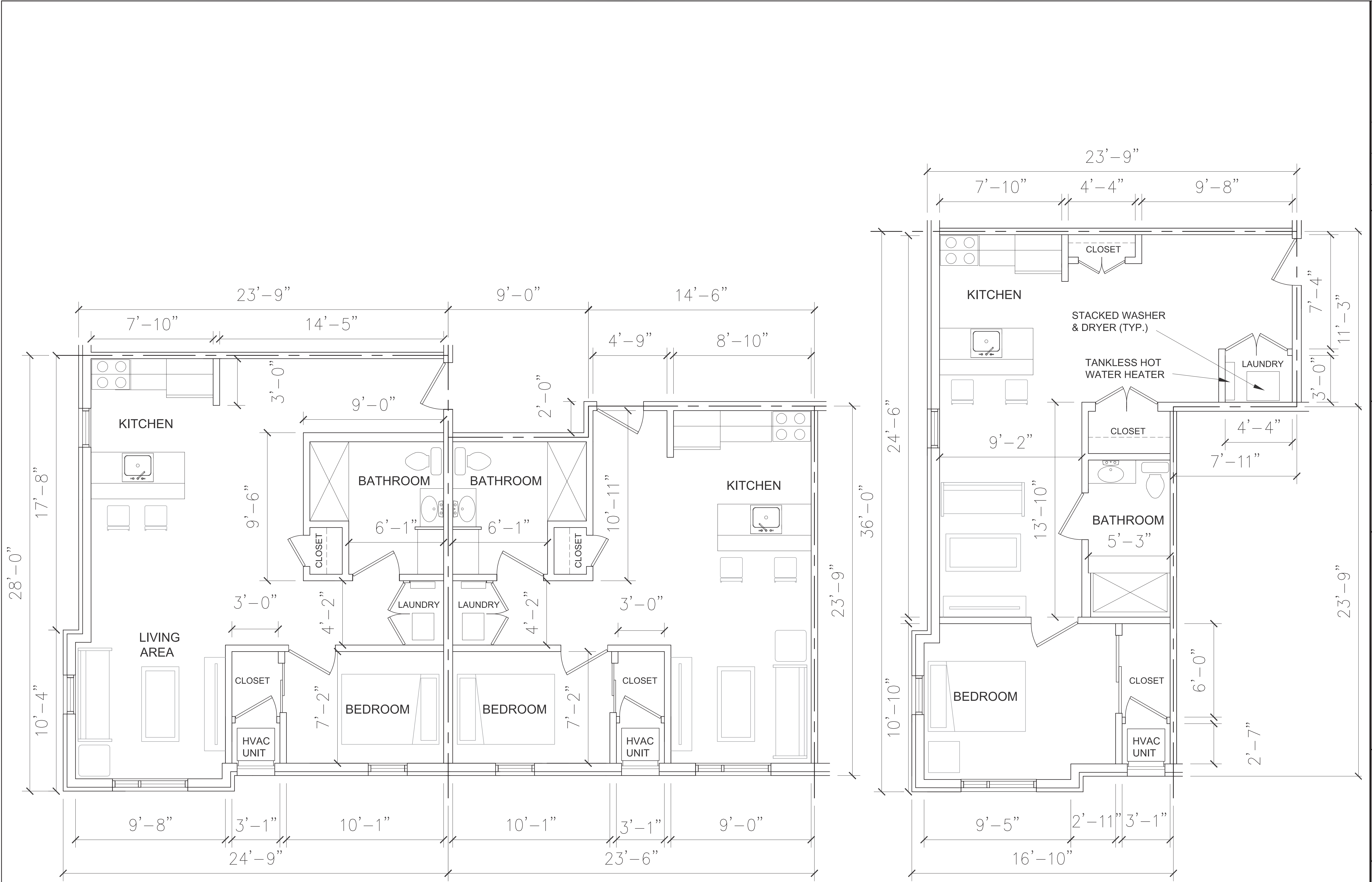
BO/ML	APPLICANT:	<b>FADI NASSAR</b> PO BOX 2477 BIRMINGHAM, MI 48012 PHONE: (248) 787-7070	<b>KEM-TEC &amp; ASSOCIATES</b> PROFESSIONAL ARCHITECTS PROFESSIONAL ENGINEERS PROFESSIONAL SURVEYORS 22556 GRATIOT AVENUE OAK RIDGE, MI 48229 (586) 772-2222 PHONE (586) 772-4048 FAX	<b>SECOND FLOOR PLAN</b>	CLIENT: <b>FADI NASSAR</b> <b>SECOND STREET APARTMENTS</b> 3515 SECOND ST., DETROIT, MICHIGAN SITE AREA: 15,500± SF OR 0.35± ACRES	REVISION	DATE	BY	DESCRIPTION
SCALE: 3/16" = 1'-0"	DATE: 08/18/20					PROJECT NO: 20-01425			
SHEET NO: <b>A.1.2</b>									





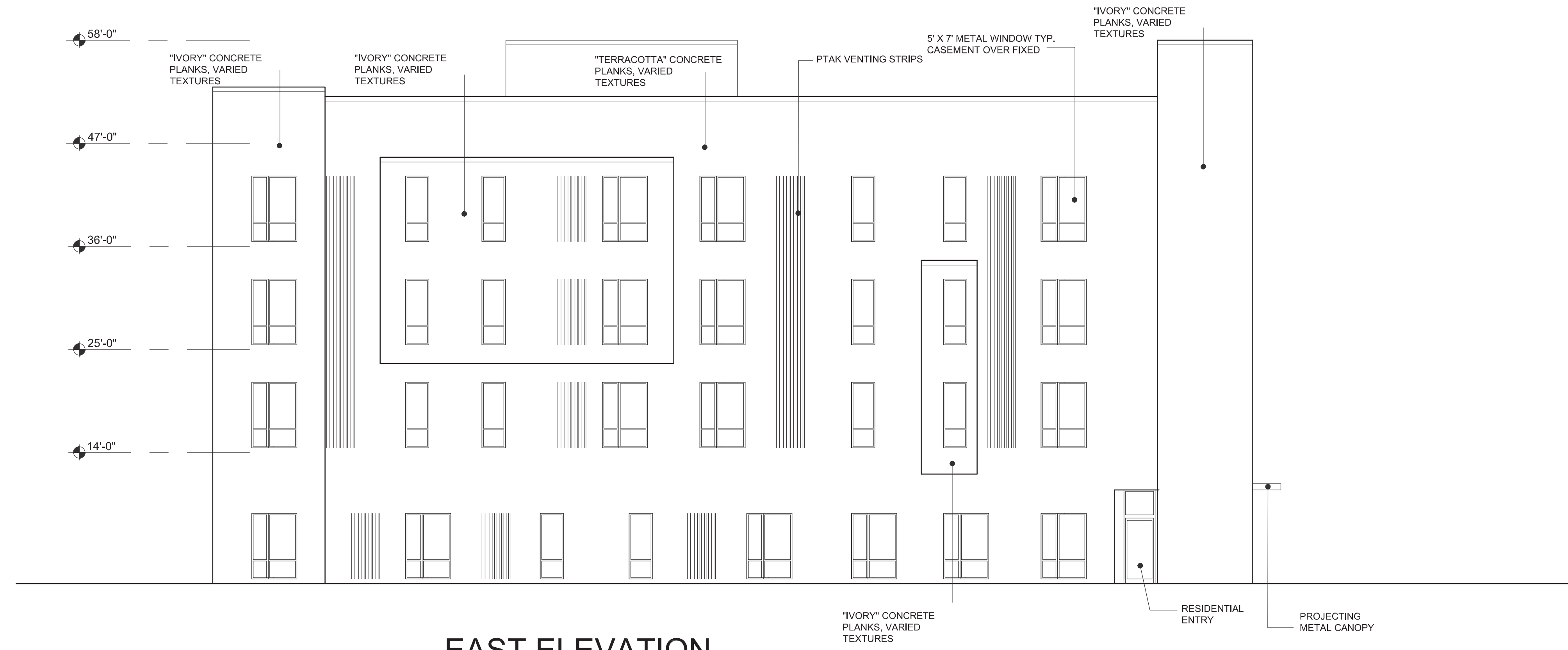




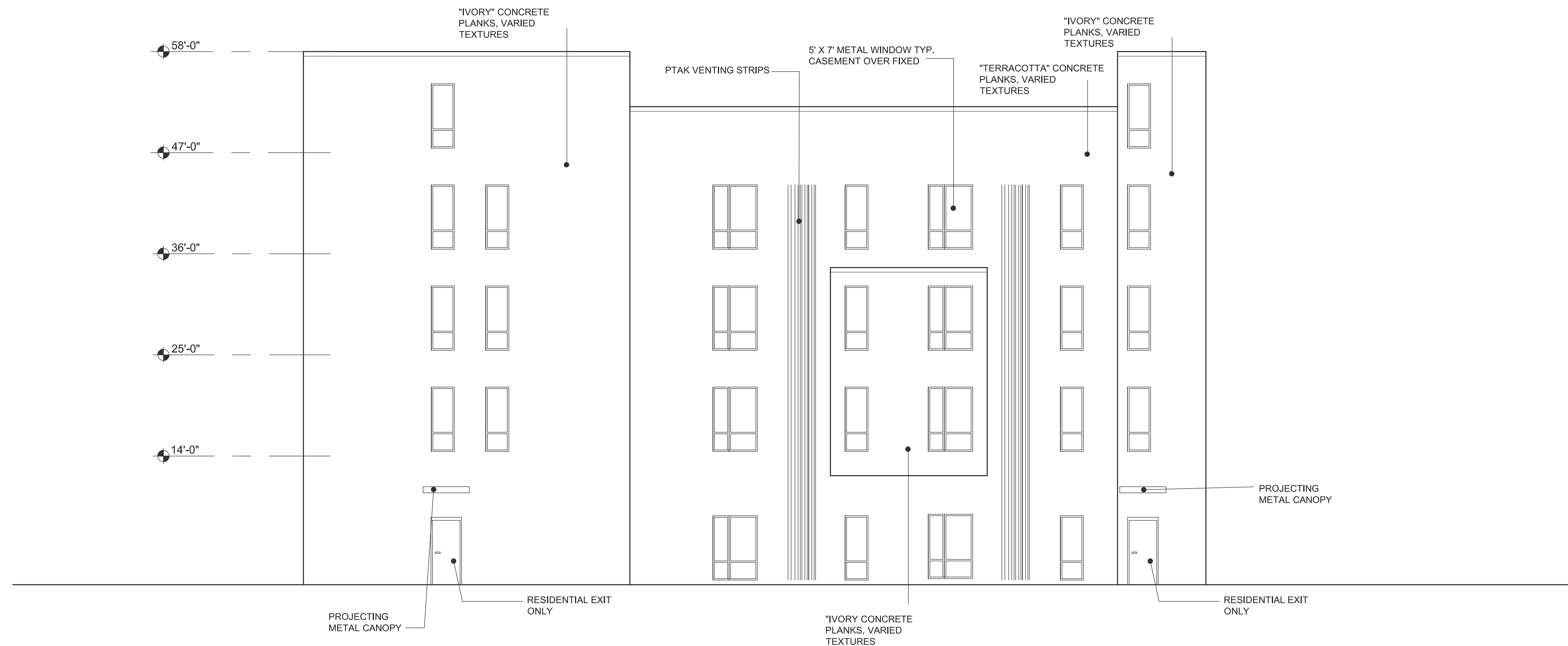


**ENLARGED UNIT PLANS**  
SCALE: 3/8"=1'-0"

BO/ML:	APPLICANT:	<b>FADI NASSAR</b> PO BOX 2477 BIRMINGHAM, MI 48012 PHONE: (248) 787-7070	<b>KEM-TEC &amp; ASSOCIATES</b> 	<b>ENLARGED UNIT FLOOR PLAN</b>	CLIENT: <b>FADI NASSAR</b> <b>SECOND STREET APARTMENTS</b> 3515 SECOND ST., DETROIT, MICHIGAN SITE AREA: 15,500± SF OR 0.35± ACRES	REVISION	DATE	BY	DESCRIPTION
SCALE: 3/8" = 1'-0"	PROFESSIONAL ARCHITECTS								
DATE: 08/18/20	PROFESSIONAL ENGINEERS								
PROJECT NO: 20-01425	PROFESSIONAL SURVEYORS								



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

REVISION	DATE	BY	DESCRIPTION

CLIENT: **FADI NASSAR**  
**SECOND STREET APARTMENTS**  
 3515 SECOND ST., DETROIT, MICHIGAN  
 SITE AREA: 15,500± SF OR 0.35± ACRES

**ELEVATIONS**

PROFESSIONAL ARCHITECTS  
 PROFESSIONAL ENGINEERS  
 PROFESSIONAL SURVEYORS  
**KEM-TEC & ASSOCIATES**  
 22556 GRATIOT AVENUE  
 CLARKSTON, MI 48012  
 (586) 772-2222 PHONE  
 (586) 772-4048 FAX



APPLICANT: **FADI NASSAR**  
 PO BOX 2477  
 BIRMINGHAM, MI 48012  
 PHONE: (248) 787-7070

BO/MLL	SCALE: 1/8" = 1'-0"
DATE: 08/18/20	PROJECT NO: 20-01425



### D-Series Size 1 LED Wall Luminaire

**Specifications**  
Width: 13.5" Height: 12.5" Depth: 3.5" Weight: 1.5 lbs

**Back Box (BBW, ELCW)**  
Width: 13.5" Height: 12.5" Depth: 3.5" Weight: 1.5 lbs

**Introduction**  
The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

**Ordering Information**  
EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBT2D

Order	LED	Color	Temp	Beam	Mount	Finish	Notes
DSXW1	LED	20C	1000	40K	T3M	MVOLT	DDBT2D

**Accessories**

One Lithonia Way • Corvallis, Georgia 30631 • Phone: 800-305-5238 • [www.lithonia.com](http://www.lithonia.com) DSXW1 LED Rev. 09/12/19

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### D-Series Size 0 LED Area Luminaire

**Specifications**  
Length: 20" Width: 13" Height: 3" Weight: 1.5 lbs

**Introduction**  
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

**Ordering Information**  
EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DDBX2D

Order	LED	Color	Temp	Beam	Mount	Finish	Notes
DSX0	LED	P6	40K	T3M	MVOLT	SPA	NLTAR2 PIRHN DDBX2D

**Accessories**

One Lithonia Way • Corvallis, Georgia 30631 • Phone: 800-305-5238 • [www.lithonia.com](http://www.lithonia.com) DSX0 LED Rev. 09/12/19

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**Ordering Note**  
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

**Drawing Note**  
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

**Mounting Height Note**  
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

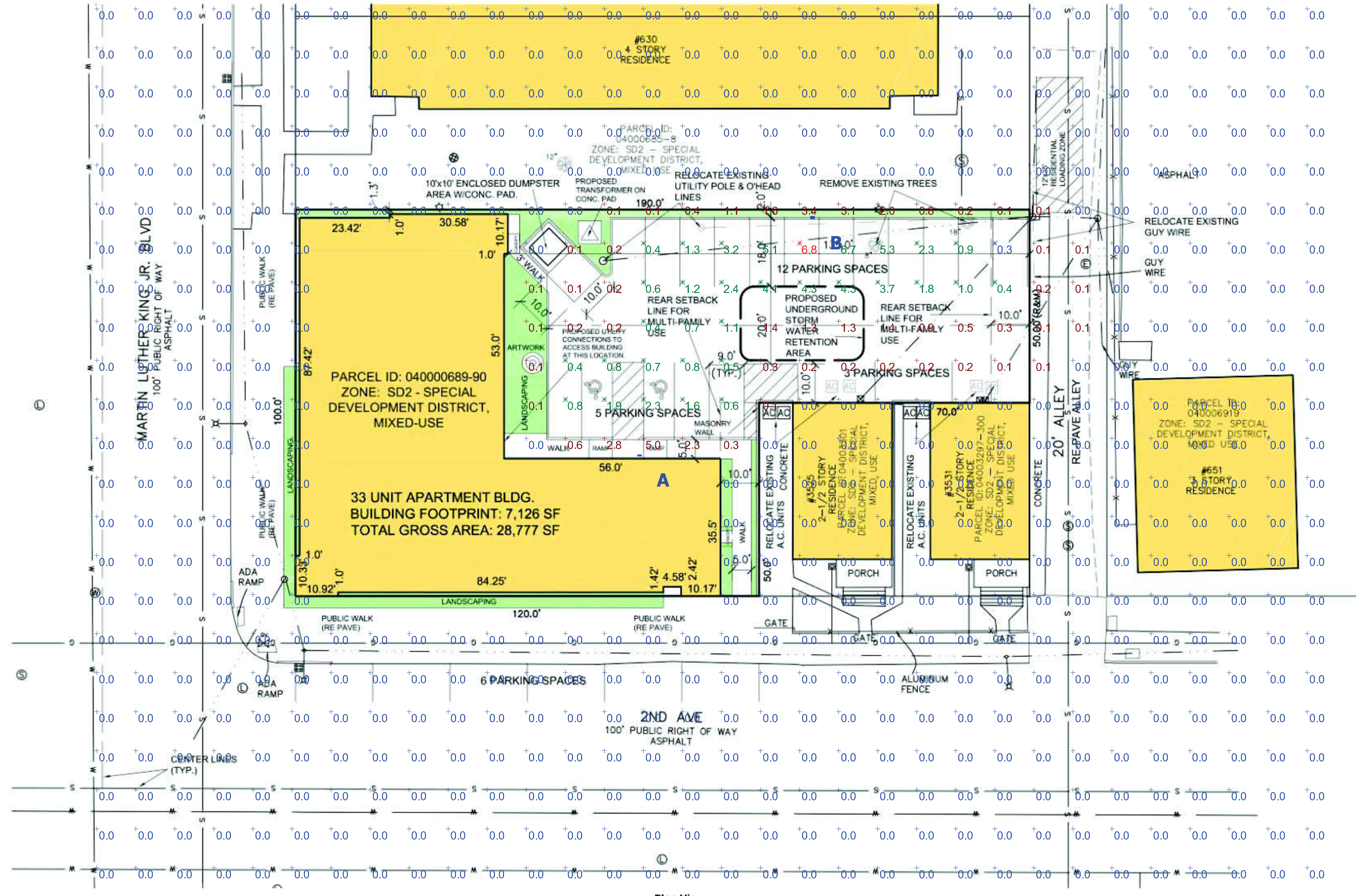
**General Note**  
1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.  
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 5' - 0" ABOVE GRADE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

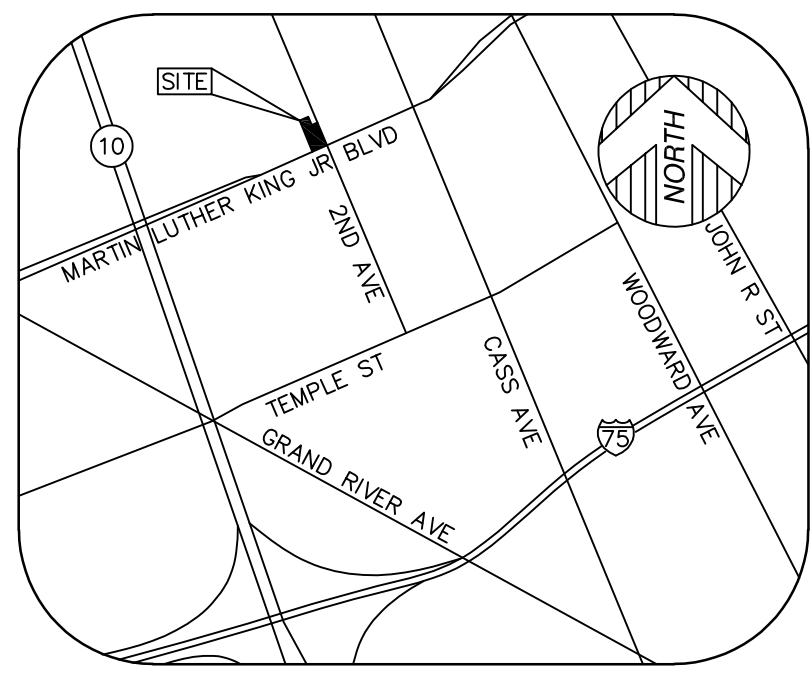
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Plan View  
Scale - 1" = 18ft

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
PARKING	✳	2.1 fc	6.8 fc	0.3 fc	22.7:1	7.0:1	0.3:1
SITE	+	0.2 fc	6.8 fc	0.0 fc	N/A	N/A	0.0:1

Schedule										
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Mounting Height
✳	A	1	DSXW1 LED 20C 350 40K TFTM MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE TFTM OPTIC, 4000K, @ 350mA.	LED	1	3019	0.9	23.3	12'
+	B	1	DSX0 LED P4 40K BLC MVOLT	DSX0 LED P4 40K BLC MVOLT	LED	1	8656	0.9	92	20'



VICINITY MAP  
(NOT TO SCALE)

**PARKING**

NO MARKED PARKING ON SITE.

**PARCEL AREA**

15,500± SQUARE FEET = 0.35± ACRES

**BASIS OF BEARING**

NORTH 30°00'00" WEST, BEING THE WESTERLY RIGHT OF WAY LINE OF 2ND AVE., AS PLATTED.

**BENCHMARK**

**SITE BENCHMARK #1**  
NORTHEAST BOLT ON POLE.  
ELEVATION = 615.84' (NAVD 88)

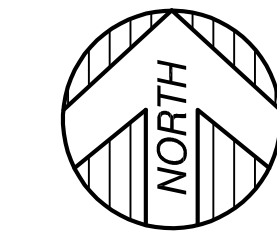
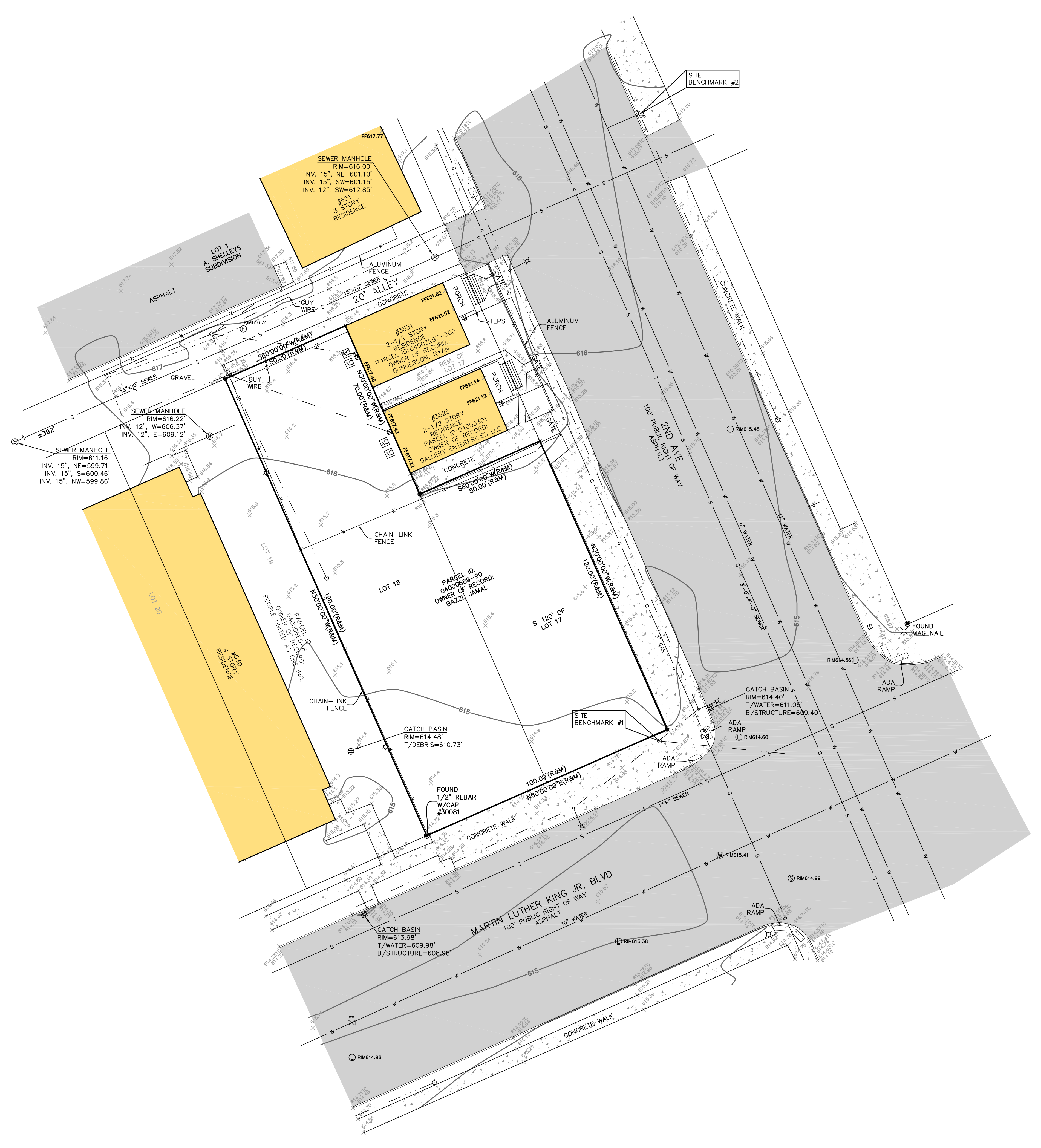
**SITE BENCHMARK #2**  
BOLT ON NORTH SIDE OF FLANGE ON HYDRANT.  
ELEVATION = 617.15' (NAVD 88)

**SURVEYOR'S NOTE**

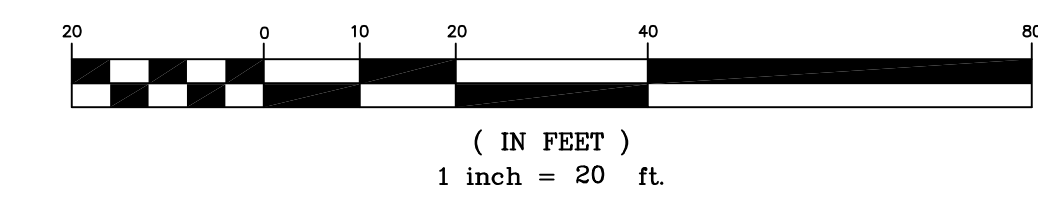
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**LEGEND**

- SET 1/2" REBAR WITH CAP P.S. 47976
- × SET PAINT DOT
- (R&M) FOUND MONUMENT (AS NOTED)
- (R) RECORD AND MEASURED DIMENSION
- (M) RECORD DIMENSION
- MEASURED DIMENSION
- GROUND ELEVATION
- ELECTRIC METER
- ELECTRIC MANHOLE
- ELECTRIC PANEL
- UTILITY POLE
- GAS METER
- GAS VALVE
- LIGHT POLE WITH STREET LAMP
- WATER GATE MANHOLE
- WATER VALVE
- FIRE HYDRANT
- TRAFFIC SIGNAL
- PUBLIC LIGHTING MANHOLE
- SEWER MANHOLE
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- AIR CONDITIONING UNIT
- LIGHTPOST/LAMP POST
- DECIDUOUS TREE (AS NOTED)
- PARCEL BOUNDARY LINE
- PLATTED LOT LINE
- ADJOINER PARCEL LINE
- BUILDING
- CONCRETE CURB
- EDGE OF CONCRETE (CONC.)
- FENCE (AS NOTED)
- OVERHEAD UTILITY LINE
- GAS LINE
- SEWER LINE
- WATER LINE
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- BUILDING AREA
- ASPHALT
- CONCRETE



GRAPHIC SCALE



**PROPERTY DESCRIPTION**

THE LAND SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:  
  
THE SOUTH 120 FEET OF LOT 17 AND ALL OF LOT 18, BLOCK 90, CASS FARM SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 1, PAGES 175, 176 AND 177 OF PLATS, WAYNE COUNTY RECORDS.

**TITLE REPORT NOTE**

- ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT No. 704140, DATED MAY 06, 2020, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.
- TERMS AND CONDITIONS OF BOARD OF ZONING APPEALS DECISION AND ORDER, RECORDED ON SEPTEMBER 23, 2010 IN LIBER 48759, PAGE 38, WAYNE COUNTY RECORDS. (SEE DOCUMENT FOR TERMS AND CONDITIONS)
  - TERMS AND CONDITIONS OF RESOLUTION RECORDED IN LIBER 20767, PAGE 342, WAYNE COUNTY RECORDS. (SEE DOCUMENT FOR TERMS AND CONDITIONS)
  - TERMS AND CONDITIONS AS DISCLOSED IN INSTRUMENT RECORDED IN LIBER 20043, PAGE 119, WAYNE COUNTY RECORDS. (SEE DOCUMENT FOR TERMS AND CONDITIONS)

**ZONING REGULATIONS**

- SD2- SPECIAL DEVELOPMENT DISTRICT (ALL OTHER USES, OTHER THAN MIXED)
- FRONT SETBACK.
    - A MINIMUM FRONT SETBACK IS NOT REQUIRED.
    - THE MAXIMUM FRONT SETBACK ALLOWED SHALL BE THE AVERAGE OF THE FRONT SETBACK OF THE BUILDINGS LOCATED ON EACH SIDE OF THE SUBJECT BUILDING OR 20 FEET, WHICHEVER IS LESS. PARKING IN FRONT OF A NEIGHBORING BUILDING DOES NOT COUNT AS A FRONT SETBACK.
    - OFF-STREET PARKING SHALL BE PROHIBITED IN THE FRONT SETBACK.
  - REAR SETBACK.
    - IF AN ALLEY IS TO THE REAR OF A SINGLE-STORY BUILDING, A MINIMUM REAR SETBACK IS NOT REQUIRED. IF NO ALLEY IS PRESENT, SINGLE-STORY BUILDINGS SHALL HAVE A MINIMUM REAR SETBACK OF TEN FEET.
    - WHERE A SINGLE- OR TWO-FAMILY DWELLING IS LOCATED TO THE REAR, MULTIPLE-STORY BUILDINGS SHALL HAVE A REAR SETBACK OF TEN FEET IF AN ALLEY IS TO THE REAR OF THE BUILDING AND 20 FEET IF ONE IS NOT PRESENT.
    - MULTIPLE-FAMILY DWELLINGS SHALL HAVE A REAR SETBACK OF TEN FEET IF AN ALLEY IS PRESENT AND 20 FEET IF ONE IS NOT PRESENT.
  - SIDE SETBACK. NO MINIMUM SIDE SETBACK IS REQUIRED EXCEPT WHERE A BUILDING IS ADJACENT TO LAND ZONED R1, R2, R3, OR R4, WHERE ADJACENT TO LAND ZONED R1, R2, R3, OR R4, THE SIDE SETBACK SHALL BE CALCULATED USING FORMULA A.
  - OFF-STREET PARKING LOCATION. PARKING SHALL BE PROHIBITED BETWEEN THE STREET AND FRONT FACADE OF THE BUILDING.
  - MAXIMUM HEIGHT. MAXIMUM HEIGHT SHALL BE 45 FEET FOR NON-MIXED-USE. WHERE A LOT FRONTS ON A RIGHT-OF-WAY WHICH IS MORE THAN 60 FEET WIDE AND WHERE THE OUTERMOST POINT OF THE PROPOSED MIXED-USE BUILDING IS AT LEAST 40 FEET FROM ALL R1, R2, AND R3 DISTRICTS, THE MAXIMUM HEIGHT MAY BE INCREASED ONE FOOT FOR EACH ONE FOOT OF RIGHT-OF-WAY WIDTH GREATER THAN 60 FEET. THE MIXED-USE BUILDING MUST NOT EXCEED 80 FEET IN HEIGHT.

NOTE: ALL ZONING INFORMATION IS TAKEN FROM THE CITY OF DETROIT WEBSITE. ALL ZONING INFORMATION MUST BE VERIFIED FOR COMPLETENESS WITH CURRENT ZONING REGULATIONS.

**FLOOD NOTE**

SUBJECT PARCEL LIES WITHIN:  
OTHER AREA (ZONE X). AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.  
  
AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26163C0280E DATED 2/2/2012, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

**SURVEYOR'S CERTIFICATION**

TO MHT HOUSING, INC., MLK ON 2ND LIMITED DIVIDEND HOUSING ASSOCIATION, LLC, CIGNAIRE TITLE SERVICES, LLC, AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY:  
  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDED ITEMS 1, 2, 3, 4, 5, 6A, 6B, 7A, 7B1, 8, 9, AND 11 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 08/05/20.  
  
DATE OF PLAT OR MAP: 08/07/20

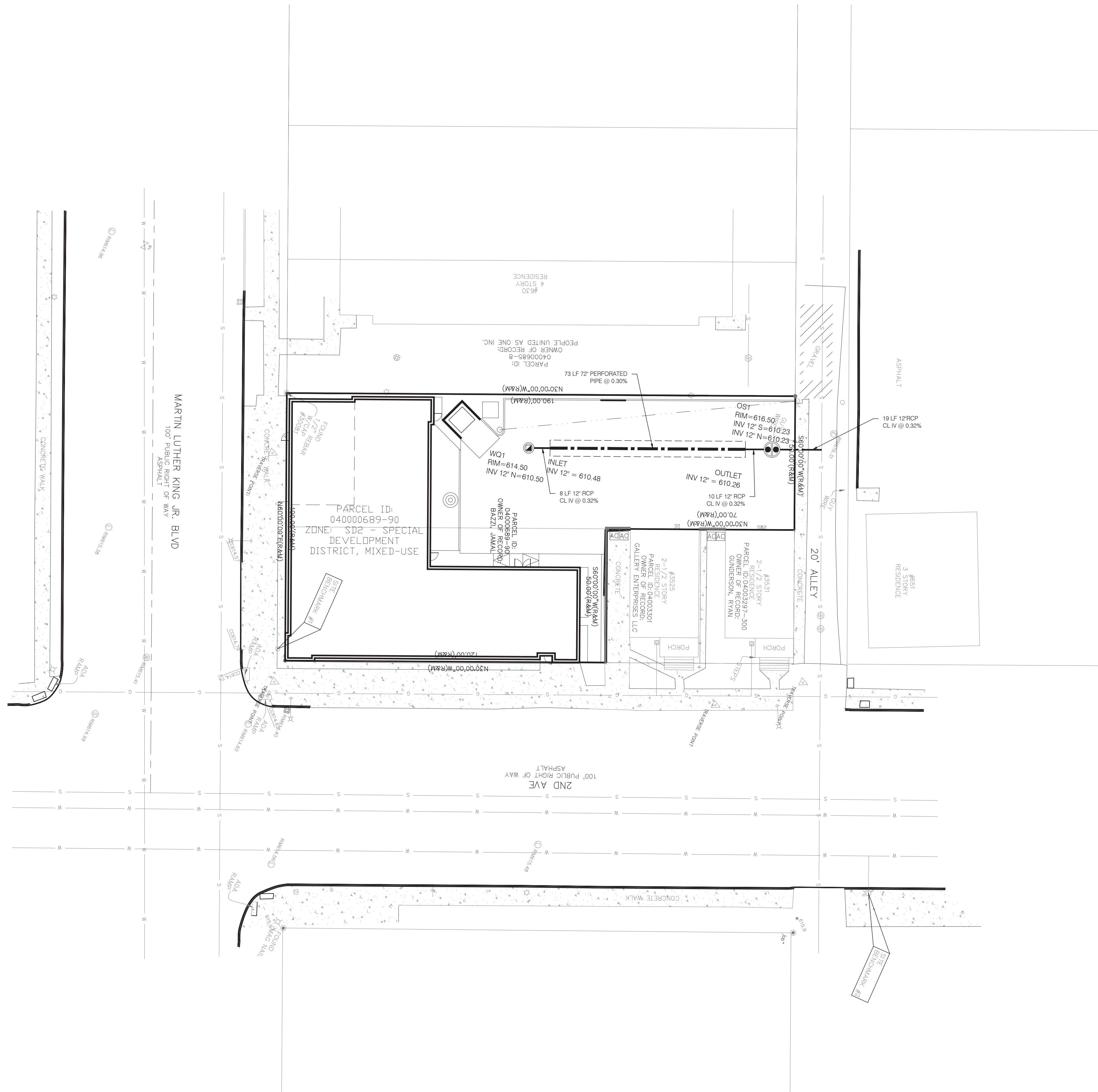
**DRAFT**

ANTHONY T. SYCKO, JR., P.S.  
PROFESSIONAL SURVEYOR  
MICHIGAN LICENSE NO. 47976  
22556 GRATIOT AVE., EASTPOINTE, MI 48021  
TSycko@kemtec-survey.com

ALTA / NSPS LAND TITLE SURVEY  
PREPARED FOR: FADI NASSAR  
3515 2ND AVE DETROIT MICHIGAN  
TOWN 2 SOUTH, RANGE 12 EAST

PROFESSIONAL ENGINEERING, SURVEYING & ENVIRONMENTAL SERVICES  
KEM-TEC  
A GROUP OF COMPANIES  
Eastpointe, Detroit  
Ann Arbor  
Grand Blanc  
www.kemtecgroupprofessionals.com

DATE	BY	REVISION	DESCRIPTION
08/06/20	MRJ		
08/07/20	ATS		
AUGUST 07, 2020	JDM	1	ADDED SEWER MANHOLE
20-0781	JDM		
8/28/20	JDM		
1			



**UTILITY NOTES**

1. ALL CONSTRUCTION PROCEDURES AND MATERIALS SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF CITY OF DETROIT A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED BY CITY OF DETROIT AND HELD PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR MUST CONTACT MISS DIG (811) AT LEAST THREE WORKING DAYS PRIOR TO THE START OF CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS. ALL UTILITIES SHALL BE STAKED BEFORE CONSTRUCTION BEGINS.
3. ALL WATER MAIN EASEMENTS SHALL BE PROVIDED PRIOR TO CONSTRUCTION AND ACCEPTANCE OF THE WATER DISTRIBUTION SYSTEM.
4. WATER MAINS SHALL BE CONSTRUCTED WITH A MINIMUM COVER OF 6 FEET BELOW FINISHED GRADES, INCLUDING OPEN DRAINAGE COURSES.
5. ALL TRENCHES UNDER OR WITHIN A 1:1 RATIO OF EXISTING OR PROPOSED PAVEMENT OR DRIVEWAYS, SHALL BE BACKFILLED WITH COMPACTED CLASS II SAND TO GRADE (95% MAXIMUM UNIT DENSITY).
6. WHERE TWO UTILITIES CROSS, PROVIDE CLASS II BACKFILL MATERIAL IN SIX (6) INCH COMPACTED LAYERS TO TOP HIGHEST UTILITY.
7. WHERE WATER MAINS DIP UNDER OTHER UTILITIES, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE CONSTRUCTED WITH 11-1/4" VERTICAL BENDS, 22 1/2" OR 45" BENDS MUST BE RODDED AND PROPERLY ANCHORED.
8. ALL PRECAST CONCRETE GATE WELL SECTIONS SHALL BE IN ACCORDANCE WITH A.S.T.M. C478, STANDARD SPECIFICATIONS FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS. WALL THICKNESS SHALL BE AS SHOWN ON THESE DETAILS. ALL JOINTS FOR PRECAST CONCRETE GATE WELL SECTIONS SHALL BE "MODIFIED GROOVE TONGUE" WITH GASKET MANUFACTURED TO CONFORM WITH A.S.T.M. C443, STANDARD SPECIFICATION FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE USING RUBBER GASKETS.
9. CONTRACTOR SHALL INSTALL VALVES, TAPPING SLEEVES, AND GATE WELL STRUCTURES IN STRICT COMPLIANCE WITH MEASUREMENTS PROVIDED ON SHEET 1 (2'-0" BETWEEN GATE WELL WELL AND CENTERLINE OF OPERATING NUT) TO ALLOW PROPER OPERATION OF VALVE THROUGH GATE WELL OPENING.
10. ALL CROSS-CONNECTION CONTROL DEVICES SHALL BE INSTALLED AS REQUIRED BY THE PLYMOUTH TOWNSHIP PLUMBING INSPECTOR AND IN ACCORDANCE WITH THE STANDARDS OF THE WAYNE COUNTY COUNTY DRAIN COMMISSIONER OPERATION AND MAINTENANCE DIVISION AND THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY, DIVISION OF DRINKING WATER AND RADIOLOGICAL PROTECTION.
11. ALL WATER SERVICE CONNECTIONS TWO (2) INCHES AND SMALLER SHALL BE MADE BY CITY OF DETROIT, DEPARTMENT OF PUBLIC SERVICES AFTER WATER MAIN ACCEPTANCE AND APPLICABLE PERMITS ARE OBTAINED.
12. ALL FITTINGS AND BENDS SHOULD BE BLOCKED IN ACCORDANCE WITH THRUST BLOCK DETAILS, UNLESS ALTERNATE THRUST RESTRAINT SYSTEM, AS INDICATED PLANS AND SPECIFICATIONS, IS APPROVED BY CITY OF DETROIT DEPARTMENT OF PUBLIC SERVICES.

**STORMWATER DETENTION CALCULATIONS**

Drainage Areas less than 5 acres shall manage a 10 year, 24-hour storm for flood control per the City of Detroit Stormwater Management Design Manual.

Area of Site (A) = 0.35 ac  $Q_R = 0.15 \text{ cfs/ac}$   $C = 0.85$   $T = 10 \text{ yrs}$   
 $D_{10} = 30.9(Q_R / C)^{-0.979} = 168.80 \text{ min}$   
 $I = (38.41647 \times 10^{0.082}) / (12.3258 + D)^{0.8405} = 0.78 \text{ in/hr}$   
 $V_R = (60.5 \times D_{10} \times C \times A \times I) - (60 \times D_{10} \times Q_R \times A)$   
 $= (60.5 \times 168.80 \text{ min} \times 0.85 \times 0.35 \text{ ac} \times 0.78 \text{ in/hr}) - (60 \times 168.80 \text{ min} \times 0.15 \text{ cfs/ac} \times 0.35 \text{ ac})$   
 $= 1,838 \text{ CF}$

**EXTENDED DETENTION VOLUME**

$VED = 6,897 \times C \times A = 6,897 \times 0.85 \times 0.35 \text{ ac} = 2,052 \text{ CF}$   
 Extended Detention Required = 2,052 CF

Extended Detention Volume > Required Detention Volume,  
 Therefore use VED for Total Detention Volume

Total Detention Volume = 2,052 CF

Water Quality Retention Volume = 1 inch over entire developed site

$(15,500 \text{ SF}) \times (1/12) \text{ FT} = 1,292 \text{ CF}$

Total Retention Storage Required = 1,292 CF

**DETAILS OF ORIFICE OUTLET**

$Q = 0.15 \text{ cfs/ac} \times 0.35 \text{ ac} = 0.0525 \text{ cfs}$   $H = 6 \text{ FT}$   
 $\text{Orifice Area} = A_o = Q / (0.62 \times (2 \times 32.2 \times H)^{0.5}) = 0.00430 \text{ SF} = 0.6192 \text{ IN}^2$   
 $\text{Orifice Diameter} = 2 \times (A_o / \pi)^{0.5} = 0.89" \text{ dia (Use 1")}$

**DETAILS OF UNDERGROUND BASIN**

Proposed pipe size = 6 dia = 72"  
 Pipe area = 28.27 SF  
 Provided length of pipe = 73 LF  
 Pipe Volume =  $(28.27 \text{ SF})(73 \text{ LF}) = 2,063 \text{ CF}$   
 Total Detention / Retention Storage Provided = 2,063 CF

**UTILITY LEGEND**

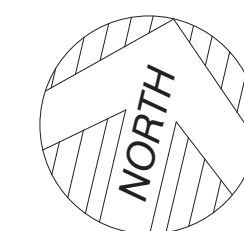
- PROPOSED STORMWATER PIPING
- PROPOSED CATCH BASIN STRUCTURE
- PROPOSED MANHOLE STRUCTURE / WATER QUALITY UNIT
- PROPOSED SANITARY LINE
- PROPOSED WATER LINE

**UTILITY QUANTITIES**

72" RCP CLIV STORM PIPE	73 LF
12" RCP CLIV STORM PIPE	37 LF
WATER QUALITY STRUCTURE	1
OUTLET STRUCTURE	1



Know what's below.  
 Call before you dig.



THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

**STORM MANAGEMENT PLAN**  
 SCALE: 1" = 20'

**STORM MANAGEMENT PLAN**

PREPARED FOR: M3 PARTNERS, LLC  
 27600 MOUND ROAD, CITY OF WARREN, MI

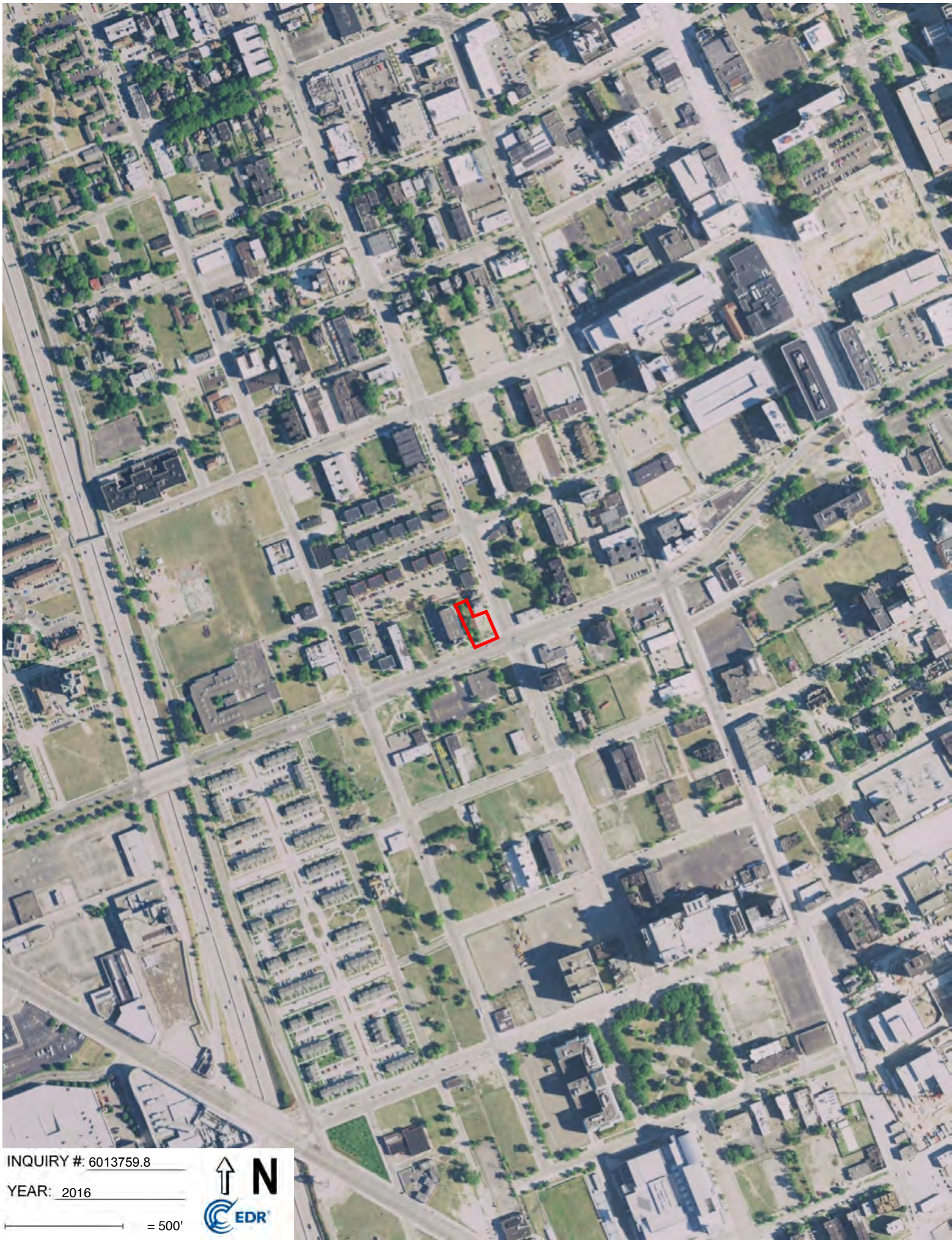
NO.	DATE	BY	DESCRIPTION
1	05/29/2020	GAE	SPA SUBMISSION

DATE: 05/29/2020	SCALE: 1" = 20'
DESIGNED BY: GAE	PROJECT NO: 18-00000
DATE: MAY 29, 2020	REVISION: 18-00000

# Historic Aerials





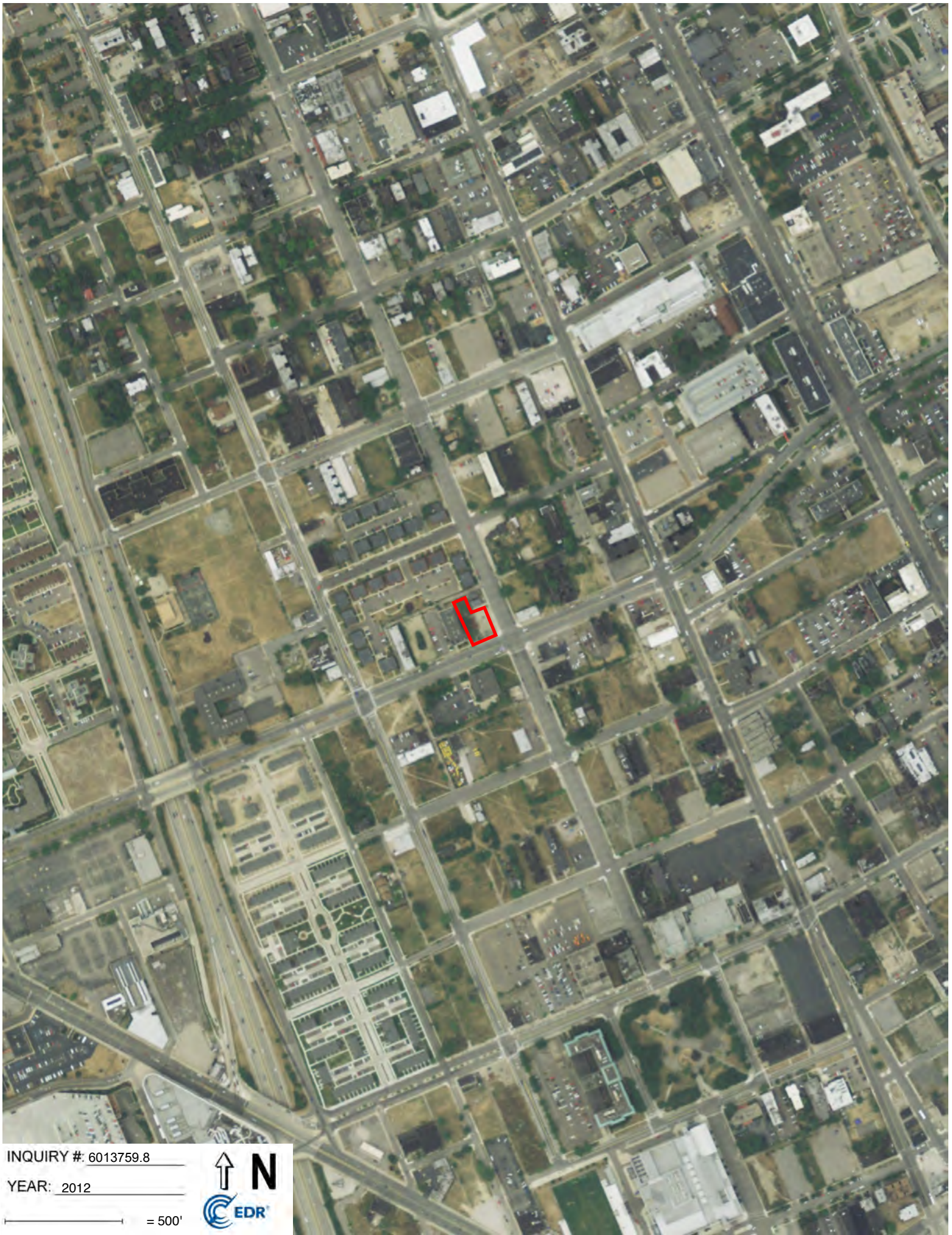


INQUIRY #: 6013759.8

YEAR: 2016

— = 500'



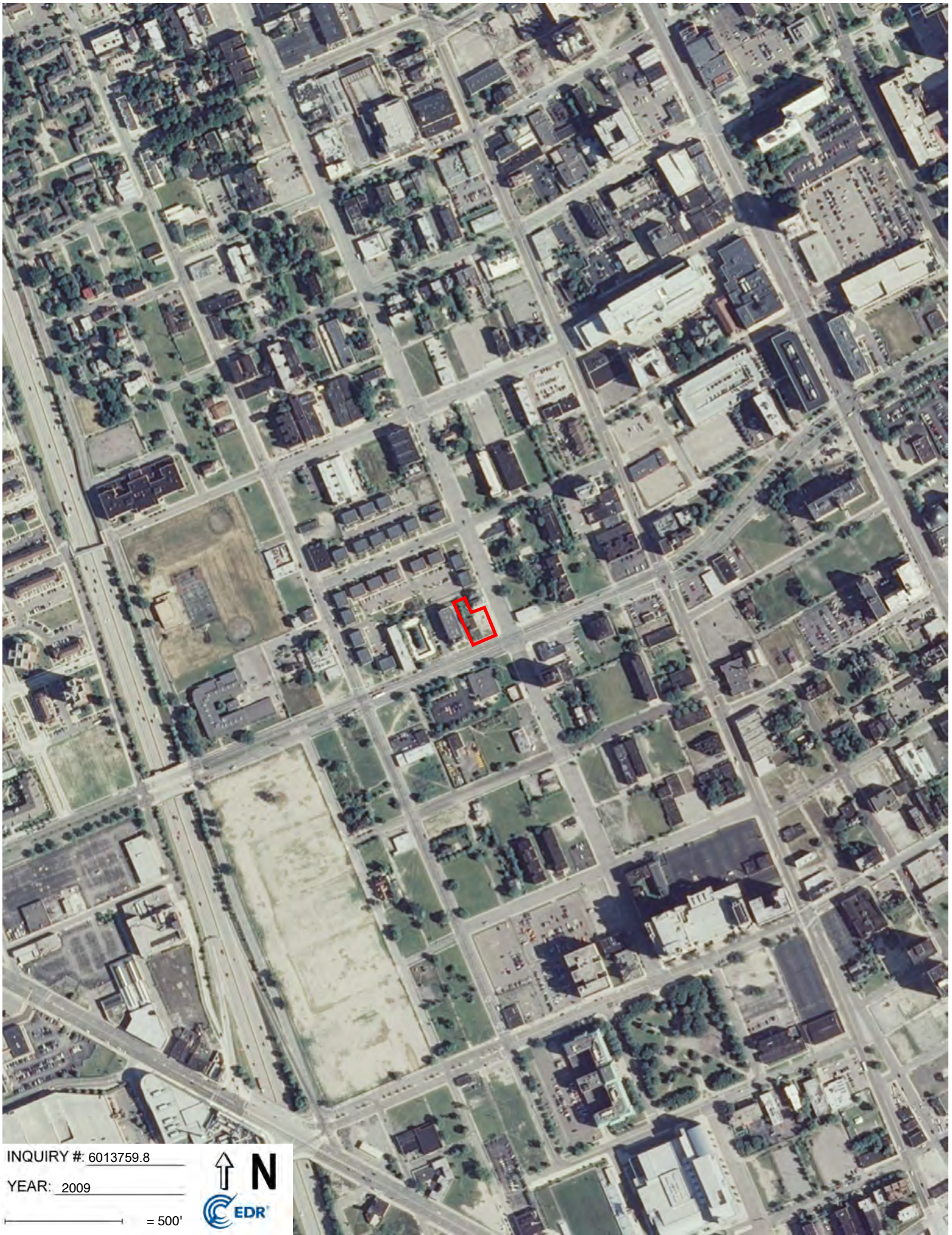


INQUIRY #: 6013759.8

YEAR: 2012

— = 500'





INQUIRY #: 6013759.8

YEAR: 2009

— = 500'



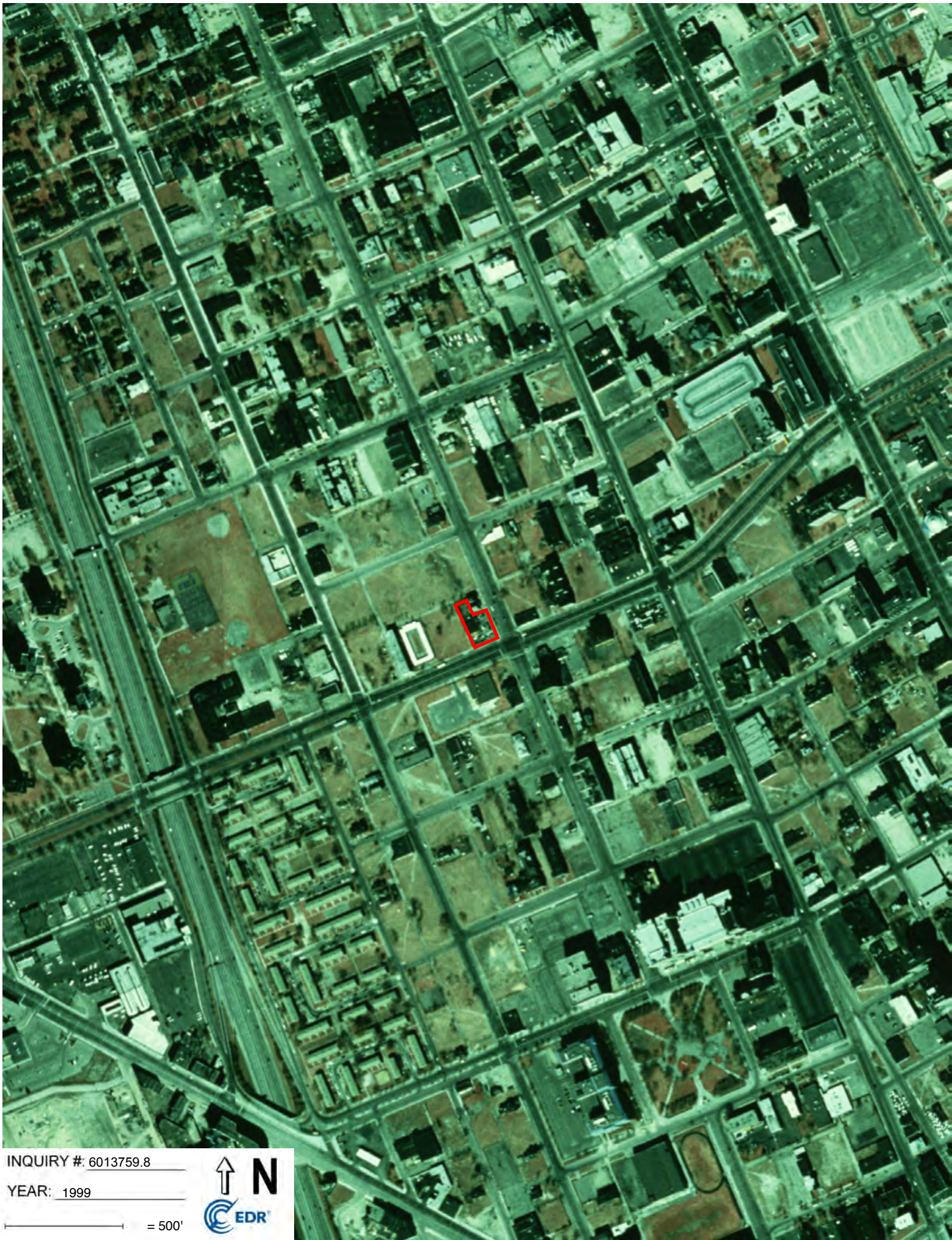


INQUIRY #: 6013759.8

YEAR: 2005

— = 500'





INQUIRY #: 6013759.8

YEAR: 1999

— = 500'





INQUIRY #: 6013759.8

YEAR: 1997

— = 500'





INQUIRY #: 6013759.8

YEAR: 1987

— = 500'





INQUIRY #: 6013759.8

YEAR: 1983

— = 500'







INQUIRY #: 6013759.8

YEAR: 1972

— = 500'





INQUIRY #: 6013759.8

YEAR: 1966

— = 500'





INQUIRY #: 6013759.8

YEAR: 1961

— = 500'

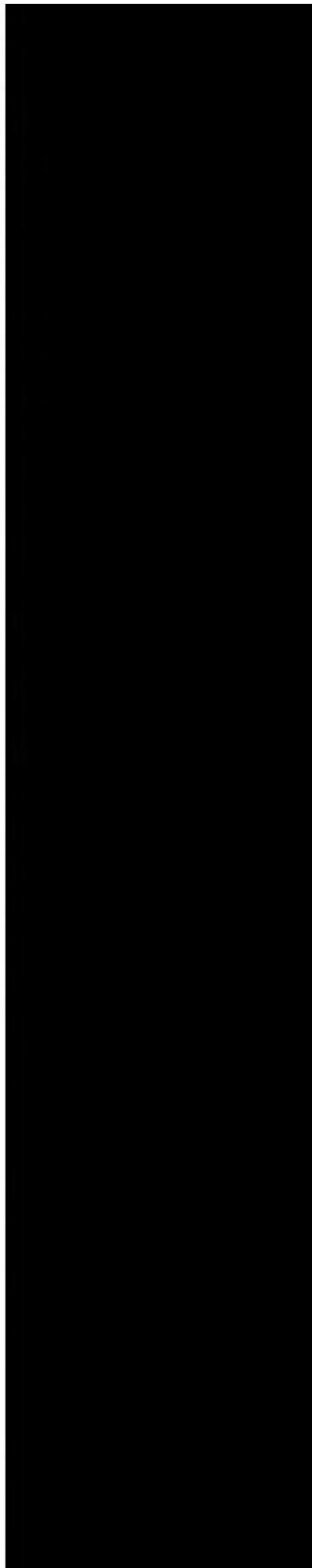




INQUIRY #: 6013759.8

YEAR: 1956

— = 500'





INQUIRY #: 6013759.8

YEAR: 1952

— = 500'





INQUIRY #: 6013759.8

YEAR: 1949

— = 500'





INQUIRY #: 6013759.8

YEAR: 1937

— = 500'

