

**Environmental Assessment
Determinations and Compliance Findings
for HUD-assisted Projects
24 CFR Part 58**

Project Information

Project Name: Merrill-Place-Apartments-II

HEROS Number: 900000010267090

Responsible Entity (RE): DETROIT, PLANNING AND DEVELOPMENT DEPARTMENT
DETROIT MI, 48226

RE Preparer: Kim Siegel

State / Local Identifier: Detroit, Michigan

Certifying Officer: Julie Schneider

Grant Recipient (if different than Responsible Entity): S&S Development, LLC

Point of Contact: Sauda Ahmad-Green

Consultant (if applicable): PM Environmental

Point of Contact: Carey Kratz

Project Location: 1312 Seward Avenue, Detroit , MI

Additional Location Information:

The Property is located at the northwest corner of Seward Avenue and Merrill Avenue in the City of Detroit. A Site Location Map is provided as Attachment 1.

Direct Comments to:

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The proposed project involves the new construction of one three-story 27-unit, approximately 30,000 square foot, mixed income, multi-family development designed specifically for residents seeking proximity to the expanding medical center campus, New Center, and Midtown areas. There will be nine one-bedroom and 18 two-bedroom units with 33% affordable at 50% Area Mean Income (AMI), 7% affordable at 60% AMI, and 11% affordable housing at 80% AMI. There will also be a 3,000 square foot roof top terrace on the apartment building and a 30-space parking area. Project funding is being provided from multiple sources including MSHDA, MEDC, and City of Detroit. Development plans are included as Attachment 2.

Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:

Merrill Place Phase II will make a significant and important contribution to increasing the amount of affordable housing currently in the western sector of the New Center area. Merrill Place II will contribute to the overall massing of the area, bridging the gap between the neighborhood to the north, and the robust activity of West Grand Boulevard. The Project will help define and complete the planning efforts of the area with the introduction of an accessible multi-family development. This residential project will play an indispensable role in adding to the diversity, stability, and safety of the New Center and hospital system area. The uses of the building will create an influx of students, residents, and families that will translate to a higher quality of life and continued economic development in the neighborhood for decades to come. The Project site is in a qualified low-income census tract number 5326. Census data shows that 42.4% of its residents live below poverty level - its mere presence will be both transformational and catalytic. The entire Project was based upon the principle of increased community development in a distressed area that neighbors a robust area - and the plan was created around this concept, as such, we will create a mixed-income neighborhood for Detroiters of all backgrounds.

Existing Conditions and Trends [24 CFR 58.40(a)]:

Throughout the downtown and Midtown areas, major anchors like The Detroit Medical Center, Wayne State University, and Henry Ford Health System have all outstripped available space for permanent residents, University students, and medical residents. The Project will counter the existing blighting influences of vacant lots and dilapidated housing stock found at the Project site through demolition and new construction, and essentially reverse the decline of this block through the introduction of new residential space. The Project area is projected to experience both population and household declines between 2021 and 2023. However, these declines are projected to be minimal, with households decreasing by just 0.2%. These declines are also similar to those projected for Wayne County during the same time period. Notably, the share of renters in the market (61.9%) is projected to remain relatively stable in 2023. This is reflective of more than 25,000 renter households and

is considered a high share of renters. Renter households under the age of 65 are projected to comprise nearly 78.0% of all renters in the market through 2023. Further, more than 71.0% of all renter households are projected to earn less than \$40,000 in 2023. These are good indications of ongoing demand for affordable rental product within the Detroit market, despite the overall demographic decline projected for the market between 2021 and 2023. The Wayne County economy was severely impacted by the COVID-19 pandemic in 2020, both in terms of total employment and unemployment rate trends. Most notably, the county employment base lost nearly 81,000 jobs in 2020, while the monthly unemployment rate reached a high of more than 27.0% in the spring of 2020. Since this time, however, the county employment base has added more than 28,000 jobs and the monthly unemployment rate was just 5.9% as of July 2021. The jobs added during this time period account for more than one-third (34.6%) of those lost during 2020. Further, the annual unemployment rate reported through July of 2021 (5.8%) is more than eight full percentage points lower than that reported in 2020 (14.0%) and is similar to the statewide average of 5.1%. We expect the Wayne County economy will continue to improve for the foreseeable future. In addition to the affordable units, the Project will also offer some units which will operate as unrestricted market-rate. The Project's proposed market-rate rents are competitive with those reported among the comparable market-rate properties. Rental product is in high demand across all affordability levels within this market. As the Project will offer both affordable and market-rate units, it will accommodate renter households of various income levels within the Detroit market.

Maps, photographs, and other documentation of project location and description:

[Att 2 Plans.pdf](#)

[Att 1 Site Location Map.pdf](#)

Determination:

✓	Finding of No Significant Impact [24 CFR 58.40(g)(1); 40 CFR 1508.13] The project will not result in a significant impact on the quality of human environment
	Finding of Significant Impact

Approval Documents:

**7015.15 certified by Certifying Officer
on:**

**7015.16 certified by Authorizing Officer
on:**

Funding Information

Grant / Project Identification Number	HUD Program	Program Name
M21MC260202	Community Planning and Development (CPD)	HOME Program
M22MC260202	Community Planning and Development (CPD)	HOME Program

Estimated Total HUD Funded, Assisted or Insured Amount: \$1,745,985.00

Estimated Total Project Cost [24 CFR 58.2 (a) (5)]: \$9,208,704.00

Compliance with 24 CFR §50.4, §58.5 and §58.6 Laws and Authorities

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §50.4, §58.5, and §58.6	Are formal compliance steps or mitigation required?	Compliance determination (See Appendix A for source determinations)
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR §50.4 & § 58.6		
Airport Hazards Clear Zones and Accident Potential Zones; 24 CFR Part 51 Subpart D	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The Project is located approximately 4.17 miles from Coleman A. Young Municipal Airport Project. The Project is not located within 15,000 feet of a military airport or 2,500 feet of a civilian airport and is also not located within an Airport Clear Zone or Accident Potential Zone. The Project is in compliance with Airport Hazards requirements. Attachment 3
Coastal Barrier Resources Act Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Review of the U.S. Fish and Wildlife Service online Coastal Barrier Resources System Mapper and the John H. Chafee Coastal Barrier Resource System Michigan Map indicates that the Property is not located within a designated coastal zone boundary. Attachment 4

<p>Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>According to the Federal Emergency Management Agency (FEMA) floodplain map, dated February 2, 2012 (Panel Number 26163C0280E), the Property is not located within the 100-year flood zone. Furthermore, topographical features present in the Property area are not representative of a floodplain. The Property is not located in a FEMA-designated Special Flood Hazard Area and is in compliance with flood insurance requirements. Attachment 5</p>
<p>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR §50.4 & § 58.5</p>		
<p>Air Quality Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>The entire State of Michigan is designated as "attainment for carbon monoxide, lead, nitrogen dioxide, and particulate matter (PM10). Wayne County, including the Project, is within a larger area in southeast Michigan for ozone nonattainment. The southwestern portion of Detroit is within a sulfur dioxide nonattainment area; however, it does not appear the Project is located within the sulfur dioxide nonattainment area. The Project was reviewed by Michigan Environment, Great Lakes, and Energy (EGLE) for conformance with the State Implementation Plan (SIP). EGLE determined the Project should not exceed the de minimis levels included in the federal general conformity requirements and therefore, does not require a detailed conformity analysis. The Project is in compliance with the Clean Air Act. Attachment 6</p>
<p>Coastal Zone Management Act Coastal Zone Management Act, sections 307(c) & (d)</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>Review of the Wayne County Coastal Zone Management Boundary and Coastal Zone Management Area map documents the Project is not located within a designated Coastal Zone Management area. The Project is in compliance with the Coastal Zone Management Act. Attachment 7</p>

<p>Contamination and Toxic Substances 24 CFR 50.3(i) & 58.5(i)(2)]</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>Site contamination was evaluated as follows: ASTM Phase I ESA. On-site or nearby toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the property were not found. The project is in compliance with contamination and toxic substances requirements. Attachment 8 The Project is located within EPA Radon Zone 3 with an average of less than pCi/L and is considered low potential. Attachment 9</p>
<p>Endangered Species Act Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>An Endangered Species Determination Key was obtained using the U.S. Fish & Wildlife Service IPaC online system. Species listed for Wayne County include Indiana Bat, Northern Long-eared Bat, Piping Plover, Red Knot, Eastern Massasauga, Northern Riffleshell, and Eastern Prairie Fringed Orchid. None of the state-listed threatened or endangered species were observed at the Property. No federally listed threatened or endangered species or unique features are present at the Project and no Critical Habitats are present. The properties and/or general area have been developed since at least the 1900s. Additionally, the site does not contain and is not adjacent to any wetlands, floodplains, or waterways. Therefore, the Project will have no effect on listed species and is in compliance with the Endangered Species Act. Attachment 10</p>
<p>Explosive and Flammable Hazards Above-Ground Tanks)[24 CFR Part 51 Subpart C</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>Review of reasonable ascertainable standard and other historical sources, and site observations, have not identified the current and historical presence of ASTs/55-gallon drum storage on the Property. In accordance with HUD's Guidebook entitled "Siting of HUD-Assisted Projects Near Hazardous Facilities" (hereafter "Guidebook"), PM researched a one-</p>

		<p>mile radius around the Property for ASTs containing flammable materials. PM did not identify any site with ASTs that required the calculation of acceptable separation distances (ASD) for thermal radiation and/or black overpressure. The Project is in compliance with explosive and flammable hazard requirements. Attachment 11</p>
<p>Farmlands Protection Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>Review of the USDA Web Soil Survey indicates this Project does not affect any prime or unique farmland. The Property is located within an "urbanized" area. This Project does not include any activities that could potentially convert agricultural land to a non-agricultural use. Therefore, the Project is not subject to the statutory or regulatory requirements. Attachment 12</p>
<p>Floodplain Management Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>According to the Federal Emergency Management Agency (FEMA) floodplain map, dated February 2, 2012 (Panel Number 26163C0280E), the Property is not located within the 100-year flood zone. Furthermore, topographical features present in the Property area are not representative of a floodplain. The Project is in compliance with Executive Order 11988. Attachment 5</p>
<p>Historic Preservation National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>Based on Section 106 consultation the project will have No Adverse Effect on historic properties. Conditions: None. Upon satisfactory implementation of the conditions, which should be monitored, the project is in compliance with Section 106.</p>
<p>Noise Abatement and Control Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>A HUD Desktop Noise Assessment was completed as part of the December 2021 Phase I ESA completed by PM Environmental. The Project noise sources included The John C Lodge highway, ramps, and service drives. Using the HUD DNL calculator, PM concluded that noise levels, as</p>

		predicted for 2031, were 66 dB, which is considered Normally Unacceptable. The Project architect completed a Sound Transmission Classification Assessment Tool (STraCAT) for each NAL which document interior noise will be below 45 db. Therefore, no additional noise mitigation is needed. The Noise Assessment Report is included in Appendix 10.7 of the Phase I ESA (Attachment 8). Attachment 14
Sole Source Aquifers Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	There are no sole source aquifers located in Detroit or Wayne County, Michigan. The Project is in compliance with Sole Source Aquifer requirements. Attachment 15
Wetlands Protection Executive Order 11990, particularly sections 2 and 5	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Areas potentially associated with wetlands were not observed on the Property during the site reconnaissance. In addition, review of the National Wetlands Inventory (NWI) Map from the U.S. Fish and Wildlife Service and Michigan Department of Environment, Great Lakes and Energy (EGLE) Wetlands map did not identify any wetlands on the Property. The Project is in compliance with Executive Order 11990. Attachment 16
Wild and Scenic Rivers Act Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The National Wild and Scenic Rivers System map (maintained and managed by the Bureau of Land Management, National Park Service, U.S. Fish and Wildlife Service, and U.S. Forest Service) were reviewed to determine if the Property is within a designated wild and scenic river area. There are no wild and scenic rivers located within the Detroit or Wayne County. The Project is in compliance with the Wild and Scenic Rivers Act. Attachment 17
HUD HOUSING ENVIRONMENTAL STANDARDS		
ENVIRONMENTAL JUSTICE		
Environmental Justice Executive Order 12898	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This Project will not have a disproportionately high adverse effect

		<p>on human health or environment of minority populations and/or low-income populations. The building will serve low-income and minority populations. The development is in the City of Detroit, which is made up of 87% ethnic minorities. New facilities and residences are intended to enhance the quality of life for new and existing residents and the community. No persons will be displaced due to this Project. Attachment 18</p>
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Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 &1508.27]

Impact Codes: An impact code from the following list has been used to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement.

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
LAND DEVELOPMENT			
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	1	<p>The Property is in District 5 - The New Center Commons neighborhood. This district stretches across both the historic west and east sides of Detroit. It entails roughly 58 neighborhoods in the area just south of Highland Park and Hamtramck north of I-94 and on the other side of John R to the east riverfront from the Renaissance Center to Jefferson-Chalmers. The Project is not anticipated to impact urban design and will be compatible with surrounding land uses. This development is compatible with the City's goals for residential development and will have a positive impact on the area within which it exists. The proposed development activities are anticipated to help revitalize the area immediately surrounding the Project. The Project is not</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
LAND DEVELOPMENT			
		<p>anticipated to impact the urban impact and be compatible with surrounding land uses. The surrounding land is zoned multi-family, single-family and commercial. The proposed Project is compatible with the surrounding land use.</p>	
Soil Suitability / Slope/ Erosion / Drainage and Storm Water Runoff	2	<p>According to the Detroit Quadrangle 7.5-minute Topographic map, the Property falls into the 635 feet contour. There was no visual evidence of slides or slumps on the property. According to the Detroit Quadrangle 7.5-minute Topographic map, the site falls into the 610 feet contour. The Property is relatively flat and no drainage or slope issues are anticipated. There was no visual evidence of slides or slumps on the Property. Grading work will be done to ensure there are no awkward changes in grade. The Project is not located near an erosion sensitive area and will not create slopes. The proposed grading work at the site will allow for very little erosion. A Site Grading Plan is provided in Attachment 2. According to the NRCS website, site soils consist of urban land-type soils with minimal slopes. The soil is suitable for new construction based on the Wayne County Soil Survey (Attachment 12)</p>	
Hazards and Nuisances including Site Safety and Site-Generated Noise	2	<p>Noise intensive construction activities will be limited to the days and hours specified under the City's noise ordinance. These days and hours shall also apply to any servicing of equipment and to the delivery and removal of materials to and from the site. All construction equipment shall be equipped with mufflers and sound control devices (i.e., intake silencers and noise shrouds) no less effective than those provided on the original equipment and no equipment shall have an un-muffled exhaust. Stationary equipment shall be placed to maintain the greatest possible distance from sensitive uses. There</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
LAND DEVELOPMENT			
		will be adequate on-site parking and lighting for residents and visitors. According to the U.S. EPA Map of Radon Zones, Wayne County is in Zone 3 (Attachment 9)	
Energy Efficiency			
SOCIOECONOMIC			
Employment and Income Patterns	2	The area is already served by electrical and gas utilities provided by DTE. There is adequate capacity to serve the new building. The Project will incorporate energy efficient appliances, building/construction materials, and lighting/fixtures. The Project will meet current state and local codes concerning energy consumption.	
Demographic Character Changes / Displacement	1	There will be a temporary increase in jobs related to the construction of the Project. It is projected that over 70 construction jobs will be added to the local labor force. Other than construction related changes, the project will not result in a change to employment and income patterns in the area. The Project could be beneficial to local businesses though because there will be an increase in households requiring goods and services. Most annual blue-collar salaries range from \$26,880 to \$60,190 within the Detroit-Warren-Dearborn Metropolitan Statistical Area (MSA). White-collar jobs, such as those related to professional positions, management, and medicine, have an average salary of \$94,096. It is important to note that most occupational types within the Detroit-Warren-Dearborn MSA have higher typical wages than the state of Michigan's typical wages. The proposed Project will target households with incomes generally above \$22,000. Thus, the area employment base appears to have a significant number of income-appropriate occupations from which the Project will be able to draw renter support.	
COMMUNITY FACILITIES AND SERVICES			

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
LAND DEVELOPMENT			
Educational and Cultural Facilities (Access and Capacity)	2	<p>The area is served by the City of Detroit Public Schools Community District. The district covers 106 schools and almost 53,406 students. The Project will not impact the capacity of any of these schools. Students would be served by one elementary, middle, and high school. Bus services will be available for these students as the development is not located within walking distance. The district provides bus service to students who live more than one mile from the school. No educational facilities will be negatively affected because of the Project activities. (Attachment 18)</p> <p>There are many civic groups with active branches in Detroit including the Masons, the Stars, the Lions Club, Kiwanis Club, the VFW and the American Legion. Other cultural activities available to residents include a summer concert series, summer farmers markets, and other local festivals in downtown Detroit. There are also many church groups in the Detroit and surrounding areas available to residents. The Project is not expected to have an adverse effect on cultural facilities in the area (Attachment 19)</p>	
Commercial Facilities (Access and Proximity)	2	<p>The City of Detroit has a large commercial district located approximately one-half mile south of the Property. An even larger commercial district is in Downtown Detroit, approximately five miles away. These commercial facilities will provide residents with the goods and services they need among other services. No commercial facilities will be negatively affected because of the Project activities. (Attachment 20)</p>	
Health Care / Social Services (Access and Capacity)	2	<p>The Project area is served by a full range of health care professionals in Downtown Detroit. Henry Ford Hospital, Children's Hospital of Michigan, and the John D. Dingell VA Medical Center, are less than five miles</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
LAND DEVELOPMENT			
		<p>away from the project area. Other medical professionals including general physicians, dental, optometrists and medical specialists are in Downtown Detroit and surrounding neighborhoods. No health care facilities will be negatively affected because of the Project activities.(Attachment 21) The Project will improve the social services provided in the region by providing affordable family-sized units. Other social services available to residents are available through a variety of non-profits, government agencies and other entities throughout Wayne County. Project Clean Slate is a City of Detroit initiative that helps residents expunge criminal convictions and improve access to better employment, housing, and educational opportunities. There are also a variety of youth programs available through the Community Education Commission and Detroit schools. Social Services will not be negatively affected because of the Project activities. Attachment 21</p>	
Solid Waste Disposal and Recycling (Feasibility and Capacity)	2	A building dumpster will be provided for residents to dispose of their trash. Solid waste disposal will be taken care of via a professional disposal company under contract.	
Waste Water and Sanitary Sewers (Feasibility and Capacity)	2	The Project will be connected to the City of Detroit Water and Sewerage Department (DWSD) for sanitary sewer service. A minor increase in wastewater flow is expected. The existing municipal wastewater system will meet the increased demand. The Project will not adversely impact the current capacity of the waste water system.	
Water Supply (Feasibility and Capacity)	2	The Project will not adversely impact the current capacity of the city water system. There is sufficient water capacity for the Project, as well as additional development in the area. The Project will be connected to the City of Detroit water system. Water	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
LAND DEVELOPMENT			
		<p>mains were likely installed sometime in the late 1800s/early 1900s and water is supplied to the area via a 32-inch water main under Seward Street. The Project will not adversely impact the current capacity of the city water system.</p>	
<p>Public Safety - Police, Fire and Emergency Medical</p>	<p>2</p>	<p>The Detroit Police Department covers the city limits of Detroit and has 2,200 officers. Wayne County covers areas outside of the city limits and has a full staff capable of handling a large region. The Property is located approximately one-half mile south of the 3rd Precinct Police Station. The Project will have no adverse effect in the need for police services due to the additional inhabitants. The Detroit Fire Department has 46 firehouses strategically located throughout the city. The city has hydrants on 95% of the streets and their average response time is approximately six minutes to anywhere in the coverage area. The Property is located less than three miles from the Detroit Fire Department Engine 17, Ladder 7, Chief 5 station. The Project will have no adverse effect in the need for fire department services due to the additional inhabitants. The City of Detroit has over 900 licensed individuals in the Detroit Fire Department providing care at the MFR, EMT, and Paramedic level, staffing over sixty medically licensed Fire and EMS vehicles, responding to over 120,000 calls for service annually. The Project will have no adverse effect in the need for emergency medical services due to the additional inhabitants. Attachment 22</p>	
<p>Parks, Open Space and Recreation (Access and Capacity)</p>	<p>2</p>	<p>The Project is located approximately 1/3 of a mile south of Virginia Park which offers access to picnic and play areas for children. Pallister and LaSalle Parks are located east and west of the Property, approximately three miles away. This Project is not</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
LAND DEVELOPMENT			
		<p>expected to have any impact on open space. The City of Detroit has 10 major parks within the city limits. Palmer Park, which is located approximately four miles north of the Property offers 281-acres of woodlands, meadows, recreational areas, and athletic fields. Roosevelt Park sits in the center of downtown Detroit and is approximately four miles south of the Property. There are several other local parks to choose from conveniently located near the Property. This Project is not expected to have any impact on recreational space. Attachment 23</p>	
Transportation and Accessibility (Access and Capacity)	2	<p>There are likely to be short-term impacts to traffic in the area of the Project due to the construction at the Project. Temporary lane closures may occur during construction. The Detroit Department of Transportation (DDOT) and the F.A.S.T Smart Bus Routes provide bus service throughout the Detroit area and the QLine serves Woodward Avenue. DDOT/F.A.S.T. has an extensive transportation network that links its residents and businesses to each other. Bus stops are located within walking distance to the Project. The additional residents are not expected to have any adverse effect on transportation. Attachment 24</p>	
NATURAL FEATURES			
Unique Natural Features /Water Resources	2	<p>The City of Detroit is a highly urbanized area. Construction activities will be limited to the Property and none of the surrounding properties will be affected. Additionally, there are no unique natural features on the Property. The Project will not have an adverse effect on any unique natural features within Detroit. The Project will not have an adverse effect on any water resources. Construction activities will be limited to the Property. Additionally, there are no water resources near the Property. The City of Detroit provides municipal water</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
LAND DEVELOPMENT			
		service to the Project area and there are no sole source aquifers in the State of Michigan.	
Vegetation / Wildlife (Introduction, Modification, Removal, Disruption, etc.)	2	The Project is not anticipated to impact unique natural habitats, ecosystems, or any threatened and endangered wildlife. The location of the Project does not support any critical habitats and is within a highly urbanized location. (Attachment 10)	
Other Factors			

Supporting documentation

[Att 9 EPA Radon Map\(1\).pdf](#)

[Att 2 Plans\(1\).pdf](#)

[Att 10A Endangered Species IPaC LIST\(1\).pdf](#)

[Att 12 Soil Survey\(1\).pdf](#)

[Att 24B SMART Map Extended Area.pdf](#)

[Att 24A DOTT Map.pdf](#)

[Att 23 Recreational Areas Map.pdf](#)

[Att 22B Fire Station Location Map.pdf](#)

[att 22A Police Precinct Map.pdf](#)

[Att 21 Health Care Facilities Map.pdf](#)

[Att 20 Commercial Faciities Map.pdf](#)

[Att 19 School - NEPA Assist.pdf](#)

Additional Studies Performed:

1. Phase I ESA, 1312 Seward Avenue, Detroit, Michigan, December 16, 2021.
2. MSHDA-Formatted Market Feasibility Analysis, Merrill Place II, Bowen National Research, September 23, 2021.

Field Inspection [Optional]: Date and completed

by:

Devon Nagengast, PM Environmental

11/29/2021 12:00:00 AM

List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:

1. Federal Emergency Management Agency-Map Service for Flood Rate Insurance Maps

<https://msc.fema.gov/webapp/wcs/stores/servlet/FemaWelcomeView?storeId=10001&catalogId=10001&langId=-1>

2. U.S. Fish & Wildlife Service, National Wetlands Inventory, Wetlands Mapper.

3. <http://www.fws.gov/wetlands/data/mapper.html>

4. U.S. Fish & Wildlife Service, Endangered Species, Michigan County Distribution of Federally Listed Threatened, Endangered, Proposed, and Candidate Species, 5. <http://www.fws.gov/midwest/endangered/lists/michigan-cty.html> 6. Michigan Department of Environmental Quality, Michigan Coastal Zone Boundary Maps, http://www.michigan.gov/deq/0,4561,7-135-3313_3677_3696-90802--,00.html 7. Michigan Department of Environmental Quality, Air Quality Division, http://www.michigan.gov/deq/0,1607,7-135-3310_30151_31129---,00.html 8. US EPA Map of Radon Zones, Genesee County, Michigan, <http://www.epa.gov/radon/states/michigan.html> 9. City of Detroit Council Districts & Neighborhoods, District 5. <https://theneighborhoods.org/districts/district-5> 10. Detroit Public Schools Community District, <https://www.detroitk12.org/domain/167>. 11. Detroit Police Department, Precincts and Neighborhood Police Officers, <https://detroitmi.gov/departments/police-department/precincts-and-neighborhood-police-officers>. 12. Detroit Fire Department, <https://detroitmi.gov/departments/detroit-fire-department>. 13. Detroit EMS, <https://detroitmi.gov/departments/detroit-fire-department/emergency-medical-services>. 14. Detroit Parks & Recreation, <https://detroitmi.gov/departments/parks-recreation>. 15. Detroit Social Services, <https://detroitmi.gov/government/mayors-office/office-immigrant-affairs/social-services>.

List of Permits Obtained:

Public Outreach [24 CFR 58.43]:

1. Virginia Park Citizens District Council - pursuant to public community meeting on June 27, 2007, official written support provided on July 26, 2007. 2. Henry Ford Health - official written support provided on June 6, 2012, March 5, 2015, and September 7, 2016 respectively. 3. Midtown Detroit, Inc. - official written support provided on October 14, 2020. 4. Publication in the Detroit Free Press/Detroit News for Public Comment.

Cumulative Impact Analysis [24 CFR 58.32]:

The proposed multi-family housing construction will not adversely impact the City of Detroit or neighborhoods surrounding the site. The Project is compatible with the existing uses of the area and will have minimal impact on existing resources or services in the area.

Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]

No alternative locations or actions were considered. The Property is already owned by the Sponsor. The entire Project selection was based upon the principle of increased community development in a distressed area that neighbors a robust area - and the plan and location were created around this concept.

No Action Alternative [24 CFR 58.40(e)]

The No Action Alternative is to not construct the Project. This alternative is not preferred as it fails to provide additional housing to meet the need for low-income housing in the area.

Summary of Findings and Conclusions:

The proposed multi-family housing construction will not adversely impact the City of Detroit or neighborhoods surrounding the site. The Project is compatible with the existing uses of the area and will have minimal impact on existing resources or services in the area.

Mitigation Measures and Conditions [CFR 1505.2(c)]:

Summarized below are all mitigation measures adopted by the Responsible Entity to reduce, avoid or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure or Condition	Comments on Completed Measures	Mitigation Plan	Complete
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Project Mitigation Plan

Supporting documentation on completed measures

APPENDIX A: Related Federal Laws and Authorities

Airport Hazards

General policy	Legislation	Regulation
It is HUD’s policy to apply standards to prevent incompatible development around civil airports and military airfields.		24 CFR Part 51 Subpart D

1. To ensure compatible land use development, you must determine your site’s proximity to civil and military airports. Is your project within 15,000 feet of a military airport or 2,500 feet of a civilian airport?

No

Based on the response, the review is in compliance with this section. Document and upload the map showing that the site is not within the applicable distances to a military or civilian airport below

Yes

Screen Summary

Compliance Determination

The Project is located approximately 4.17 miles from Coleman A. Young Municipal Airport Project. The Project is not located within 15,000 feet of a military airport or 2,500 feet of a civilian airport and is also not located within an Airport Clear Zone or Accident Potential Zone. The Project is in compliance with Airport Hazards requirements. Attachment 3

Supporting documentation

[Att 3 Airport Map.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Coastal Barrier Resources

General requirements	Legislation	Regulation
HUD financial assistance may not be used for most activities in units of the Coastal Barrier Resources System (CBRS). See 16 USC 3504 for limitations on federal expenditures affecting the CBRS.	Coastal Barrier Resources Act (CBRA) of 1982, as amended by the Coastal Barrier Improvement Act of 1990 (16 USC 3501)	

1. Is the project located in a CBRS Unit?

No

Document and upload map and documentation below.

Yes

Compliance Determination

Review of the U.S. Fish and Wildlife Service online Coastal Barrier Resources System Mapper and the John H. Chafee Coastal Barrier Resource System Michigan Map indicates that the Property is not located within a designated coastal zone boundary. Attachment 4

Supporting documentation

[Att 4B John H Chaffee Map.pdf](#)

[Att 4A Coastal Barrier Resources.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Flood Insurance

General requirements	Legislation	Regulation
Certain types of federal financial assistance may not be used in floodplains unless the community participates in National Flood Insurance Program and flood insurance is both obtained and maintained.	Flood Disaster Protection Act of 1973 as amended (42 USC 4001-4128)	24 CFR 50.4(b)(1) and 24 CFR 58.6(a) and (b); 24 CFR 55.1(b).

1. Does this project involve financial assistance for construction, rehabilitation, or acquisition of a mobile home, building, or insurable personal property?

- ✓ No. This project does not require flood insurance or is excepted from flood insurance.

Based on the response, the review is in compliance with this section.

Yes

4. While flood insurance is not mandatory for this project, HUD strongly recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). Will flood insurance be required as a mitigation measure or condition?

Yes

- ✓ No

Screen Summary

Compliance Determination

According to the Federal Emergency Management Agency (FEMA) floodplain map, dated February 2, 2012 (Panel Number 26163C0280E), the Property is not located within the 100-year flood zone. Furthermore, topographical features present in the Property area are not representative of a floodplain. The Property is not located in a FEMA-designated Special Flood Hazard Area and is in compliance with flood insurance requirements. Attachment 5

Supporting documentation

[Att 5 Floodplain Map.pdf](#)

Are formal compliance steps or mitigation required?

Yes

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✓ No

Air Quality

General requirements	Legislation	Regulation
The Clean Air Act is administered by the U.S. Environmental Protection Agency (EPA), which sets national standards on ambient pollutants. In addition, the Clean Air Act is administered by States, which must develop State Implementation Plans (SIPs) to regulate their state air quality. Projects funded by HUD must demonstrate that they conform to the appropriate SIP.	Clean Air Act (42 USC 7401 et seq.) as amended particularly Section 176(c) and (d) (42 USC 7506(c) and (d))	40 CFR Parts 6, 51 and 93

1. Does your project include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities OR five or more dwelling units?

Yes

No

Air Quality Attainment Status of Project’s County or Air Quality Management District

2. Is your project’s air quality management district or county in non-attainment or maintenance status for any criteria pollutants?

No, project’s county or air quality management district is in attainment status for all criteria pollutants.

Yes, project’s management district or county is in non-attainment or maintenance status for the following criteria pollutants (check all that apply):

Carbon Monoxide

Lead

Nitrogen dioxide

Sulfur dioxide

- ✓ Ozone
- Particulate Matter, <2.5 microns
- Particulate Matter, <10 microns

3. What are the *de minimis* emissions levels (40 CFR 93.153) or screening levels for the non-attainment or maintenance level pollutants indicated above

Ozone ppb (parts per million)

Provide your source used to determine levels here:

The Project was reviewed by Michigan Environment, Great Lakes, and Energy (EGLE) for conformance with the State Implementation Plan (SIP). EGLE determined the Project should not exceed the *de minimis* levels included in the federal general conformity requirements and therefore, does not require a detailed conformity analysis. The Project is in compliance with the Clean Air Act. (Attachment 10)

4. Determine the estimated emissions levels of your project. Will your project exceed any of the *de minimis* or threshold emissions levels of non-attainment and maintenance level pollutants or exceed the screening levels established by the state or air quality management district?

- ✓ No, the project will not exceed *de minimis* or threshold emissions levels or screening levels.

Enter the estimate emission levels:

Ozone ppb (parts per million)

Based on the response, the review is in compliance with this section.

Yes, the project exceeds *de minimis* emissions levels or screening levels.

Screen Summary

Compliance Determination

The entire State of Michigan is designated as "attainment for carbon monoxide, lead, nitrogen dioxide, and particulate matter (PM10). Wayne County, including the Project, is within a larger area in southeast Michigan for ozone nonattainment. The

southwestern portion of Detroit is within a sulfur dioxide nonattainment area; however, it does not appear the Project is located within the sulfur dioxide nonattainment area. The Project was reviewed by Michigan Environment, Great Lakes, and Energy (EGLE) for conformance with the State Implementation Plan (SIP). EGLE determined the Project should not exceed the de minimis levels included in the federal general conformity requirements and therefore, does not require a detailed conformity analysis. The Project is in compliance with the Clean Air Act. Attachment 6

Supporting documentation

[Att 6B SIP Compliance.pdf](#)

[Att 6A Air Attainment.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Coastal Zone Management Act

General requirements	Legislation	Regulation
Federal assistance to applicant agencies for activities affecting any coastal use or resource is granted only when such activities are consistent with federally approved State Coastal Zone Management Act Plans.	Coastal Zone Management Act (16 USC 1451-1464), particularly section 307(c) and (d) (16 USC 1456(c) and (d))	15 CFR Part 930

1. Is the project located in, or does it affect, a Coastal Zone as defined in your state Coastal Management Plan?

Yes

No

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.

Screen Summary

Compliance Determination

Review of the Wayne County Coastal Zone Management Boundary and Coastal Zone Management Area map documents the Project is not located within a designated Coastal Zone Management area. The Project is in compliance with the Coastal Zone Management Act. Attachment 7

Supporting documentation

[Att 7 Coastal Zone Management.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Contamination and Toxic Substances

General requirements	Legislation	Regulations
It is HUD policy that all properties that are being proposed for use in HUD programs be free of hazardous materials, contamination, toxic chemicals and gases, and radioactive substances, where a hazard could affect the health and safety of the occupants or conflict with the intended utilization of the property.		24 CFR 58.5(i)(2) 24 CFR 50.3(i)

1. How was site contamination evaluated? Select all that apply. Document and upload documentation and reports and evaluation explanation of site contamination below.

- American Society for Testing and Materials (ASTM) Phase I Environmental Site Assessment (ESA)
- ASTM Phase II ESA
- Remediation or clean-up plan
- ASTM Vapor Encroachment Screening
- None of the Above

2. Were any on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property? (Were any recognized environmental conditions or RECs identified in a Phase I ESA and confirmed in a Phase II ESA?)

- No

Explain:

PM completed a Phase I ESA dated December 16, 2021. No recognized environmental conditions were identified. A database file review provided by Environmental Data Resources, Inc. was utilized to search any sites of potential concern.

Based on the response, the review is in compliance with this section.

Yes

Screen Summary

Compliance Determination

Site contamination was evaluated as follows: ASTM Phase I ESA. On-site or nearby toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the property were not found. The project is in compliance with contamination and toxic substances requirements. Attachment 8 The Project is located within EPA Radon Zone 3 with an average of less than pCi/L and is considered low potential. Attachment 9

Supporting documentation

[Att 9 EPA Radon Map.pdf](#)

[Att 8 1312 Seward Ave Detroit MI MSHDA Phase I ESA EReport.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Endangered Species

General requirements	ESA Legislation	Regulations
Section 7 of the Endangered Species Act (ESA) mandates that federal agencies ensure that actions that they authorize, fund, or carry out shall not jeopardize the continued existence of federally listed plants and animals or result in the adverse modification or destruction of designated critical habitat. Where their actions may affect resources protected by the ESA, agencies must consult with the Fish and Wildlife Service and/or the National Marine Fisheries Service (“FWS” and “NMFS” or “the Services”).	The Endangered Species Act of 1973 (16 U.S.C. 1531 <i>et seq.</i>); particularly section 7 (16 USC 1536).	50 CFR Part 402

1. Does the project involve any activities that have the potential to affect species or habitats?

No, the project will have No Effect due to the nature of the activities involved in the project.

No, the project will have No Effect based on a letter of understanding, memorandum of agreement, programmatic agreement, or checklist provided by local HUD office

- ✓ Yes, the activities involved in the project have the potential to affect species and/or habitats.

2. Are federally listed species or designated critical habitats present in the action area?

No, the project will have No Effect due to the absence of federally listed species and designated critical habitat

- ✓ Yes, there are federally listed species or designated critical habitats present in the action area.

3. What effects, if any, will your project have on federally listed species or designated critical habitat?

- ✓ No Effect: Based on the specifics of both the project and any federally listed species in the action area, you have determined that the project will have absolutely no effect on listed species or critical habitat. in the action area.

Document and upload all documents used to make your determination below. Documentation should include a species list and explanation of your conclusion, and may require maps, photographs, and surveys as appropriate

May Affect, Not Likely to Adversely Affect: Any effects that the project may have on federally listed species or critical habitats would be beneficial, discountable, or insignificant.

Likely to Adversely Affect: The project may have negative effects on one or more listed species or critical habitat.

6. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation. This information will be automatically included in the Mitigation summary for the environmental review. If negative effects cannot be mitigated, cancel the project using the button at the bottom of this screen.

Mitigation as follows will be implemented:

- ✓ No mitigation is necessary.

Explain why mitigation will not be made here:

The project does involve new construction; however, the project will have no effect on listed species. Please see the summary below for additional information.

Screen Summary
Compliance Determination

An Endangered Species Determination Key was obtained using the U.S. Fish & Wildlife Service IPaC online system. Species listed for Wayne County include Indiana Bat, Northern Long-eared Bat, Piping Plover, Red Knot, Eastern Massasauga, Northern Riffleshell, and Eastern Prairie Fringed Orchid. None of the state-listed threatened or endangered species were observed at the Property. No federally listed threatened or endangered species or unique features are present at the Project and no Critical Habitats are present. The properties and/or general area have been developed since at least the 1900s. Additionally, the site does not contain and is not adjacent to any wetlands, floodplains, or waterways. Therefore, the Project will have no effect on listed species and is in compliance with the Endangered Species Act. Attachment 10

Supporting documentation

[Att 10A Endangered Species IPaC LIST.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Explosive and Flammable Hazards

General requirements	Legislation	Regulation
HUD-assisted projects must meet Acceptable Separation Distance (ASD) requirements to protect them from explosive and flammable hazards.	N/A	24 CFR Part 51 Subpart C

1. Is the proposed HUD-assisted project itself the development of a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals such as bulk fuel storage facilities and refineries)?

No

Yes

2. Does this project include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion?

No

Yes

3. Within 1 mile of the project site, are there any current or planned stationary aboveground storage containers that are covered by 24 CFR 51C? Containers that are NOT covered under the regulation include:

- Containers 100 gallons or less in capacity, containing common liquid industrial fuels OR

- Containers of liquified petroleum gas (LPG) or propane with a water volume capacity of 1,000 gallons or less that meet the requirements of the 2017 or later version of National Fire Protection Association (NFPA) Code 58.

If all containers within the search area fit the above criteria, answer “No.” For any other type of aboveground storage container within the search area that holds one of the flammable or explosive materials listed in Appendix I of 24 CFR part 51 subpart C, answer “Yes.”

No

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.

Yes

Screen Summary

Compliance Determination

Review of reasonable ascertainable standard and other historical sources, and site observations, have not identified the current and historical presence of ASTs/55-gallon drum storage on the Property. In accordance with HUD's Guidebook entitled "Siting of HUD-Assisted Projects Near Hazardous Facilities" (hereafter "Guidebook"), PM researched a one-mile radius around the Property for ASTs containing flammable materials. PM did not identify any site with ASTs that required the calculation of acceptable separation distances (ASD) for thermal radiation and/or black overpressure. The Project is in compliance with explosive and flammable hazard requirements. Attachment 11

Supporting documentation

[Att 11 BLAST AST Map.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Farmlands Protection

General requirements	Legislation	Regulation
The Farmland Protection Policy Act (FPPA) discourages federal activities that would convert farmland to nonagricultural purposes.	Farmland Protection Policy Act of 1981 (7 U.S.C. 4201 et seq.)	7 CFR Part 658

1. Does your project include any activities, including new construction, acquisition of undeveloped land or conversion, that could convert agricultural land to a non-agricultural use?

Yes

No

If your project includes new construction, acquisition of undeveloped land or conversion, explain how you determined that agricultural land would not be converted:

Review of the USDA Web Soil Survey indicates this Project does not affect any prime or unique farmland. The Property is located within an "urbanized" area. This Project does not include any activities that could potentially convert agricultural land to a non-agricultural use. Therefore, the Project is not subject to the statutory or regulatory requirements.(Attachment 11)

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.

Screen Summary

Compliance Determination

Review of the USDA Web Soil Survey indicates this Project does not affect any prime or unique farmland. The Property is located within an "urbanized" area. This Project does not include any activities that could potentially convert agricultural land to a non-agricultural use. Therefore, the Project is not subject to the statutory or regulatory requirements. Attachment 12

Supporting documentation

[Att 12 Soil Survey.pdf](#)

Are formal compliance steps or mitigation required?

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Yes

✓ No

Floodplain Management

General Requirements	Legislation	Regulation
Executive Order 11988, Floodplain Management, requires federal activities to avoid impacts to floodplains and to avoid direct and indirect support of floodplain development to the extent practicable.	Executive Order 11988	24 CFR 55

1. Do any of the following exemptions apply? Select the applicable citation? [only one selection possible]

- 55.12(c)(3)
- 55.12(c)(4)
- 55.12(c)(5)
- 55.12(c)(6)
- 55.12(c)(7)
- 55.12(c)(8)
- 55.12(c)(9)
- 55.12(c)(10)
- 55.12(c)(11)
- None of the above

2. Upload a FEMA/FIRM map showing the site here:

[Att 5 Floodplain Map\(1\).pdf](#)

The Federal Emergency Management Agency (FEMA) designates floodplains. The FEMA Map Service Center provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs). For projects in areas not mapped by FEMA, use **the best available information** to determine floodplain information. Include documentation, including a discussion of why this is the best available information for the site.

Does your project occur in a floodplain?

- No

Based on the response, the review is in compliance with this section.

Yes

Screen Summary

Compliance Determination

According to the Federal Emergency Management Agency (FEMA) floodplain map, dated February 2, 2012 (Panel Number 26163C0280E), the Property is not located within the 100-year flood zone. Furthermore, topographical features present in the Property area are not representative of a floodplain. The Project is in compliance with Executive Order 11988. Attachment 5

Supporting documentation

[Att 5 Floodplain Map\(2\).pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Historic Preservation

General requirements	Legislation	Regulation
Regulations under Section 106 of the National Historic Preservation Act (NHPA) require a consultative process to identify historic properties, assess project impacts on them, and avoid, minimize, or mitigate adverse effects	Section 106 of the National Historic Preservation Act (16 U.S.C. 470f)	36 CFR 800 “Protection of Historic Properties” https://www.govinfo.gov/content/pkg/CFR-2012-title36-vol3/pdf/CFR-2012-title36-vol3-part800.pdf

Threshold

Is Section 106 review required for your project?

No, because the project consists solely of activities listed as exempt in a Programmatic Agreement (PA). (See the PA Database to find applicable PAs.)

No, because the project consists solely of activities included in a No Potential to Cause Effects memo or other determination [36 CFR 800.3(a)(1)].

- ✓ Yes, because the project includes activities with potential to cause effects (direct or indirect).

Step 1 – Initiate Consultation

Select all consulting parties below (check all that apply):

- ✓ State Historic Preservation Offer (SHPO) Completed
- ✓ Indian Tribes, including Tribal Historic Preservation Officers (THPOs) or Native Hawaiian Organizations (NHOs)
- ✓ Other Consulting Parties

✓ City of Detroit Preservation Specialist

Completed

Describe the process of selecting consulting parties and initiating consultation here:

The Project was reviewed under a Programmatic Agreement between the City of Detroit, ACHP, and the Michigan SHPO. A Section 106 application was submitted to the City of Detroit to determine if the Project will adversely impact the Property area or area of potential effect (APE).

Document and upload all correspondence, notices and notes (including comments and objections received below).

Was the Section 106 Lender Delegation Memo used for Section 106 consultation?

Yes

No

Step 2 – Identify and Evaluate Historic Properties

- 1. Define the Area of Potential Effect (APE), either by entering the address(es) or uploading a map depicting the APE below:**

In the chart below, list historic properties identified and evaluated in the APE. Every historic property that may be affected by the project should be included in the chart.

Upload the documentation (survey forms, Register nominations, concurrence(s) and/or objection(s), notes, and photos) that justify your National Register Status determination below.

Address / Location / District	National Register Status	SHPO Concurrence	Sensitive Information
1184 Seward Avenue	Not Eligible	Yes	✓ Not Sensitive
1190 Seward Avenue	Not Eligible	Yes	✓ Not Sensitive
1191 Virginia Park Street	Not Eligible	Yes	✓ Not Sensitive
1197 Virginia Park Street	Not Eligible	Yes	✓ Not Sensitive
1201 Seward Avenue	Not Eligible	Yes	✓ Not Sensitive
1301-1313 Virginia Park Street	Not Eligible	Yes	✓ Not Sensitive
1317 Virginia Park Street	Not Eligible	Yes	✓ Not Sensitive

1322 Seward Avenue	Not Eligible	Yes	✓ Not Sensitive
1329 Virginia Park Street	Not Eligible	Yes	✓ Not Sensitive
1349 Virginia Park Street	Not Eligible	Yes	✓ Not Sensitive

Additional Notes:

1323 Seward Avenue - Not Eligible with SHPO Concurrence

2. Was a survey of historic buildings and/or archeological sites done as part of the project?

Yes

✓ No

Step 3 –Assess Effects of the Project on Historic Properties

Only properties that are listed on or eligible for the National Register of Historic Places receive further consideration under Section 106. Assess the effect(s) of the project by applying the Criteria of Adverse Effect. (36 CFR 800.5)] Consider direct and indirect effects as applicable as per guidance on direct and indirect effects.

Choose one of the findings below - No Historic Properties Affected, No Adverse Effect, or Adverse Effect; and seek concurrence from consulting parties.

No Historic Properties Affected

✓ No Adverse Effect

Based on the response, the review is in compliance with this section.

Document reason for finding:

The proposed development of the subject property does not require or include physical damage to a designated or eligible historic structure located on the subject property or within the APE. The properties located on the subject property and/or within the APE that are 50 years or older have suffered from a loss of integrity due to material alterations, additions, or deferred maintenance. The proposed new construction is a record of its own time, and does not imitate, mimic, or create a false sense of historical development within the APE. The proposed new construction utilizes

materials and colors that complement the existing historic architecture located within the APE.

Does the No Adverse Effect finding contain conditions?

Yes (check all that apply)

No

Based on the response, the review is in compliance with this section. Document and upload concurrence(s) or objection(s) below.

Adverse Effect

Screen Summary

Compliance Determination

Based on Section 106 consultation the project will have No Adverse Effect on historic properties. Conditions: None. Upon satisfactory implementation of the conditions, which should be monitored, the project is in compliance with Section 106.

Supporting documentation

[Att 13B Merrill Place CNAESection106Letter.pdf](#)

[Att 13A National Register of Historic Places.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Noise Abatement and Control

General requirements	Legislation	Regulation
HUD’s noise regulations protect residential properties from excessive noise exposure. HUD encourages mitigation as appropriate.	Noise Control Act of 1972 General Services Administration Federal Management Circular 75-2: “Compatible Land Uses at Federal Airfields”	Title 24 CFR 51 Subpart B

1. What activities does your project involve? Check all that apply:

- New construction for residential use

NOTE: HUD assistance to new construction projects is generally prohibited if they are located in an Unacceptable zone, and HUD discourages assistance for new construction projects in Normally Unacceptable zones. See 24 CFR 51.101(a)(3) for further details.

Rehabilitation of an existing residential property

A research demonstration project which does not result in new construction or reconstruction

An interstate land sales registration

Any timely emergency assistance under disaster assistance provision or appropriations which are provided to save lives, protect property, protect public health and safety, remove debris and wreckage, or assistance that has the effect of restoring facilities substantially as they existed prior to the disaster
None of the above

4. Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000’ from a major road, 3000’ from a railroad, or 15 miles from an airport).

Indicate the findings of the Preliminary Screening below:

There are no noise generators found within the threshold distances above.

- ✓ Noise generators were found within the threshold distances.

5. **Complete the Preliminary Screening to identify potential noise generators in the**

Acceptable: (65 decibels or less; the ceiling may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

- ✓ Normally Unacceptable: (Above 65 decibels but not exceeding 75 decibels; the floor may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

Is your project in a largely undeveloped area?

- ✓ No

Indicate noise level here: 66

Document and upload noise analysis, including noise level and data used to complete the analysis below.

Yes

Unacceptable: (Above 75 decibels)

HUD strongly encourages conversion of noise-exposed sites to land uses compatible with high noise levels.

Check here to affirm that you have considered converting this property to a non-residential use compatible with high noise levels.

Indicate noise level here: 66

Document and upload noise analysis, including noise level and data used to complete the analysis below.

6. HUD strongly encourages mitigation be used to eliminate adverse noise impacts. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation. This information will be automatically included in the Mitigation summary for the environmental review.

Mitigation as follows will be implemented:

- ✓ No mitigation is necessary.

Explain why mitigation will not be made here:

A HUD Desktop Noise Assessment was completed as part of the December 2021 Phase I ESA completed by PM Environmental. The Project noise sources included The John C Lodge highway, ramps, and service drives. Using the HUD DNL calculator, PM concluded that noise levels, as predicted for 2031, were 66 dB, which is considered Normally Unacceptable. The Project architect completed a Sound Transmission Classification Assessment Tool (STraCAT) for each NAL which document interior noise will be below 45 db. Therefore, no additional noise mitigation is needed. The Noise Assessment Report is included in Appendix 10.7 of the Phase I ESA (Attachment 24)

Based on the response, the review is in compliance with this section.

Screen Summary

Compliance Determination

A HUD Desktop Noise Assessment was completed as part of the December 2021 Phase I ESA completed by PM Environmental. The Project noise sources included The John C Lodge highway, ramps, and service drives. Using the HUD DNL calculator, PM concluded that noise levels, as predicted for 2031, were 66 dB, which is considered Normally Unacceptable. The Project architect completed a Sound Transmission Classification Assessment Tool (STraCAT) for each NAL which document interior noise will be below 45 db. Therefore, no additional noise mitigation is needed. The Noise Assessment Report is included in Appendix 10.7 of the Phase I ESA (Attachment 8). Attachment 14

Supporting documentation

[Attachment 14 - Noise.pdf](#)

[Att 14 STraCAT REPORT_ 22 JUNE 2022_ MERRILL PLACE - HUD Exchange.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Sole Source Aquifers

General requirements	Legislation	Regulation
The Safe Drinking Water Act of 1974 protects drinking water systems which are the sole or principal drinking water source for an area and which, if contaminated, would create a significant hazard to public health.	Safe Drinking Water Act of 1974 (42 U.S.C. 201, 300f et seq., and 21 U.S.C. 349)	40 CFR Part 149

1. Does the project consist solely of acquisition, leasing, or rehabilitation of an existing building(s)?

Yes

Based on the response, the review is in compliance with this section.

No

Screen Summary

Compliance Determination

There are no sole source aquifers located in Detroit or Wayne County, Michigan. The Project is in compliance with Sole Source Aquifer requirements. Attachment 15

Supporting documentation

[Att 15 Sole Source Aquifers.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Wetlands Protection

General requirements	Legislation	Regulation
Executive Order 11990 discourages direct or indirect support of new construction impacting wetlands wherever there is a practicable alternative. The Fish and Wildlife Service’s National Wetlands Inventory can be used as a primary screening tool, but observed or known wetlands not indicated on NWI maps must also be processed Off-site impacts that result in draining, impounding, or destroying wetlands must also be processed.	Executive Order 11990	24 CFR 55.20 can be used for general guidance regarding the 8 Step Process.

1. Does this project involve new construction as defined in Executive Order 11990, expansion of a building’s footprint, or ground disturbance? The term "new construction" shall include draining, dredging, channelizing, filling, diking, impounding, and related activities and any structures or facilities begun or authorized after the effective date of the Order

No

✓ Yes

2. Will the new construction or other ground disturbance impact an on- or off-site wetland? The term "wetlands" means those areas that are inundated by surface or ground water with a frequency sufficient to support, and under normal circumstances does or would support, a prevalence of vegetative or aquatic life that requires saturated or seasonally saturated soil conditions for growth and reproduction. Wetlands generally include swamps, marshes, bogs, and similar areas such as sloughs, potholes, wet meadows, river overflows, mud flats, and natural ponds.

"Wetlands under E.O. 11990 include isolated and non-jurisdictional wetlands."

✓ No, a wetland will not be impacted in terms of E.O. 11990’s definition of new construction.

Based on the response, the review is in compliance with this section. Document and upload a map or any other relevant documentation below which explains your determination

Yes, there is a wetland that be impacted in terms of E.O. 11990’s definition of new construction.

Screen Summary

Compliance Determination

Areas potentially associated with wetlands were not observed on the Property during the site reconnaissance. In addition, review of the National Wetlands Inventory (NWI) Map from the U.S. Fish and Wildlife Service and Michigan Department of Environment, Great Lakes and Energy (EGLE) Wetlands map did not identify any wetlands on the Property. The Project is in compliance with Executive Order 11990. Attachment 16

Supporting documentation

[Att 16B Wetlands - EGLE.pdf](#)

[Att 16A NWI Map.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Wild and Scenic Rivers Act

General requirements	Legislation	Regulation
The Wild and Scenic Rivers Act provides federal protection for certain free-flowing, wild, scenic and recreational rivers designated as components or potential components of the National Wild and Scenic Rivers System (NWSRS) from the effects of construction or development.	The Wild and Scenic Rivers Act (16 U.S.C. 1271-1287), particularly section 7(b) and (c) (16 U.S.C. 1278(b) and (c))	36 CFR Part 297

1. Is your project within proximity of a NWSRS river?

No

Yes, the project is in proximity of a Designated Wild and Scenic River or Study Wild and Scenic River.

Yes, the project is in proximity of a Nationwide Rivers Inventory (NRI) River.

Screen Summary

Compliance Determination

The National Wild and Scenic Rivers System map (maintained and managed by the Bureau of Land Management, National Park Service, U.S. Fish and Wildlife Service, and U.S. Forest Service) were reviewed to determine if the Property is within a designated wild and scenic river area. There are no wild and scenic rivers located within the Detroit or Wayne County. The Project is in compliance with the Wild and Scenic Rivers Act. Attachment 17

Supporting documentation

[Att 17 Rivers.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Environmental Justice

General requirements	Legislation	Regulation
Determine if the project creates adverse environmental impacts upon a low-income or minority community. If it does, engage the community in meaningful participation about mitigating the impacts or move the project.	Executive Order 12898	

HUD strongly encourages starting the Environmental Justice analysis only after all other laws and authorities, including Environmental Assessment factors if necessary, have been completed.

1. Were any adverse environmental impacts identified in any other compliance review portion of this project’s total environmental review?

Yes

No

Based on the response, the review is in compliance with this section.

Screen Summary

Compliance Determination

This Project will not have a disproportionately high adverse effect on human health or environment of minority populations and/or low-income populations. The building will serve low-income and minority populations. The development is in the City of Detroit, which is made up of 87% ethnic minorities. New facilities and residences are intended to enhance the quality of life for new and existing residents and the community. No persons will be displaced due to this Project. Attachment 18

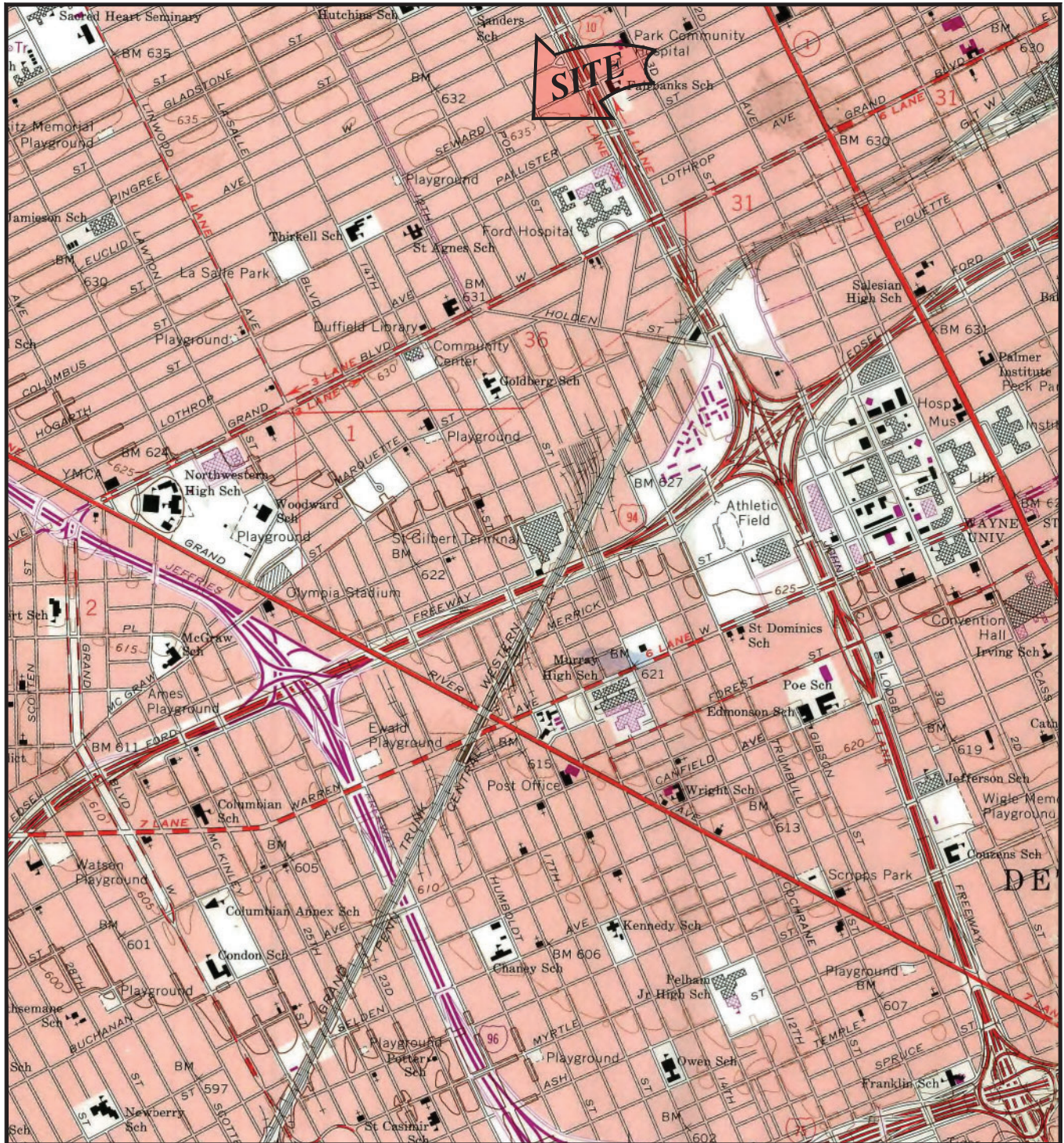
Supporting documentation

[Att 18 EJS.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No



MICHIGAN QUADRANGLE LOCATION

WAYNE COUNTY

FIGURE 1

PROPERTY VICINITY MAP

UNITED STATES GEOLOGICAL SURVEY, 7.5 MINUTE SERIES

DETROIT, MI QUADRANGLE, 1968. PHOTO REVISED 1973 AND 1980.



PROJ: VACANT LAND
1312 SEWARD AVENUE
DETROIT, MI

THIS IS NOT A LEGAL
SURVEY

VERIFY SCALE
0 2000'

IF NOT 1" ON THIS
SHEET, ADJUST
SCALES ACCORDINGLY.

DRN BY: KS/CS DATE: 12/14/2021

CHKD BY: DN SCALE: 1" = 2,000'









FILE NAME:
01-11372-0-003F00R00

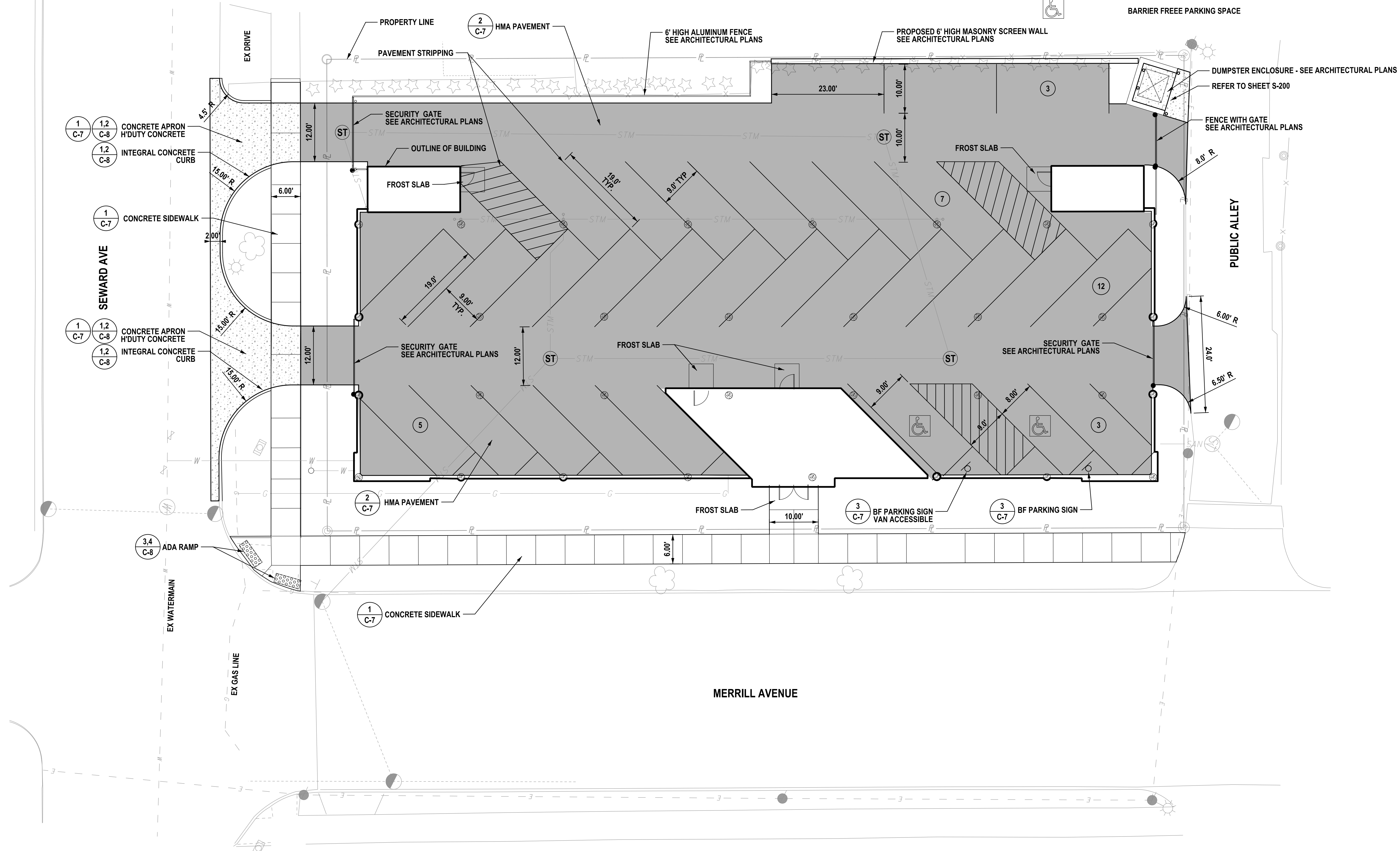
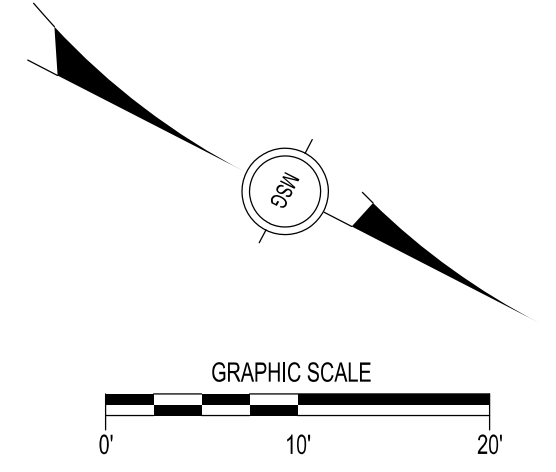
GENERAL NOTES

1. DETAILS AND DIMENSIONS SHOWN ON THESE PLANS PERTAINING TO EXISTING STRUCTURES HAVE BEEN OBTAINED FROM FIELD OBSERVATIONS AND MEASUREMENTS. CONSEQUENTLY, THEY ARE INDICATIVE OF THE EXISTING STRUCTURE AND THE PROPOSED WORK BUT THEY SHALL BE CONSIDERED TENTATIVE AND APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR.
2. CONTRACTOR SHALL VISIT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS AND VERIFY GIVEN DIMENSIONS, TAKE ADDITIONAL DIMENSIONS AS REQUIRED, AND REPORT ANY INACCURACIES TO THE ENGINEER BEFORE PROCEEDING WITH DETAILING OR FABRICATION OF ANY WORK.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION 2012 EDITION, CITY OF DETROIT ENGINEERING AND CONSTRUCTION STANDARDS, WHICH EVER IS MORE STRINGENT.
4. THE CONTRACTOR SHALL FOLLOW ALL STATE AND LOCAL SAFETY REQUIREMENTS DURING CONSTRUCTION OF THIS PROJECT. SPECIAL CARE WILL BE TAKEN DURING ALL TRENCHING OPERATIONS, SHEETING AND BRACING, CRIBBING, ETC. WILL BE INSTALLED AS REQUIRED TO PROVIDE MAXIMUM SAFETY TO THE CONTRACTOR'S WORKERS IN FULL COMPLIANCE WITH OSHA REGULATIONS.
5. THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO STARTING WORK AND SHALL CONDUCT HIS/HER OPERATIONS IN SUCH A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION OR REMOVAL WILL NOT BE DISTURBED. ANY DEVIATIONS ENCOUNTERED SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

6. THE LOCATION OF ALL EXISTING UTILITIES AS SHOWN ON THESE PLANS WERE OBTAINED FROM THE BEST AVAILABLE DATA. THE MANNIK & SMITH GROUP, INC. ARE NOT RESPONSIBLE FOR ANY OMISSIONS OR VARIATIONS FROM THE LOCATIONS SHOWN. VERIFICATION OF THE ACTUAL LOCATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, THE CONTRACTOR SHALL CALL MISS DIG 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS, PRIOR TO BEGINNING ANY EXCAVATION OR CONSTRUCTION ACTIVITIES IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES CAUSED BY THEIR OPERATIONS.
8. ALL BARRIER FREE RAMP, SIDEWALKS, AND PARKING SPACES MUST COMPLY WITH ALL CURRENT ADA AND CITY OF DETROIT REQUIREMENTS. NOTIFY ENGINEER IMMEDIATELY IF THIS IS NOT ACHIEVABLE.
9. PROVIDE 1/2" EXPANSION JOINT WITH SELF LEVELING JOINT SEALANT WHERE ALL PROPOSED PAVEMENT ABUTT EXISTING STRUCTURES AND CONCRETE SURFACES.

LEGEND

- PROPOSED**
-  HMA PAVEMENT
 -  HEAVY DUTY CONCRETE PAVEMENT
 -  CONCRETE SIDEWALK
 -  INTEGRAL CONCRETE CURB
 -  ADA BARRIER FREE RAMP
 -  BARRIER FREE PARKING SIGN
 -  MASONRY WALL
 -  BARRIER FREE PARKING SPACE




NO.	DATE	BY	DESCRIPTION
01	08/16/19	HM	ISSUE FOR PERMITS
02	08/16/19	HM	ISSUE FOR PERMITS
03	10/02/2018	HM	ISSUED FOR BID

2385 HUGBERRY ROAD SOUTH
TROY, MI 48068
TEL: 734-397-3100
FAX: 734-397-3131

PROJECT DATE: 08/16/19
PROJECT NO.: MS670001
DRAWN BY: BLG
CHECKED BY: HM

TECHNICAL SKILL:
CREATIVE SPIRIT.



www.MannikSmithGroup.com

PREPARED FOR:



ARCHITECTS
PLANNERS
INTERIOR DESIGN



SCOTT MONCHIK
& ASSOCIATES, INC.
1700 STUTZ DRIVE SUITE 104-B
TROY, MICHIGAN 48064

MERRILL PLACE
BUILDING A
MERRILL AVE & SEWARD AVE
DETROIT, MICHIGAN

SITE PLAN



STORM STRUCTURE SCHEDULE

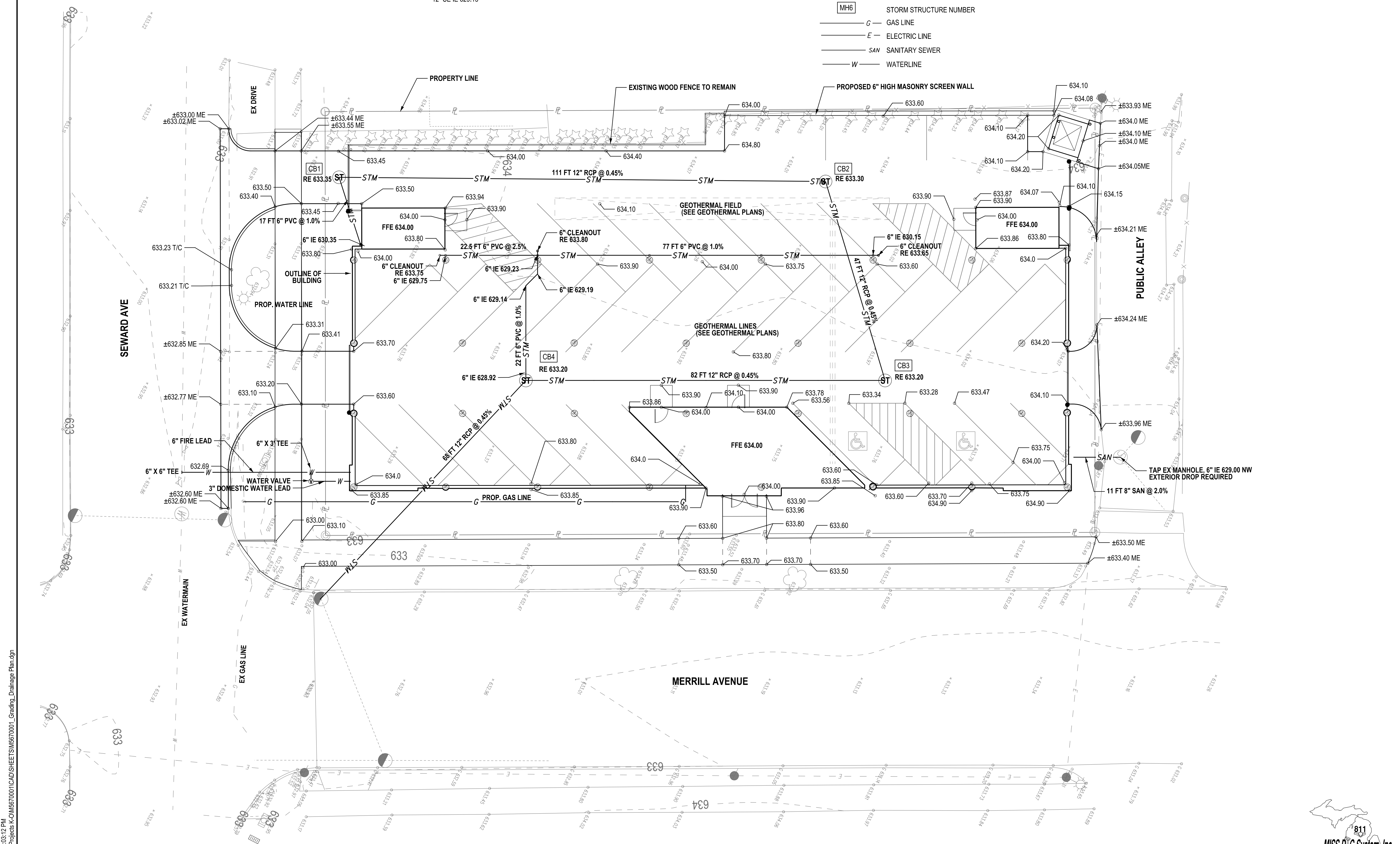
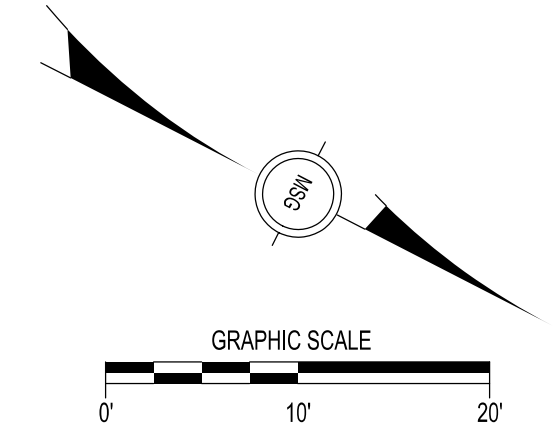
- CB1 - 48" DIA STRUCTURE
RE 633.20
12" NE IE 628.28
12" S IE 628.18
12" NW IE 628.43
- CB2 - 24" DIA. STRUCTURE
RE 633.20
12" SE IE 628.80
- CB3 - 24" DIA. STRUCTURE
RE 633.35
12" SE IE 629.15
- CB4 - 48" DIA. STRUCTURE
RE 633.30
12" SW IE 628.49
12" NW IE 628.59

LEGEND

- PROPOSED
- 878.32 SPOT ELEVATION
- 878.32 T/C TOP OF CURB ELEVATION
- ±878.32 ME MATCH EXISTING ELEVATION
- (ST) STORM STRUCTURE
- STM STORM SEWER
- MH6 STORM STRUCTURE NUMBER
- G GAS LINE
- E ELECTRIC LINE
- SAN SANITARY SEWER
- W WATERLINE

NOTES

1. SEE SHEET C-2 FOR GENERAL NOTES.



11/8/2019 2:03:12 PM
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NO.	DATE	BY	DESCRIPTION
01	08/16/19	HM	ISSUE FOR PERMIT
02	10/02/19	HM	ISSUE FOR BID
03	10/02/19	HM	ISSUE FOR BID

2385 HUGERTY ROAD SOUTH
TROY, MI 48067
TEL: 734-937-3100
FAX: 734-937-3131

PROJECT DATE: 08/16/19
PROJECT NO.: MS670001
DRAWN BY: BLG
CHECKED BY: HM

TECHNICAL SKILL:
CREATIVE SPIRIT.

www.MannikSmithGroup.com

PREPARED FOR:

ARCHITECTS
PLANNERS
INTERIOR DESIGN

SCOTT MONCHIK
& ASSOCIATES, INC.
1700 STUTZ DRIVE SUITE 104-B
TROY, MICHIGAN 48064

MERRILL PLACE
BUILDING A
MERRILL AVE & SEWARD AVE
DETROIT, MICHIGAN

GRADING/UTILITY PLAN



PROJECT DESCRIPTION

NEW 3-STORY APARTMENT BUILDING, TO BE BUILT OVER PARKING AT GRADE LEVEL

CODE SUMMARY:

REVIEW CODE 2015 MICHIGAN BUILDING CODE
 2015 MICHIGAN MECHANICAL CODE
 2015 MICHIGAN PLUMBING CODE
 2011 NEC CODE WITH MICH. AMENDMENT
 2009 ICC/ANCI A111)

USE GROUP 'S-2' OPEN PARKING & 'R-2' APARTMENTS

TYPE OF CONSTRUCTION FOR 'S-2' TYPE I-B, FOR 'R-2' TYPE V-B

SPRINKLER SYSTEM SPRINKLER SYSTEM TO BE INSTALLED

OCCUPANCY LOAD 9 APARTMENT UNITS PER FLOOR
 BUILDING TOTAL = 27 UNITS
 TYPE 'A' UNITS: REQUIRED = 1 PROVIDED = 1

EXIT ACCESS 2 EXITS REQUIRED FROM EACH FLOOR
 3 EXITS PROVIDED FROM EACH FLOOR

2015 MICHIGAN BUILDING CODE

CHAPTER 3
 SECTION 310.4 'R-2' APARTMENTS
 SECTION 311 'S-2' OPEN PARKING GARAGE

CHAPTER 4
 SECTION 406 MOTOR-VEHICLE-RELATED OCCUPANCIES
 SECTION 406.5 OPEN PARKING GARAGES
 SECT. 406.5.1 SHALL BE OF TYPE I, II, OR IV CONSTRUCTION. WE ARE TYPE I-B

SECTION 420 GROUPS I-1, R-1, R-2, R-3 AND R-4
 420.2 SEPARATION WALLS REQUIRED (PER 710)
 420.3 HORIZONTAL SEPARATION REQUIRED (PER 711)
 420.5 AUTOMATIC SPRINKLER REQUIRED (PER 903.3.1.2)
 420.6 FIRE ALARM SYSTEM & SMOKE ALARM REQUIRED (PER 907.2.11)

CHAPTER 5
 SECTION 504 (FOR V-B CONSTRUCTION)
 TABLE 504.3 ALLOWABLE FEET ABOVE GRADE
 ALLOWABLE PROVIDED
 'R' (S13R) 60' 50'-4"
 'R' (S) 60' 50'-4"

TABLE 504.4 ALLOWABLE STORIES ABOVE GRADE
 ALLOWABLE PROVIDED
 'R-2' (S) 3 3

TABLE 506.2 ALLOWABLE FLOOR AREA (PER FLOOR)
 ALLOWABLE PROVIDED
 'R-2' (S1) 21,000 SF 8,820 SF

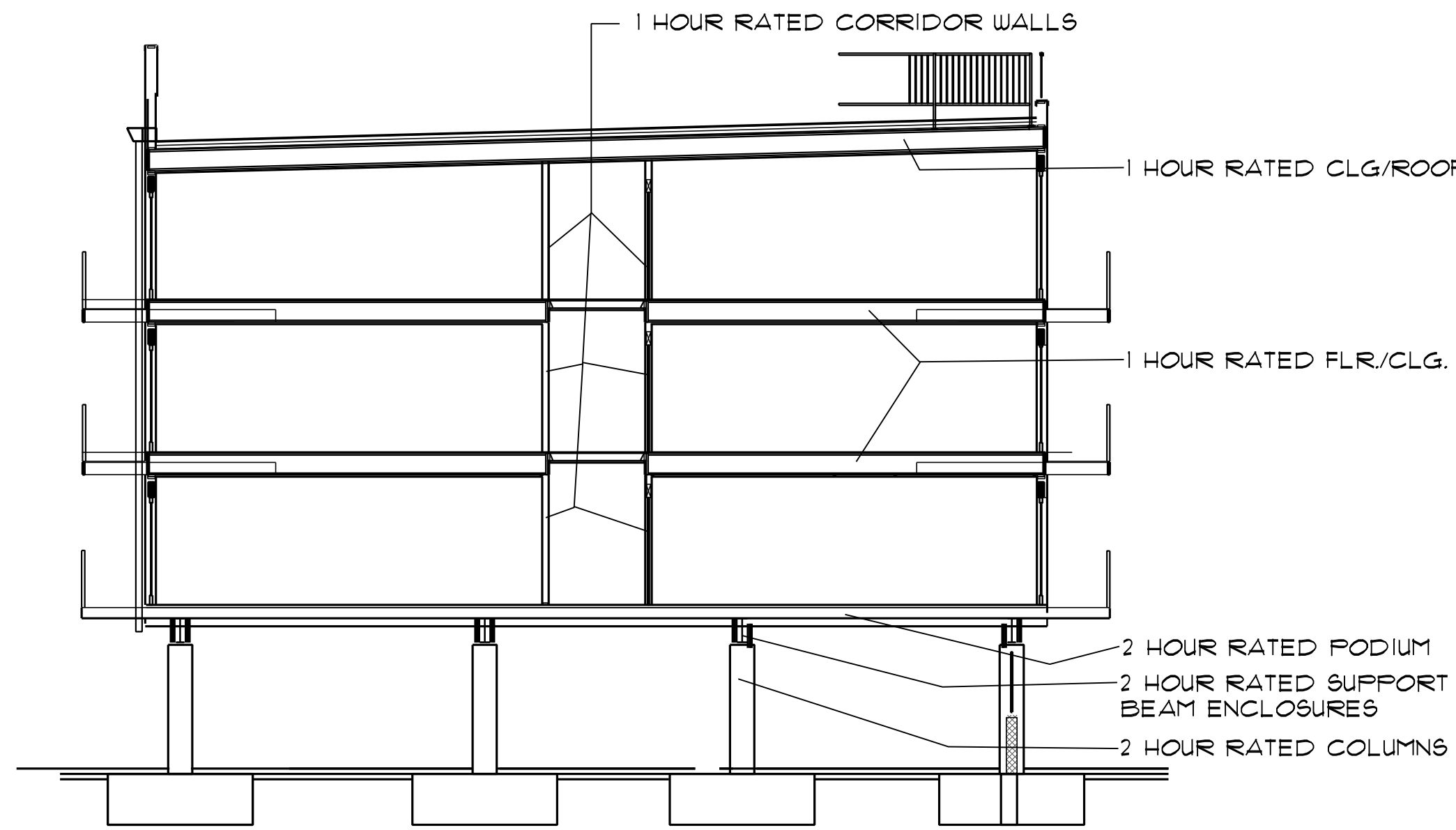
TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES
 BETWEEN 'S-2' & 'R' = 1 HOUR SEPARATION (S-SPRINKLED)

SECTION 510.4
 WHERE A MAXIMUM ONE STORY ABOVE GRADE PLANE GROUP 'S-2' PARKING GARAGE, ENCLOSED OR OPEN, OF COMBINATION THEREOF OF TYPE I CONSTRUCTION OR OPEN OF TYPE IV CONSTRUCTION WITH GRADE ENTRANCE IS PROVIDED UNDER A BUILDING OF GROUP 'R' THE NUMBER OF STORIES TO BE USED IN DETERMINING THE MINIMUM TYPE OF CONSTRUCTION SHALL BE MEASURED FROM THE FLOOR ABOVE SUCH A PARKING AREA. THE FLOOR ASSEMBLY BETWEEN THE PARKING GARAGE AND THE GROUP 'R' ABOVE SHALL COMPLY WITH THE TYPE OF CONSTRUCTION REQUIRED FOR THE PARKING GARAGE AND SHALL ALSO PROVIDE A FIRE RESISTANCE RATING NOT LESS THAN THE MIXED OCCUPANCY SEPARATION REQUIRED IN SECTION 508.4

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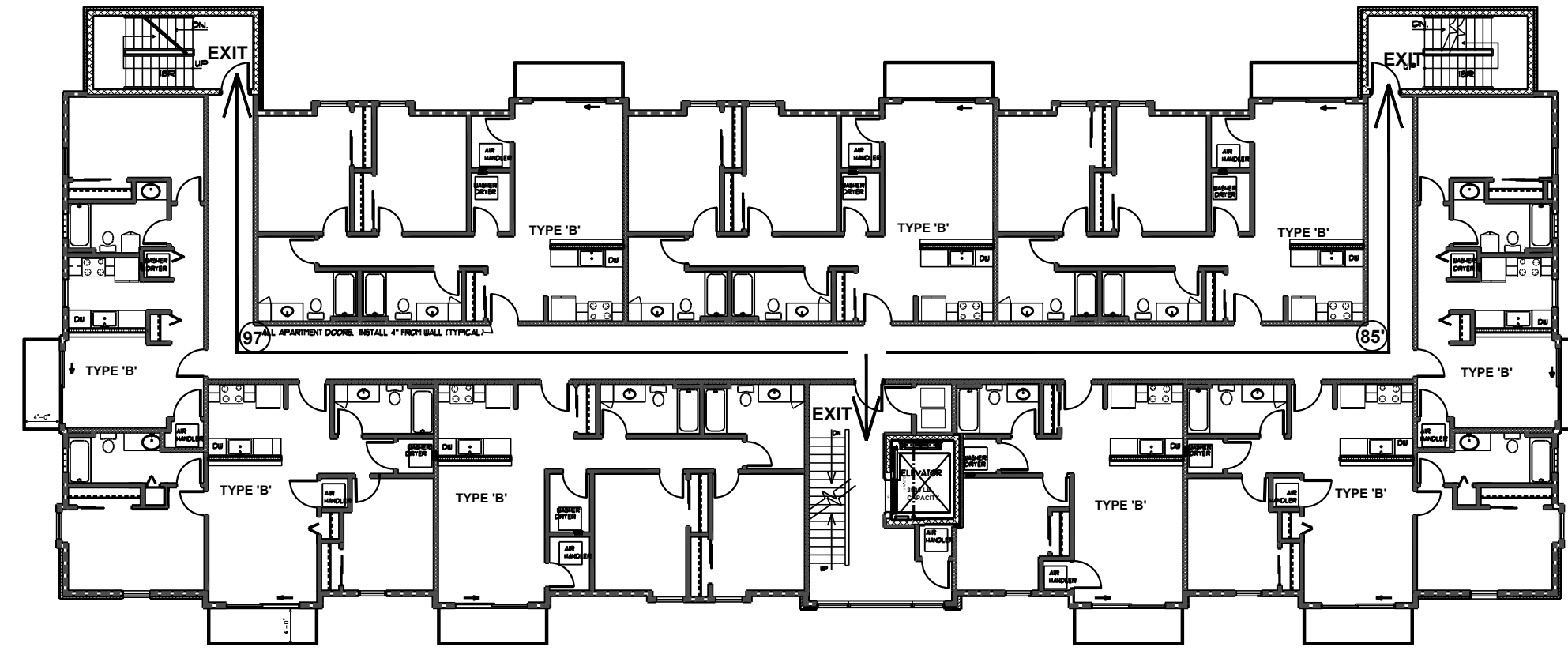
ARCHITECTS
PLANNERS
INTERIOR DESIGN

SCOTT MONCHNIK & ASSOCIATES, INC.
 1700 STUTZ DRIVE
 SUITE 104-B
 TROY, MICHIGAN 48064
 TEL: 248-654-1010
 FAX: 248-654-3002
 SCOTT@SMAARCH.COM



BUILDING SECTION

NOT TO SCALE



THIRD FLOOR PLAN

NOT TO SCALE

CHAPTER 6
 TABLE 601 FIRE RESISTANCE RATING REQ'TS FOR BLDG ELEMENTS

	PARKING GARAGE (S-2)	APARTMENTS (R-2)
	CONSTRUCTION TYPE I-B	CONSTRUCTION TYPE V-B
PRIMARY STRUCTURE	2	0
BEARING WALLS		
EXTERIOR	2	0
INTERIOR	2	0
INTERIOR PARTITION	0	0
FLOOR CONSTRUCTION	2	0
ROOF CONSTRUCTION	1	0

CHAPTER 7
 SECTION 701.3 ENCLOSURES FOR EXIT ACCESS STAIRWAYS ... SHALL COMPLY WITH SECTION 713.4

SECTION 701.3.10 SEE TABLE 701.3.10
 FIRE RESISTANCE RATING REQUIRED FOR HORIZONTAL ASSEMBLIES
 'R' 4 'S' = 2 HOUR FIRE RATING

SECTION 708 FIRE PARTITIONS
 SECTION 708.3 FIRE PARTITIONS SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 1 HOUR (OR NOT LESS THAN 1/2 HOUR WITH EXCEPTIONS 1 & 2)

SECTION 711 FLOOR AND ROOF ASSEMBLIES
 SECTION 711.2 HORIZONTAL ASSEMBLIES TO COMPLY WITH SECTIONS 711.2.1 THROUGH 711.2.6

SEPARATION BETWEEN S-2 & R-2 = 2 HOUR FIRE RATING REQ'D
 SEPARATION BETWEEN R-2 & R-2 = 1 HOUR FIRE RATING REQ'D

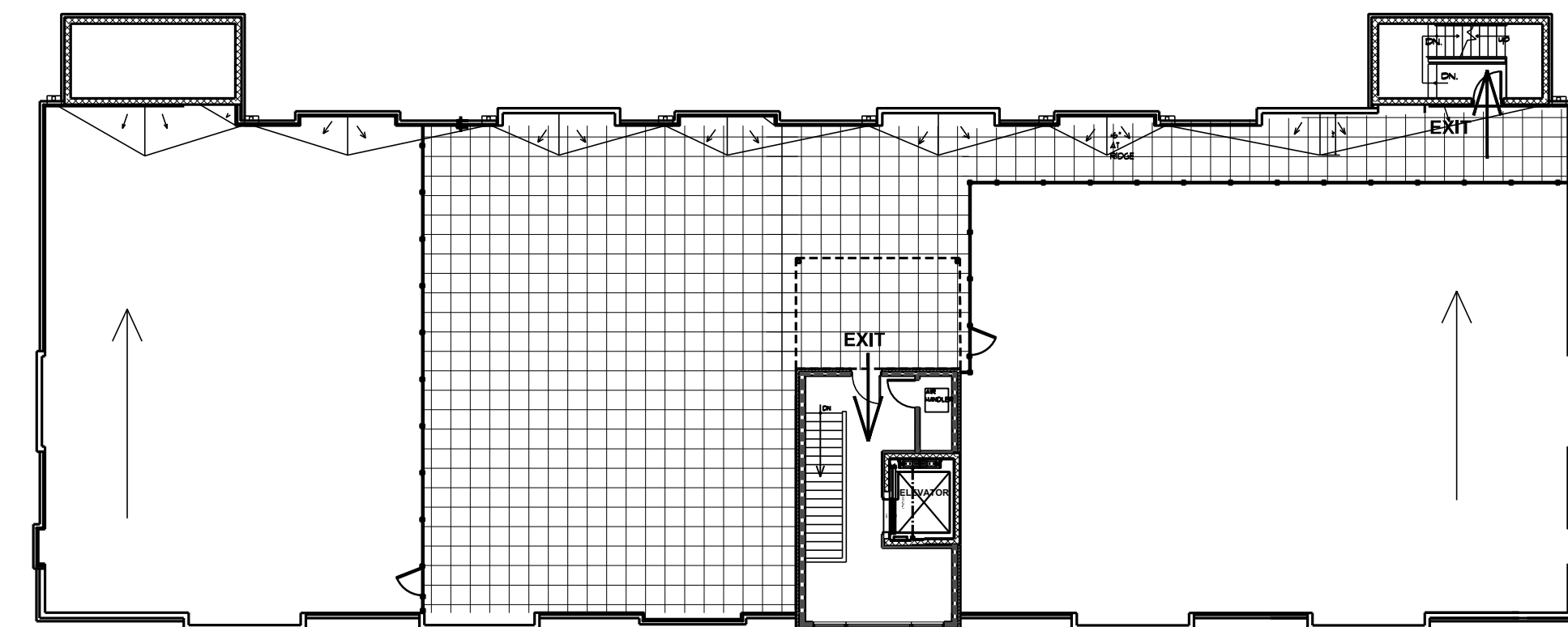
CHAPTER 9
 SECTION 903.2.8 AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDING WITH A GROUP 'R'

SECTION 907.2.9 GROUP 'R' - 2 FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE INSTALLED IN GROUP R-2 OCCUPANCIES AS REQUIRED IN SECTIONS 907.2.9.1 THROUGH 907.2.9.3

CHAPTER 10
 SECTION 1004 OCCUPANT LOAD
 TABLE 1004.1.2
 RESIDENTIAL 1/200 SFG
 APARTMENT UNITS 8,311 SFG / 200 SFG = 45 OCCUPANTS
 ASSEMBLY - UNCONCENTRATED 1/15 SF NET
 ROOF TOP TERRACE 2,083 SF / 15 SF = 139 OCCUPANTS
 TOTAL OCCUPANTS = 184 OCCUPANTS

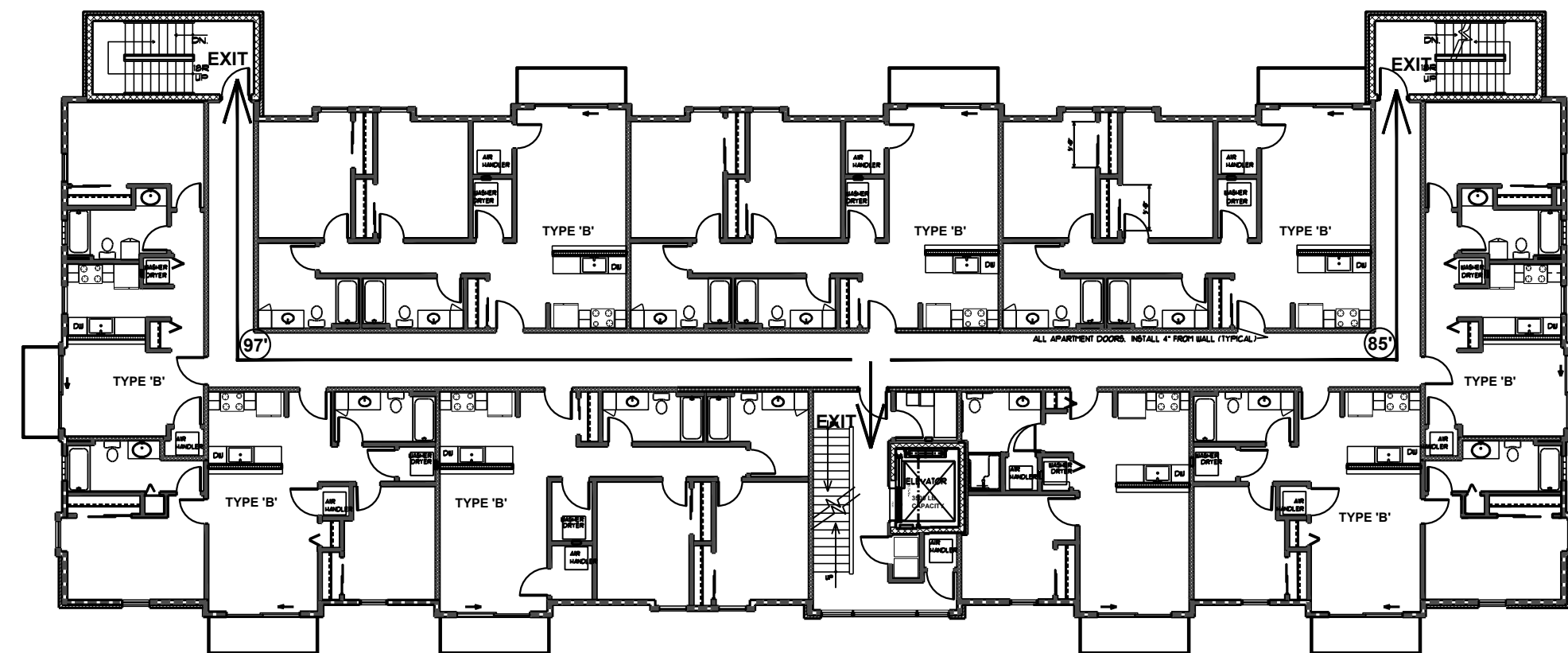
SECTION 1005 MEANS OF EGRESS SIZING
 SECTION 1005.3.1 STAIRWAYS
 TOTAL OCCUPANT LOAD 184 = 1/2 FOR STAIR 'A' & 1/2 FOR STAIR 'B'
 STAIR 'A' 92 OCC X 2.3 = 21.6" WIDE STAIR REQUIRED.
 STAIR 'B' 92 OCC X 2.3 = 21.6" WIDE STAIR REQUIRED.
 48" WIDE STAIR PROVIDED

SECTION 1006 NUMBER OF EXITS AND EXIT ACCESS DOORWAYS
 1006.2.1 EGRESSES BASED ON OCCUPANT LOAD AND COMMON PATH OF EGRESSES TRAVEL DISTANCE FROM APARTMENT FLOORS
 2 MEANS OF EGRESSES REQUIRED
 3 MEANS OF EGRESSES PROVIDED
 1006.3 EGRESSES FROM STORIES OR OCCUPIED ROOFS
 2 MEANS OF EGRESSES REQUIRED
 2 MEANS OF EGRESSES PROVIDED



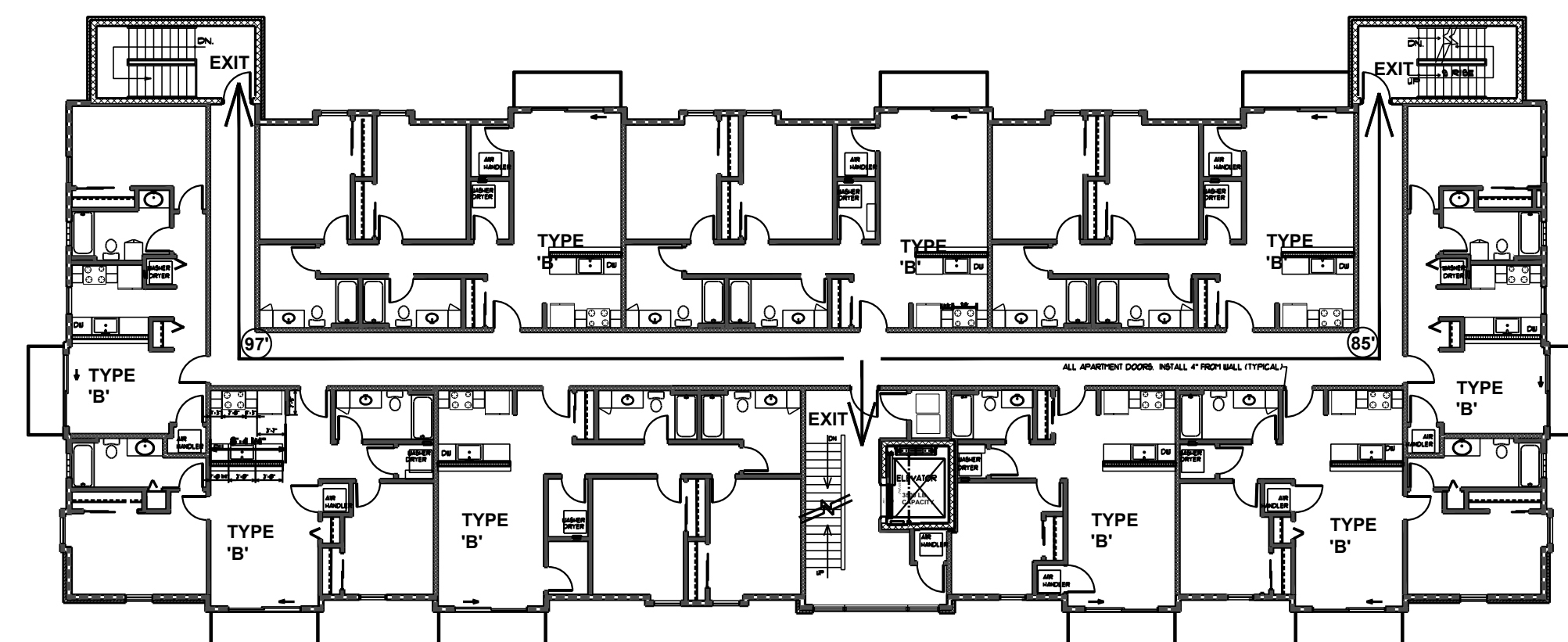
ROOF (TERRACE) PLAN

NOT TO SCALE



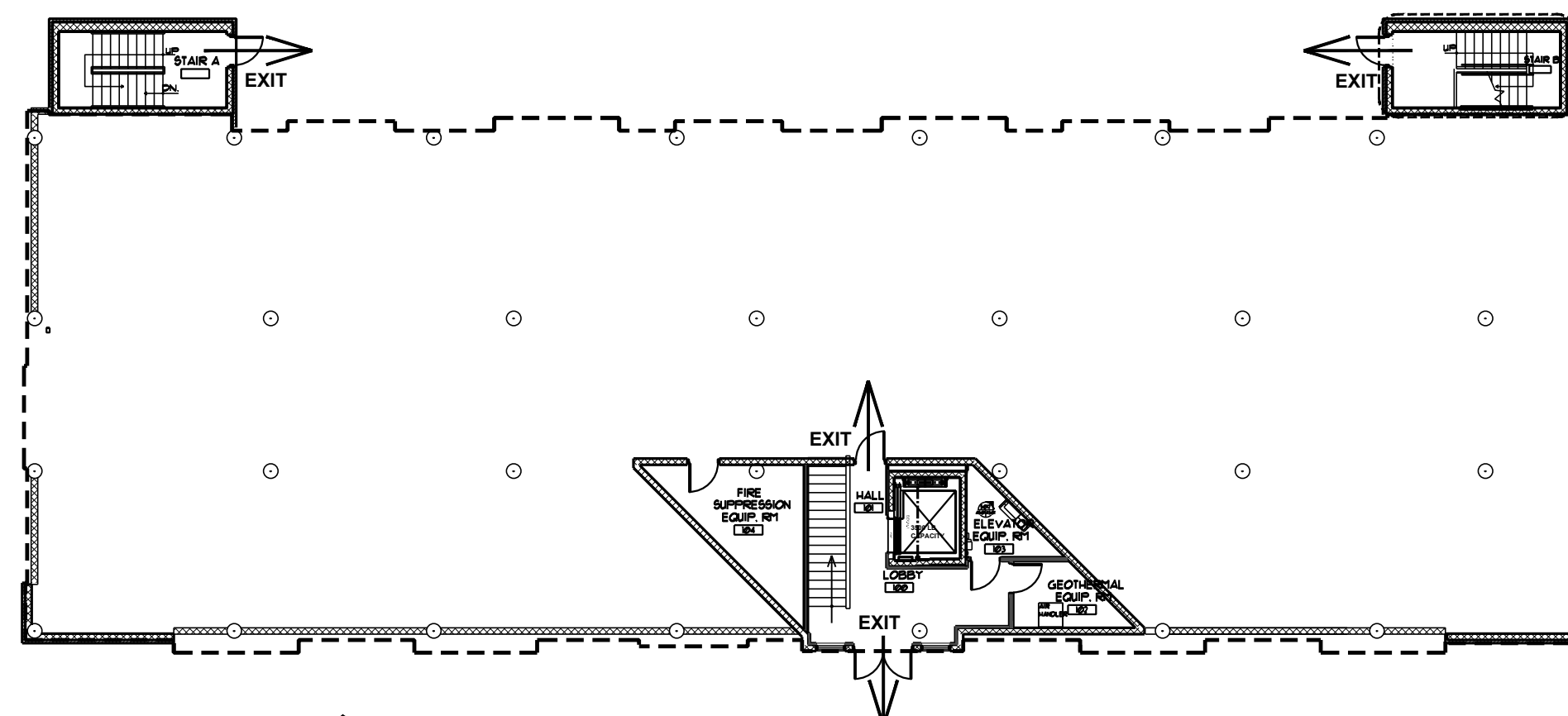
SECOND FLOOR PLAN

NOT TO SCALE



FOURTH FLOOR PLAN

NOT TO SCALE



FIRST (GROUND) FLOOR PLAN

NOT TO SCALE

MERRILL PLACE - APARTMENTS
 PHASE 1
 1312 SEWARD
 DETROIT, MICHIGAN

ISSUED FOR:
 6 SEPT 19 CHECK SET
 10 NOV 19 BID SET
 15 APRIL 2020 RE-BID SET

SHEET# G1.03
 DATE: 15 APRIL 2020
 JOB# 13054

INTERIOR FINISH MATERIAL SPECIFICATIONS:

FLOORING

CPT-1 CARPET
24"x24" TILES
HALLWAYS
MFR: SHAW CONTRACT
REP: PATRICK IMESCH 313-300-0219
STYLE: 5T291 STRUCTURE STRATAWORX
COLOR: 94761 SHINY PEBBLE
INSTALL: ASHLAR

CPT-2 CARPET
BEDROOMS
MFR: SHAW CONTRACT
REP: PATRICK IMESCH 313-300-0219
STYLE: 60114 HOMESTEAD CLASSICBAC
COLOR: 02520 SILVER CLOUD

CPT-3 CARPET
LOBBY STAIRS
MFR: PATCRAFT
REP: TINA KATIKOS 248-444-8894
STYLE: 10367 SHAKE ON IT
COLOR: 02180 INVESTMENT

LVT-1 VINYL PLANK
6"x48"
LOBBY
MFR: EF CONTRACT
REP: ANN WILKINSON 248-961-3159
STYLE: 0453V TERRAIN II
COLOR: 00564 SHADE
INSTALL: IN THIRDS

LVT-2 VINYL PLANK
6"x48"
APARTMENTS
MFR: PATCRAFT
REP: TINA KATIKOS 248-444-8894
STYLE: 1420V TIMBER GROVE II
COLOR: 05202 SHADY GROVE-V3
INSTALL: IN THIRDS

LVT-3 VINYL PLANK
6"x48"
APT BATHROOMS
MFR: PATCRAFT
REP: TINA KATIKOS 248-444-8894
STYLE: 1420V TIMBER GROVE II
COLOR: 00559 JUNIPER-V2
INSTALL: IN THIRDS

RT-1 RUBBER TILES
RUBBER TREADS
STAIRWAYS
MFR: ROPPE
REP: SCOTT GREINER 513-316-9800
STYLE: 114 SMOKE
COLOR: 114 SMOKE

BATHROOM ACCESSORIES

TB-1 24" TOWEL
BAR
MFR: FRANKLIN BRASS
MODEL: D2424W
REP: HOME DEPOT
STYLE: FUTURA 24IN. TOWEL BAR
COLOR: WHITE

TFH-1 TOILET PAPER
HOLDER
MFR: FRANKLIN BRASS
MODEL: HD14003
REP: HOME DEPOT
STYLE: FUTURA TOILET PAPER HOLDER
COLOR: WHITE

TR-1 TOWEL RING
MFR: FRANKLIN BRASS
MODEL: D2446W
REP: HOME DEPOT
STYLE: FUTURA TOWEL RING
COLOR: WHITE

BTH-1 DOUBLE TOWEL
HOOK
MFR: FRANKLIN BRASS
MODEL: D2402W
REP: HOME DEPOT
STYLE: FUTURA DOUBLE TOWEL HOOK
COLOR: WHITE

T&R-1 TENSION
SHOWER ROD
MFR: GLACIER BAY
MODEL: HD14003
REP: HOME DEPOT
STYLE: CARBON STEEL TENSION SHOWER ROD
COLOR: WHITE

FVM-1 FRAMED
VANITY MIRROR
MFR: GLACIER BAY
MODEL: MS2431-WHT
REP: HOME DEPOT
STYLE: FRAMED VANITY MIRROR
COLOR: WHITE

BASE

WB-1 4" WOOD BASE
MODEL: RC TRIM
COLOR: PAINT P-4

RB-1 4" RUBBER BASE
MFR: ROPPE
REP: SCOTT GREINER 513-316-9800
STYLE: 114 SMOKE
COLOR: 114 SMOKE

TRIM

WT-1 4" WOOD TRIM
(DOORS)
(WINDOWS)
MODEL: RC TRIM
COLOR: PAINT P-4

MILLWORK

ST-1 STONE COUNTERTOP
MFR: DUVER MARBLE & STONE
REP: MEG NICHOLS (248-476-4944)
STYLE: POLISHED GRANITE
COLOR: WHITE RADIANCE

PL-1 PLASTIC LAMINATE
VERTICAL CABINETRY
MFR: WILSONART
REP: KIMBERLY PATRICO (941-711-4229)
STYLE: 8200K-16
COLOR: WHITE DRIFTWOOD

PAINT

P-1 PAINT
MAIN
MFR: SHERWIN WILLIAMS
REP: MADELINE KING 248-930-9492
MODEL: SW1020
COLOR: WINDFRESH WHITE
FINISH: EGG SHELL

P-2 PAINT
LOBBY ACCENT
MFR: SHERWIN WILLIAMS
REP: MADELINE KING 248-930-9492
MODEL: SW6314
COLOR: LUXURIOUS RED
FINISH: SATIN

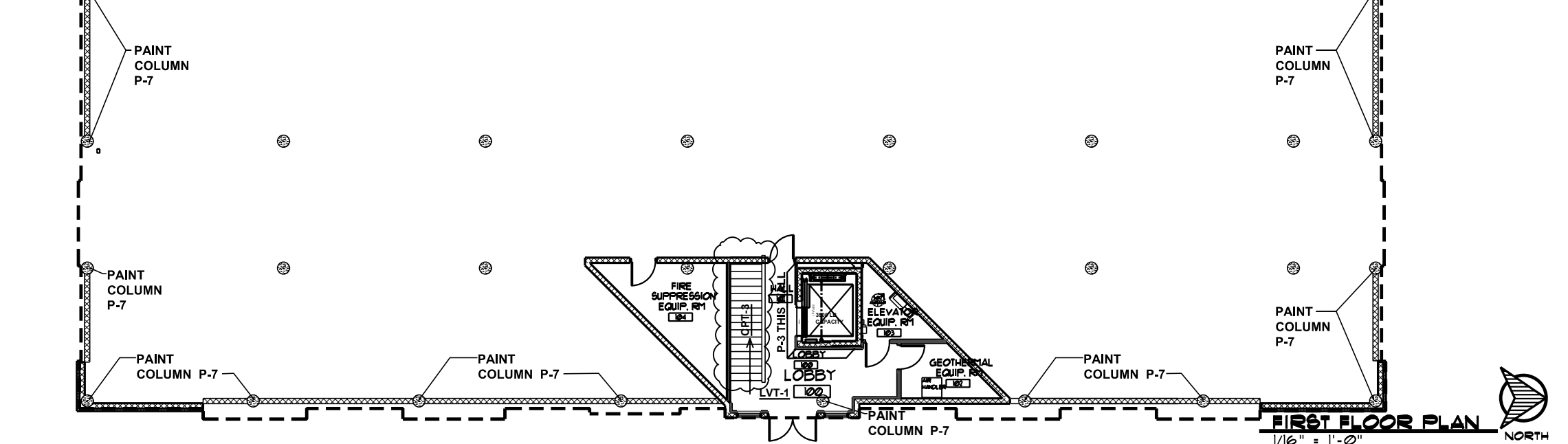
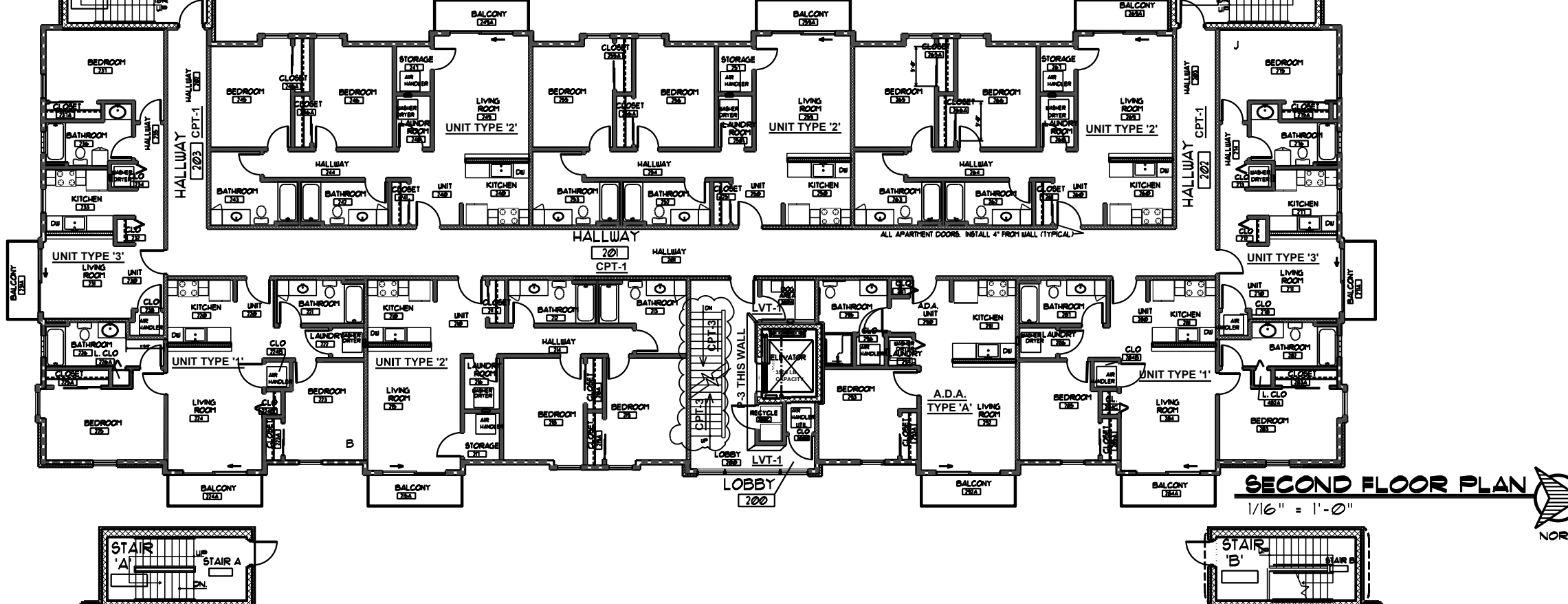
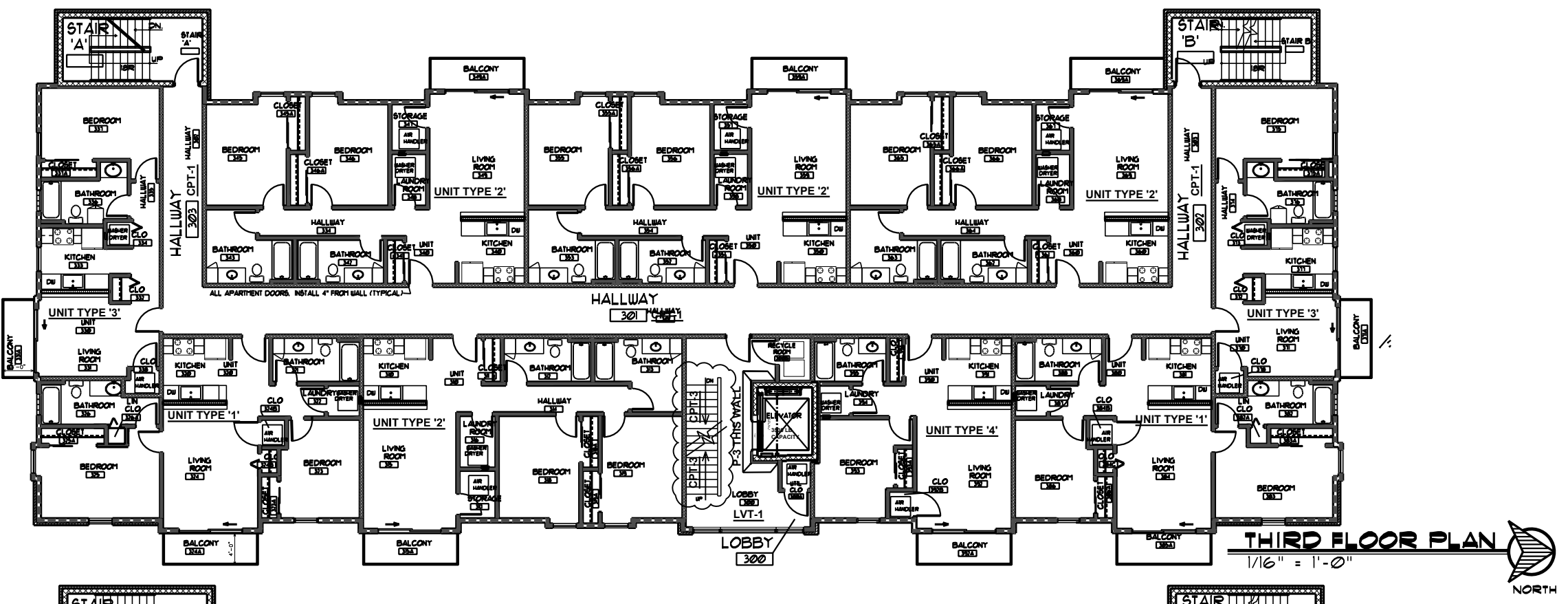
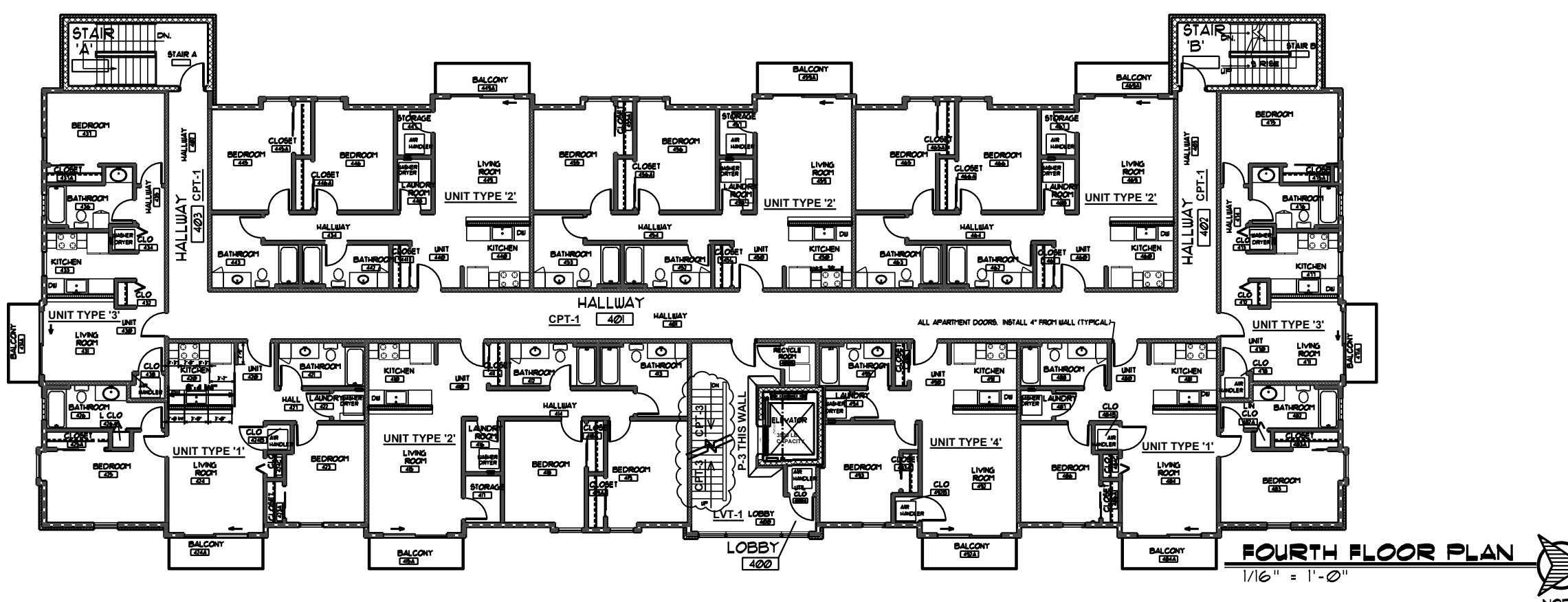
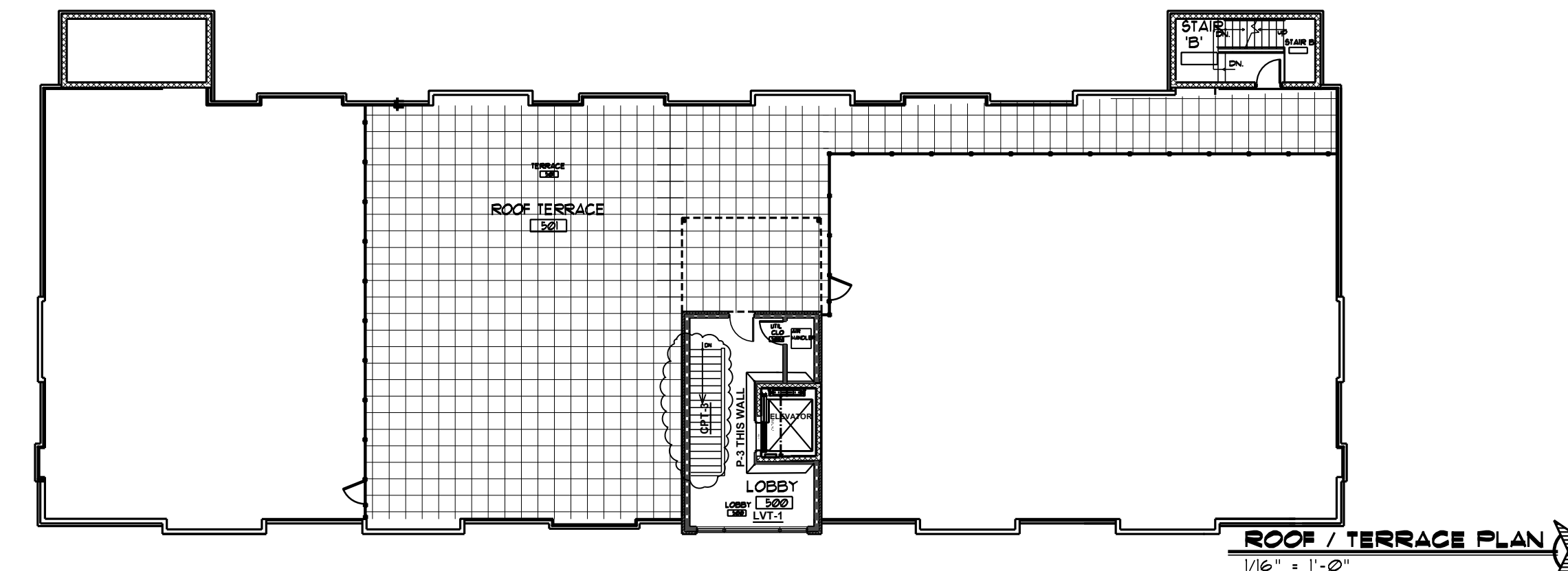
P-3 PAINT
APARTMENT ACCENT WALL
MFR: SHERWIN WILLIAMS
REP: MADELINE KING 248-930-9492
MODEL: SW1642
COLOR: PAVERSTONE
FINISH: EGG SHELL

P-4 PAINT
TRIM DOOR & WINDOWS
MFR: SHERWIN WILLIAMS
REP: MADELINE KING 248-930-9492
MODEL: SW1005
COLOR: PURE WHITE
FINISH: GLOSS

P-5 PAINT
CEILING
MFR: SHERWIN WILLIAMS
REP: MADELINE KING 248-930-9492
MODEL: SW1001
COLOR: CEILING BRIGHT WHITE
FINISH: FLAT

P-6 PAINT
DOOR TO APT
MFR: SHERWIN WILLIAMS
REP: MADELINE KING 248-930-9492
MODEL: CUSTOM COLOR
COLOR: MATCH DRK BRNZ DR FRAME
FINISH: GLOSS

NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	PLASTIC LAMINATE	COUNTERTOP	NOTES
				NORTH	EAST	SOUTH	WEST				
100	LOBBY	LVT-1	RB-1	P-1	P-1	P-1	P-1/P-2	P-5			
101	HALLWAY	LVT-1	RB-1	P-1/P-2	---	P-1	P-1	P-5			
102	GEO EQUIP. ROOM	CONCRETE	RB-1	P-1	P-1	P-1	P-1	P-5			
103	ELEVATOR EQUIP RM	CONCRETE	RB-1	P-1	P-1	P-1	P-1	P-5			
104	FIRE SUPPRES. RM	CONCRETE	RB-1	P-1	P-1	P-1	P-1	P-5			
200	LOBBY	LVT-1	RB-1	P-1/P-2	P-1	P-1	P-1/P-2	P-5			
200A	DOG ROOM	LVT-1	RB-1	P-1	P-1/P-2	P-1	P-1	P-5			
200B	UTILITY CLO	LVT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
200C	RECYCLE ROOM	LVT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
201	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
202	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
203	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
300	LOBBY	LVT-1	RB-1	P-1/P-2	P-1	P-1	P-1/P-2	P-5			
300A	UTILITY CLO	LVT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
300B	RECYCLE ROOM	LVT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
301	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
302	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
303	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
400	LOBBY	LVT-1	RB-1	P-1/P-2	P-1	P-1	P-1/P-2	P-5			
400A	UTILITY CLO	LVT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
400B	RECYCLE ROOM	LVT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
401	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
402	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
403	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
500	LOBBY	LVT-1	RB-1	P-1/P-2	P-1	P-1	P-1/P-2	P-5			
500A	UTILITY CLO	LVT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
501	TERRACE	STONE PAVERS									
	STAIR A - ALL FLOORS	RT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
	STAIR B - ALL FLOORS	RT-1	RB-1	P-1	P-1	P-1	P-1	P-5			



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**ARCHITECTS
PLANNERS
INTERIOR DESIGN**

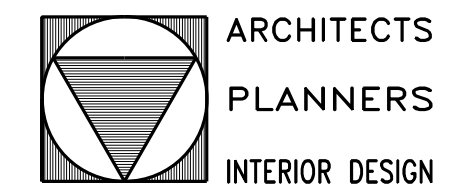
SCOTT MONCHNIK & ASSOCIATES, INC.
1700 STUTZ DRIVE
SUITE 104-B
TROY, MICHIGAN 48064

TEL: 248-654-1010
FAX: 248-654-3002
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**MERRILL PLACE - APARTMENTS
PHASE I
1312 SEWARD
DETROIT, MICHIGAN**

ISSUED FOR:
6 SEPT 19
CHECK SET
10 NOV 19
BID SET
15 APRIL 2020
RE-BID SET

SHEET# A1.08
DATE: 15 APRIL 2020
JOB# 13054



SCOTT MONCHNIK & ASSOCIATES, INC.
1700 STUTZ DRIVE
SUITE 104-B
TROY, MICHIGAN 48064
TEL: 248-654-1010
FAX: 248-654-3002
SCOTT@SMAARCH.COM

INTERIOR FINISH MATERIAL SPECIFICATIONS:

FLOORING			BASE			PAINT		
CPT-1	CARPET 24"x24" TILES HALLWAYS	MFGR: SHAW CONTRACT REP: PATRICK IMESCH 313-300-0219 STYLE: 5T291 STRUCTURE STRATAWORX COLOR: 94761 SHINY FEBBLE INSTALL: ASHLAR	WB-1	4" WOOD BASE MODEL: RC TRIM COLOR: PAINT P-4	P-1	PAINT MAN	MFGR: SHERWIN WILLIAMS REP: MADELINE KING 248-930-9492 MODEL: SW1628 COLOR: WINDFRESH WHITE FINISH: EGG SHELL	
CPT-2	CARPET BEDROOMS	MFGR: SHAW CONTRACT REP: PATRICK IMESCH 313-300-0219 STYLE: 60114 HOMESTEAD CLASSICBAC COLOR: 00520 SILVER CLOUD	RB-1	4" RUBBER BASE MFGR: ROPPE REP: SCOTT GREINER 513-316-9800 STYLE: COLOR: 174 SMOKE	P-2	PAINT LOBBY ACCENT	MFGR: SHERWIN WILLIAMS REP: MADELINE KING 248-930-9492 MODEL: SW6314 COLOR: LUXURIOUS RED FINISH: SATIN	
CPT-3	CARPET LOBBY STAIRS	MFGR: FATCRAFT REP: TINA KATIKOS 248-444-8894 STYLE: 10361 SHAKE ON IT COLOR: 00180 INVESTMENT	TRIM			P-3	PAINT APARTMENT ACCENT WALL	MFGR: SHERWIN WILLIAMS REP: MADELINE KING 248-930-9492 MODEL: SW1642 COLOR: FAVERSTONE FINISH: EGG SHELL
LVT-1	VINYL PLANK 6"x48" LOBBY	MFGR: EF CONTRACT REP: ANN WILKINSON 248-961-3159 STYLE: 0453V TERRAIN II COLOR: 00564 SHADE INSTALL: IN THIRDS	MILLWORK			P-4	PAINT TRIM DOOR & WINDOWS	MFGR: SHERWIN WILLIAMS REP: MADELINE KING 248-930-9492 MODEL: SW1005 COLOR: PURE WHITE FINISH: GLOSS
LVT-2	VINYL PLANK 6"x48" APARTMENTS	MFGR: FATCRAFT REP: TINA KATIKOS 248-444-8894 STYLE: 1420V TIMBER GROVE II COLOR: 00502 SHADY GROVE-V3 INSTALL: IN THIRDS	ST-1	STONE COUNTERTOP MFGR: DWYER MARBLE & STONE REP: MEG NICHOLS (748-416-4944) STYLE: POLISHED GRANITE COLOR: WHITE RADIANCE	P-5	PAINT CEILING	MFGR: SHERWIN WILLIAMS REP: MADELINE KING 248-930-9492 MODEL: SW1001 COLOR: CEILING BRIGHT WHITE FINISH: FLAT	
LVT-3	VINYL PLANK 6"x48" APT BATHROOMS	MFGR: FATCRAFT REP: TINA KATIKOS 248-444-8894 STYLE: 1420V TIMBER GROVE II COLOR: 00559 JUNIPER -V2 INSTALL: IN THIRDS	PL-1	PLASTIC LAMINATE VERTICAL CABINETRY	MFGR: WILSONART REP: KIMBERLY PATRICO (941-111-4219) STYLE: 820K-16 COLOR: WHITE DRIFTWOOD	P-6	PAINT DOOR TO APT	MFGR: SHERWIN WILLIAMS REP: MADELINE KING 248-930-9492 MODEL: CUSTOM COLOR COLOR: MATCH DRK BRNZ DR FRAME FINISH: GLOSS
RT-1	RUBBER TILES RUBBER TREADS STAIRWAYS	MFGR: ROPPE REP: SCOTT GREINER 513-316-9800 STYLE: COLOR: 174 SMOKE						

BATHROOM ACCESSORIES

TB-1	24" TOWEL BAR	MFGR: FRANKLIN BRASS MODEL: D2424WJ REP: HOME DEPOT STYLE: FUTURA 24IN. TOWEL BAR COLOR: WHITE
TPH-1	TOILET PAPER HOLDER	MFGR: FRANKLIN BRASS MODEL: HD14003 REP: HOME DEPOT STYLE: FUTURA TOILET PAPER HOLDER COLOR: WHITE
TR-1	TOWEL RING	MFGR: FRANKLIN BRASS MODEL: D2416WJ REP: HOME DEPOT STYLE: FUTURA TOWEL RING COLOR: WHITE
BTH-1	DOUBLE TOWEL HOOK	MFGR: FRANKLIN BRASS MODEL: D2402WJ REP: HOME DEPOT STYLE: FUTURA DOUBLE TOWEL HOOK COLOR: WHITE
TSR-1	TENSION SHOWER ROD	MFGR: GLACIER BAY MODEL: HD14003 REP: HOME DEPOT STYLE: CARBON STEEL TENSION SHOWER ROD COLOR: WHITE
FVM-1	FRAMED VANITY MIRROR	MFGR: GLACIER BAY MODEL: MS2431-WHT REP: HOME DEPOT STYLE: FRAMED VANITY MIRROR COLOR: WHITE

ROOM FINISH SCHEDULE UNIT TYPE '2'

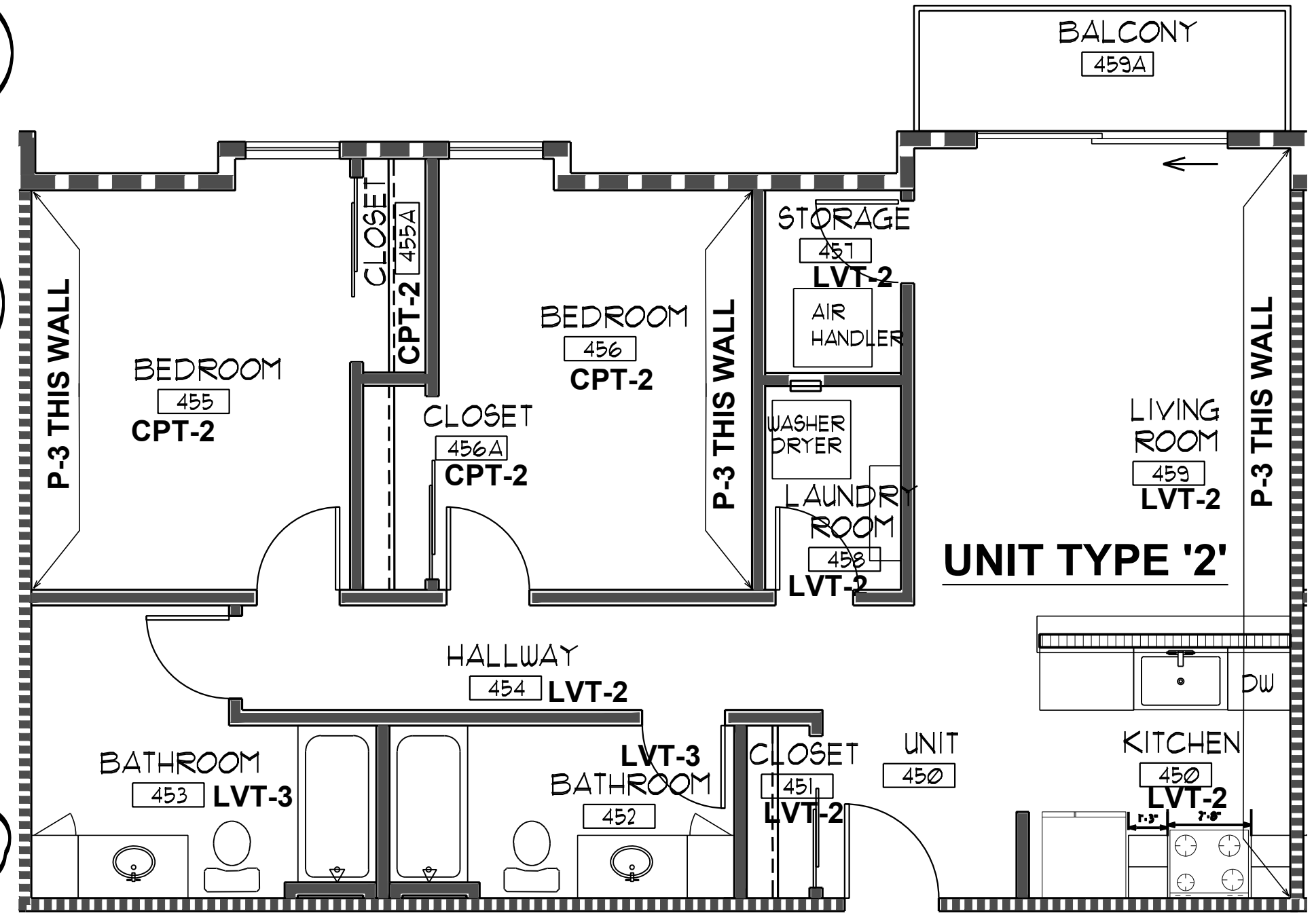
REF. NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	PLASTIC LAMINATE	COUNTER TOP	NOTES
				NORTH	EAST	SOUTH	WEST				
450	KITCHEN	LVT-2	WB-1	P-3	P-1	P-1	P-1	P-5	PL-1	ST-1	1
451	CLOSET	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
452	BATHROOM	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	
453	BATHROOM	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	
454	HALLWAY	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
455	BEDROOM	CPT-2	WB-1	P-1	P-1	P-3	P-1	P-5			
455A	CLOSET	CPT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
456	BEDROOM	CPT-2	WB-1	P-3	P-1	P-1	P-1	P-5			
456A	CLOSET	CPT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
457	STORAGE	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
458	LAUNDRY	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
459	LIVING ROOM	LVT-2	WB-1	P-3	P-1	P-1	P-1	P-5			
459A	BALCONY	WOLM WD									

ROOM FINISH SCHEDULE UNIT TYPE '1'

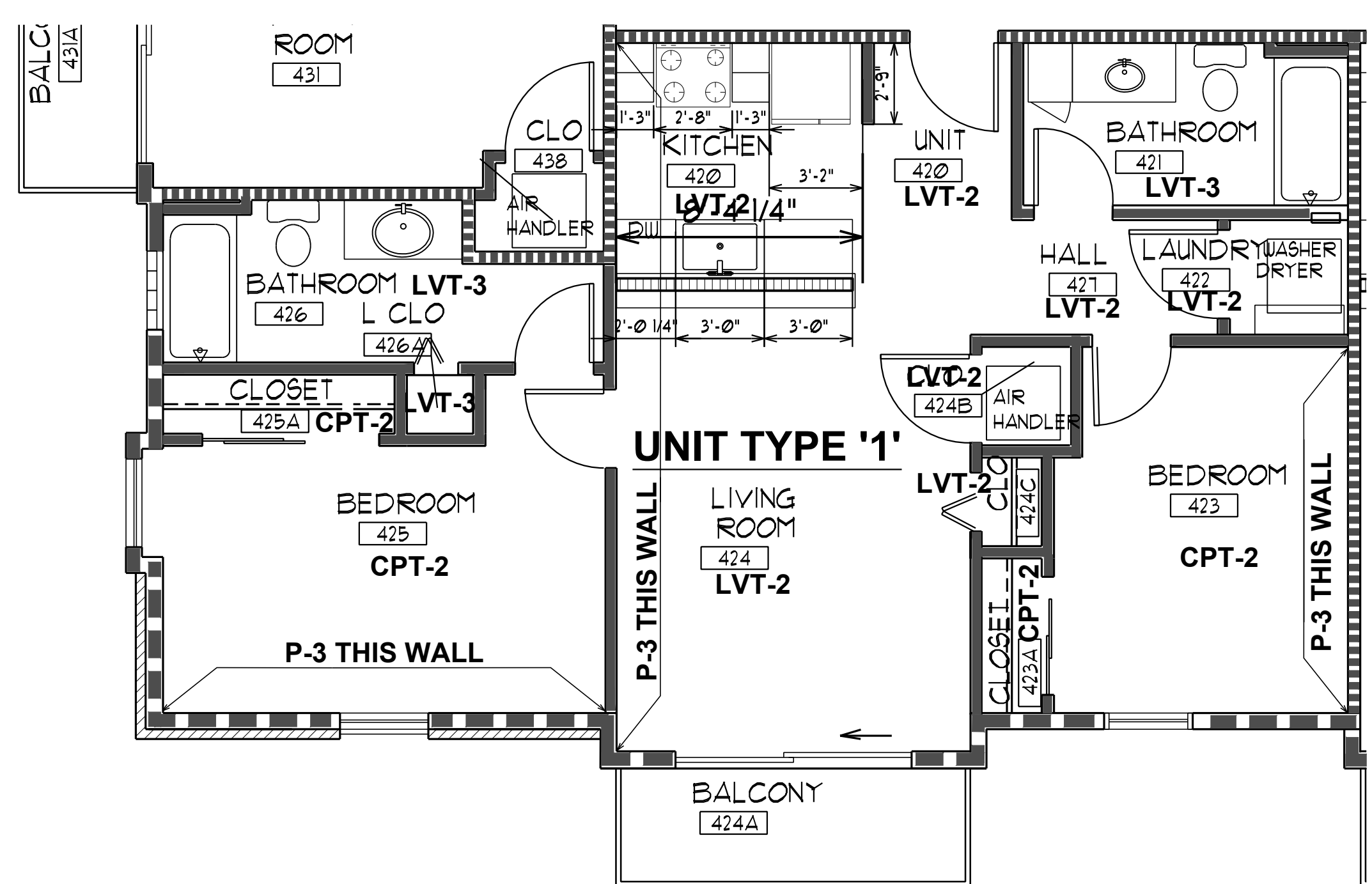
REF. NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	PLASTIC LAMINATE	COUNTER TOP	NOTES
				NORTH	EAST	SOUTH	WEST				
420	KITCHEN	LVT-2	WB-1	P-1	P-1	P-3	P-1	P-5	PL-1	ST-1	1
421	BATHROOM	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	
422	LAUNDRY	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
423	BEDROOM	CPT-2	WB-1	P-3	P-1	P-1	P-1	P-5			
423A	CLOSET	CPT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
424	LIVING ROOM	LVT-2	WB-1	P-1	P-1	P-3	P-1	P-5			
424A	BALCONY	WOLM WD									
424B	CLOSET	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
424C	CLOSET	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
425	BEDROOM	CPT-2	WB-1	P-1	P-3	P-1	P-1	P-5			
425A	CLOSET	CPT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
426	BATHROOM	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	
426A	LIN CLOSET	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-5			
427	HALL	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			

APPLIANCES LEGEND

Item	Model	QTY
GE® 25.3 Cu. Ft. Side-By-Side Refrigerator, Fresh food multilevel drawers, Arctica Icemaker, Advanced Water Filtrations, LED Lighting.	Model# GSS25GGHSS	26
GE® ENERGY STAR® 27.8 Cu. Ft. French-Door Refrigerator, ADA Compliant, Energy Star, Turbo cool and Turbo Freeze, Space-saving Icemaker	Model# GNE27ESMSS	1
GE® 30" Free-Standing Electric Range, Sensi-Temp Technology, Removable Full-Width Drawer, Front Controls, 5.0 Cu Ft. Oven Capacity, Dual-Element Bake	Model# JBS36ORMSS	27
GE® 1.9 Cu. Ft. Over-the-Range Sensor Microwave Oven with Recirculating Venting, Weight and Time Defrost, Upfront charcoal filter, Four-speed, 400-CFM venting fan system, Easy clean Enamel interior with Steam Clean	Model# JNM7196SKSS	26
GE® 1.6 Cu. Ft. Countertop Microwave Oven, ADA Compliant	Model# JES1657SMSS	1
GE® Non-Vented Standard Range Hood, Variable 2 Speed Fan Control, Cooktop Light, Removable Grease Filter.	Model# JN328KSA	1
GE® 4.5 DOE cu. ft. Capacity Front Load ENERGY STAR® Washer with Steam, ADA Compliant, Tumble Care, Energy Star, Stackable (With Kit).	Model# GFW4505SMWW	27
GE® 7.5 Cu. Ft. Capacity, Front Load, Electric Dryer, Steam Refresh, Energy Star, HE Sensor Dry, Stainless Steel Drum, ADA Compliant, Quick Dry.	Model# GFD45ESSMWW	27
GE® Built-In Dishwasher, Estar, Autosense Cycle, Sanitize Option, Piranha Disposer.	Model# GDT2255SLSS	27
GE Washer/Dryer Stack Bracket Kit	Model# GEFSTACK	27
GE range cord, 4 wire, 4ft, 40 amp	Model# WX9K35	27
GE Dishwasher Power Cord 5' 4"	Model# GPFPCORD	27
GE Side Mounting Dishwasher Bracket for Non-Wood Countertop	Model# GPF65	27
GE® 1/2 HP CONTINUOUS FEED GARBAGE DISPOSER - CORDED	Model# GFC525N	27



UNIT TYPE '2' UNITS: 210, 240, 250, 260, 310, 340, 350, 360, 410, 440, 450, 460
1/4" = 1'-0"



UNIT TYPE '1' UNITS: 220, 280, 320, 380, 420, 480
1/4" = 1'-0"

MERRILL PLACE - APARTMENTS
PHASE 1
1312 SEWARD
DETROIT, MICHIGAN

ISSUED FOR:
6 SEPT 19
CHECK SET
10 NOV 19
BID SET
15 APRIL 2020
RE-BID SET

SHEET# A1.09
DATE: 15 APRIL 2020
JOB# 13054

APPLIANCES LEGEND

Item	Model	QTY
GE® 25.3 Cu. Ft. Side-By-Side Refrigerator, Fresh food multilevel drawers, Arctica Icemaker, Advanced Water Filtrations, LED Lighting.	Model# G5S25GGHSS	26
GE® ENERGY STAR® 27.8 Cu. Ft. French-Door Refrigerator, ADA Compliant, Energy Star, Turbo cool and Turbo Freeze, Space-saving Icemaker	Model# GNE27ESMSS	1
GE® 30" Free-Standing Electric Range, Sensi-Temp Technology, Removable Full-Width Drawer, Front Controls, 5.0 Cu Ft. Oven Capacity, Dual-Element Bake	Model# JBS36ORMSS	27
GE® 1.9 Cu. Ft. Over-the-Range Sensor Microwave Oven with Recirculating Venting, Weight and Time Defrost, Upfront charcoal filter, Four-speed, 400-CFM venting fan system, Easy clean Enamel Interior with Steam Clean	Model# JNM7196SKSS	26
GE® 1.6 Cu. Ft. Countertop Microwave Oven, ADA Compliant	Model# JES1657SMSS	1
GE® Non-Vented Standard Range Hood, Variable 2 Speed Fan Control, Cooktop Light, Removable Grease Filter.	Model# JN328KSA	1
GE® 4.5 DOE cu. ft. Capacity Front Load ENERGY STAR® Washer with Steam, ADA Compliant, Tumble Care, Energy Star, Stackable (With Kit).	Model# GFW4505SMWW	27
GE 7.5 Cu. Ft. Capacity, Front Load, Electric Dryer, Steam Refresh, Energy Star, HE Sensor Dry, Stainless Steel Drum, ADA Compliant, Quick Dry.	Model# GFD45E5SMWW	27
GE® Built-In Dishwasher, Estar, Autoseal Cycle, Sanitize Option, Piranha Disposer.	Model# GDT2255SLSS	27
GE Washer/Dryer Stack Bracket Kit	Model# GEFLSTACK	27
GE range cord, 4 wire, 4ft, 40 amp	Model# WX9X35	27
GE Dishwasher Power Cord 5' 4"	Model# GPFPCORD	27
GE Side Mounting Dishwasher Bracket for Non-Wood Countertop	Model# GPF65	27
GE® 1/2 HP CONTINUOUS FEED GARBAGE DISPOSER - CORDED	Model# GFC525N	27

INTERIOR FINISH MATERIAL SPECIFICATIONS:

FLOORING		BASE		PAINT	
CPT-1	CARPET 24"x24" TILES HALLWAYS	MFGR: SHAW CONTRACT REP: PATRICK IMESCH 313-300-0219 STYLE: 5T291 STRUCTURE STRATAWORX COLOR: 94761 SHINY PEBBLE INSTALL: ASHLAR	WB-1	4" WOOD BASE	MODEL: RC TRIM COLOR: PAINT P-4
CPT-2	CARPET BEDROOMS	MFGR: SHAW CONTRACT REP: PATRICK IMESCH 313-300-0219 STYLE: 6014 HOMESTEAD CLASSICBAC COLOR: 00510 SILVER CLOUD	RB-1	4" RUBBER BASE	MFGR: ROPPE REP: SCOTT GREINER 513-316-9800 STYLE: ---- COLOR: 114 SMOKE
CPT-3	CARPET LOBBY STAIRS	MFGR: PATCRAFT REP: TINA KATIKOS 248-444-8894 STYLE: 10367 SHAKE ON IT COLOR: 00180 INVESTMENT	TRIM		
LVT-1	VINYL FLANK 6"x48" LOBBY	MFGR: EF CONTRACT REP: ANN WILKINSON 248-961-3159 STYLE: 0453V TERRAIN II COLOR: 00564 SHADE INSTALL: IN THIRDS	WT-1	4" WOOD TRIM (DOORS) (WINDOWS)	MODEL: RC TRIM COLOR: PAINT P-4
LVT-2	VINYL FLANK 6"x48" APARTMENTS	MFGR: PATCRAFT REP: TINA KATIKOS 248-444-8894 STYLE: 1420V TIMBER GROVE II COLOR: 05902 SHADY GROVE-V3 INSTALL: IN THIRDS	MILLWORK		
LVT-3	VINYL FLANK 6"x48" APT BATHROOMS	MFGR: PATCRAFT REP: TINA KATIKOS 248-444-8894 STYLE: 1420V TIMBER GROVE II COLOR: 00599 JUNIPER -V2 INSTALL: IN THIRDS	ST-1	STONE COUNTERTOP	MFGR: DUZER MARBLE & STONE REP: MEG NICHOLS (248-416-4944) STYLE: POLISHED GRANITE COLOR: WHITE RADIANCE
RT-1	RUBBER TILES RUBBER TREADS STAIRWAYS	MFGR: ROPPE REP: SCOTT GREINER 513-316-9800 STYLE: ---- COLOR: 114 SMOKE	PL-1	PLASTIC LAMINATE VERTICAL CABINETRY	MFGR: WILSONART REP: KIMBERLY PATRICO (941-711-4229) STYLE: 8200K-16 COLOR: WHITE DRIFTWOOD

BATHROOM ACCESSORIES

TB-1	24" TOWEL BAR	MFGR: FRANKLIN BRASS MODEL: D2424W REP: HOME DEPOT STYLE: FUTURA 24IN. TOWEL BAR COLOR: WHITE
TPH-1	TOILET PAPER HOLDER	MFGR: FRANKLIN BRASS MODEL: H02093 REP: HOME DEPOT STYLE: FUTURA TOILET PAPER HOLDER COLOR: WHITE
TR-1	TOWEL RING	MFGR: FRANKLIN BRASS MODEL: D2416W REP: HOME DEPOT STYLE: FUTURA TOWEL RING COLOR: WHITE
BTH-1	DOUBLE TOWEL HOOK	MFGR: FRANKLIN BRASS MODEL: D2402W REP: HOME DEPOT STYLE: FUTURA DOUBLE TOWEL HOOK COLOR: WHITE
TSR-1	TENSION SHOWER ROD	MFGR: GLACIER BAY MODEL: H044093 REP: HOME DEPOT STYLE: CARBON STEEL TENSION SHOWER ROD COLOR: WHITE
FVM-1	FRAMED VANITY MIRROR	MFGR: GLACIER BAY MODEL: M52431WHT REP: HOME DEPOT STYLE: FRAMED VANITY MIRROR COLOR: WHITE

ROOM FINISH SCHEDULE A.D.A. UNIT

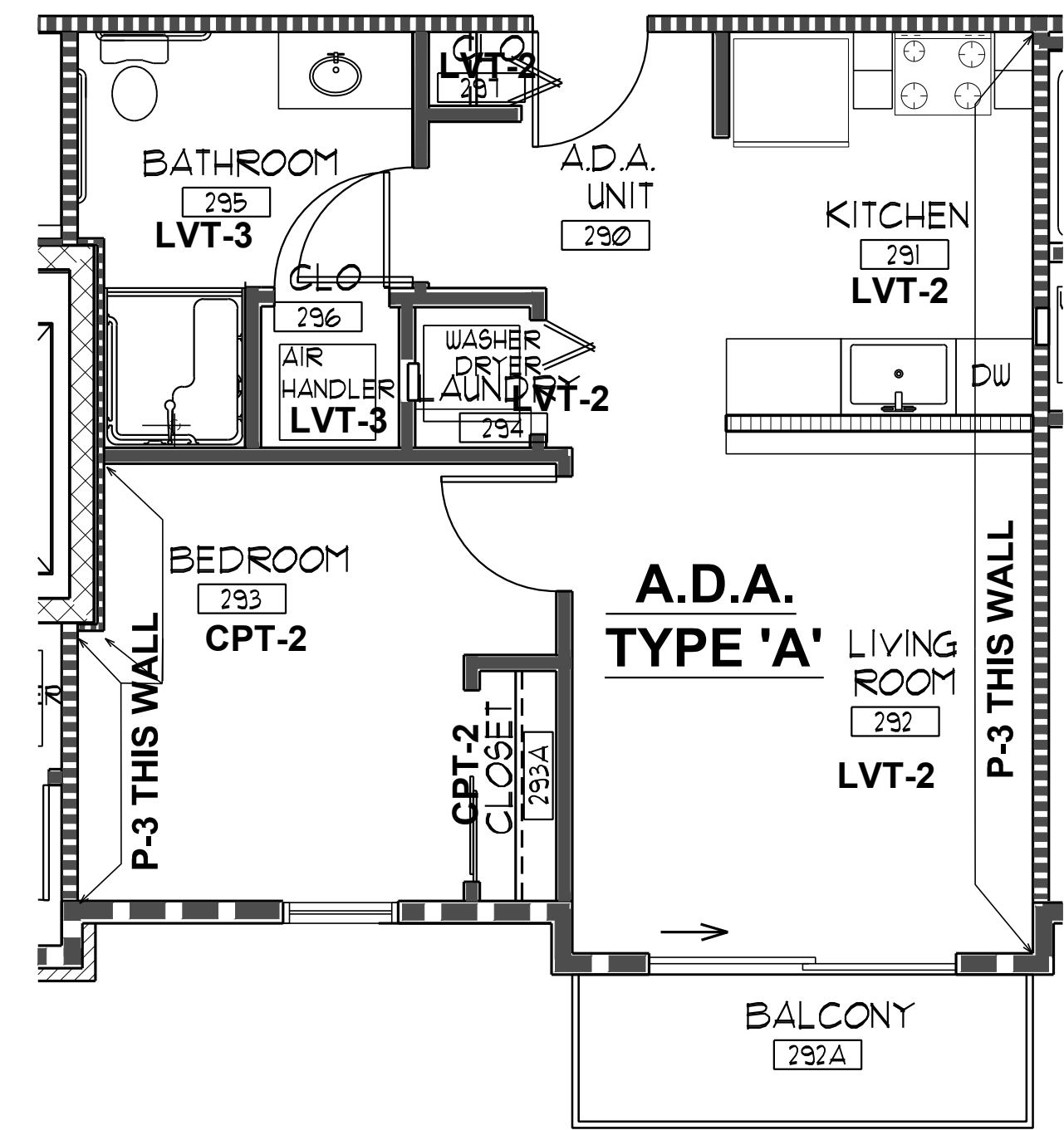
REF. NO.	ROOM NAME	FLOOR	BASE	NORTH	EAST	WALLS	SOUTH	WEST	CEILING	PLASTIC LAMINATE	COUNTER TOP	NOTES
491	KITCHEN	LVT-2	WB-1	P-3	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	1
492	LIVING ROOM	LVT-2	WB-1	P-3	P-1	P-1	P-1	P-1	P-5			
492A	BALCONY	WOLM WD										
493	BEDROOM	CPT-2	WB-1	P-1	P-1	P-3	P-1	P-1	P-5			
493A	CLOSET	CPT-2	WB-1	P-1	P-1	P-1	P-1	P-1	P-5			
494	LAUNDRY	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-1	P-5			
495	BATHROOM	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	
496	HVAC CLOSET	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-1	P-5			
497	CLOSET	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-1	P-5			

ROOM FINISH SCHEDULE UNIT TYPE '4'

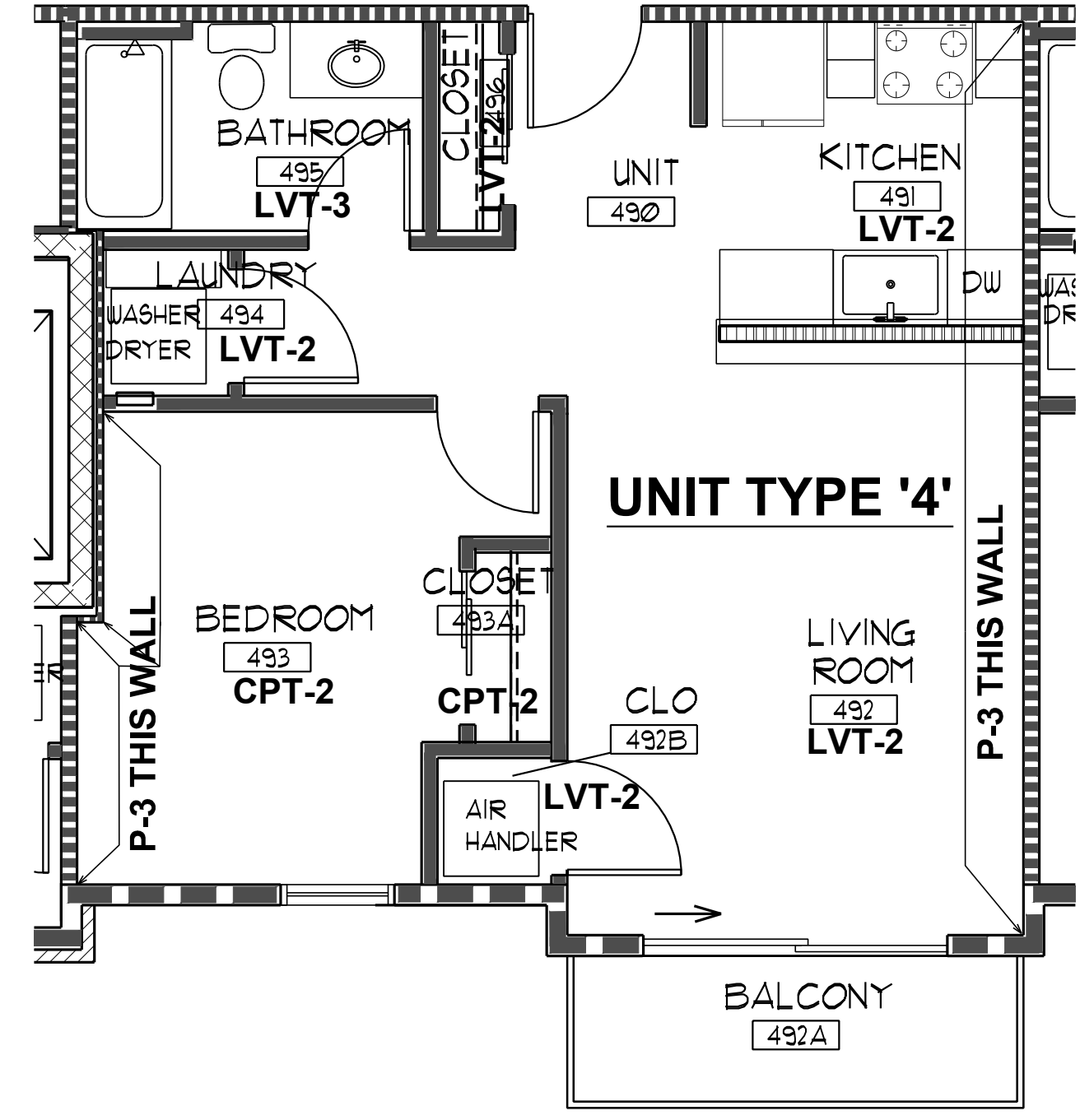
REF. NO.	ROOM NAME	FLOOR	BASE	NORTH	EAST	WALLS	SOUTH	WEST	CEILING	PLASTIC LAMINATE	COUNTER TOP	NOTES
491	KITCHEN	LVT-2	WB-1	P-3	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	1
492	LIVING ROOM	LVT-2	WB-1	P-3	P-1	P-1	P-1	P-1	P-5			
492A	BALCONY	WOLM WD										
492B	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	P-5			
493	BEDROOM	CPT-2	WB-1	P-1	P-1	P-3	P-1	P-1	P-5			
493A	CLOSET	CPT-2	WB-1	P-1	P-1	P-1	P-1	P-1	P-5			
494	LAUNDRY	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-1	P-5			
495	BATHROOM	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	

ROOM FINISH SCHEDULE UNIT TYPE '3'

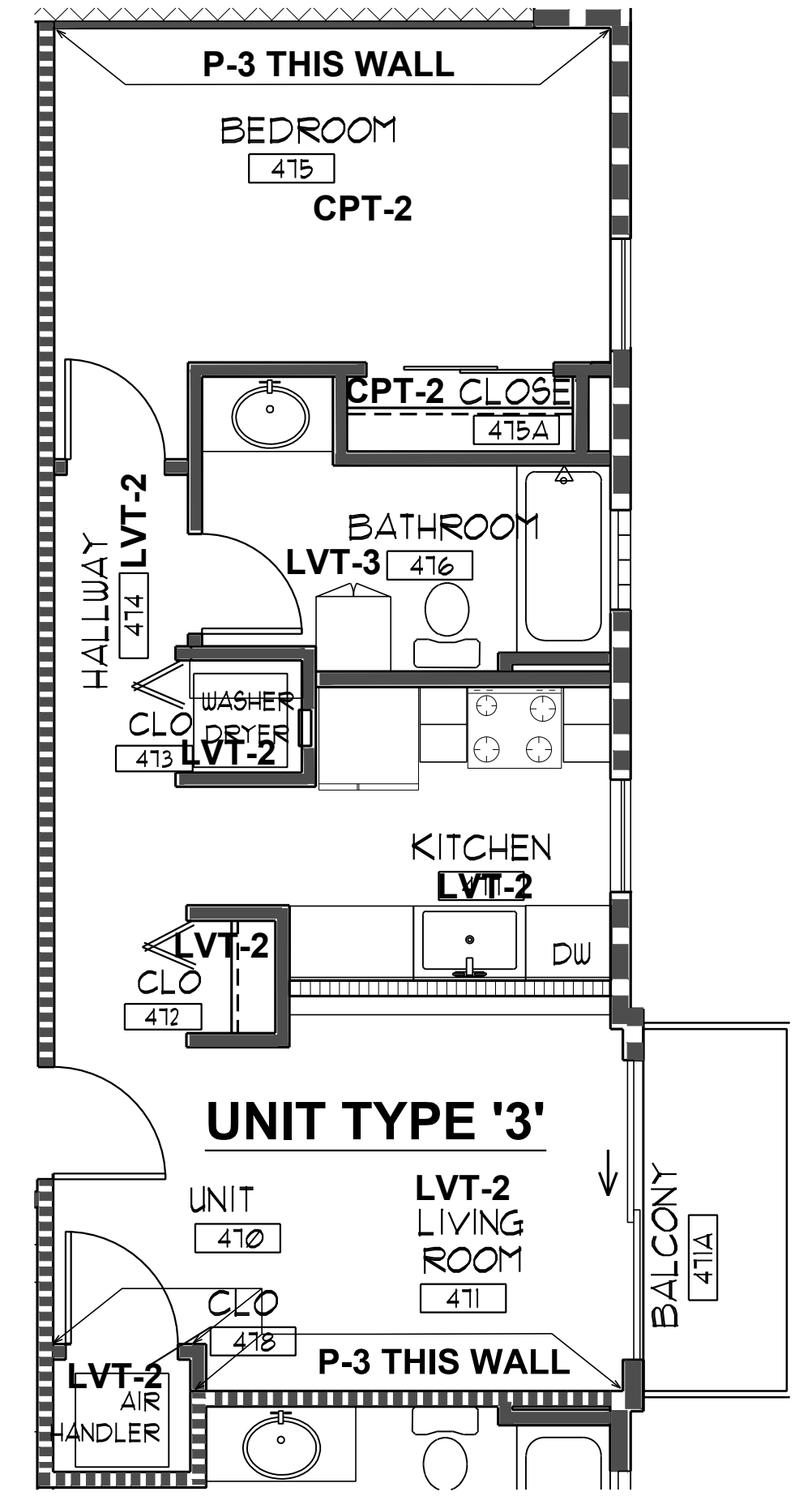
REF. NO.	ROOM NAME	FLOOR	BASE	NORTH	EAST	WALLS	SOUTH	WEST	CEILING	PLASTIC LAMINATE	COUNTER TOP	NOTES
471	LIVING ROOM	LVT-2	WB-1	P-1	P-3	P-1	P-1	P-1	P-5			1
471A	BALCONY	WOLM WD										
472	CLOSET	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-1	P-5			
473	LAUNDRY	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-1	P-5			
474	HALLWAY	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-1	P-5			
475	BEDROOM	CPT-2	WB-1	P-1	P-1	P-1	P-3	P-1	P-5			
475A	CLOSET	CPT-2	WB-1	P-1	P-1	P-1	P-1	P-1	P-5			
476	BATHROOM	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	
477	KITCHEN	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	
478	CLOSET	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-1	P-5			



UNIT TYPE 'A.D.A.' UNIT 290
1/4" = 1'-0"

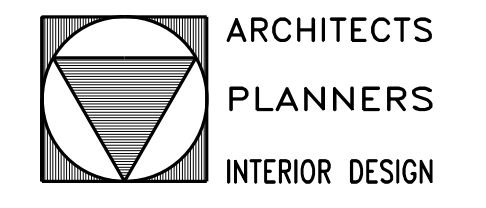


UNIT TYPE '4' UNITS: 390, 490
1/4" = 1'-0"



UNIT TYPE '3' UNITS: 230, 270, 330, 370, 430, 470
1/4" = 1'-0"

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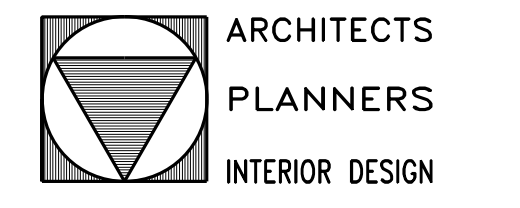
SCOTT MONCHNIK & ASSOCIATES, INC.
1700 STUTZ DRIVE
SUITE 104-B
TROY, MICHIGAN 48064
TEL: 248-654-1010
FAX: 248-654-3002
SCOTT@SMAARCH.COM

MERRILL PLACE - APARTMENTS
PHASE 1
1312 SEWARD
DETROIT, MICHIGAN

ISSUED FOR:
6 SEPT 19
CHECK SET
10 NOV 19
BID SET
15 APRIL 2020
RE-BID SET

SHEET# A1.10
DATE: 15 APRIL 2020
JOB# 13054

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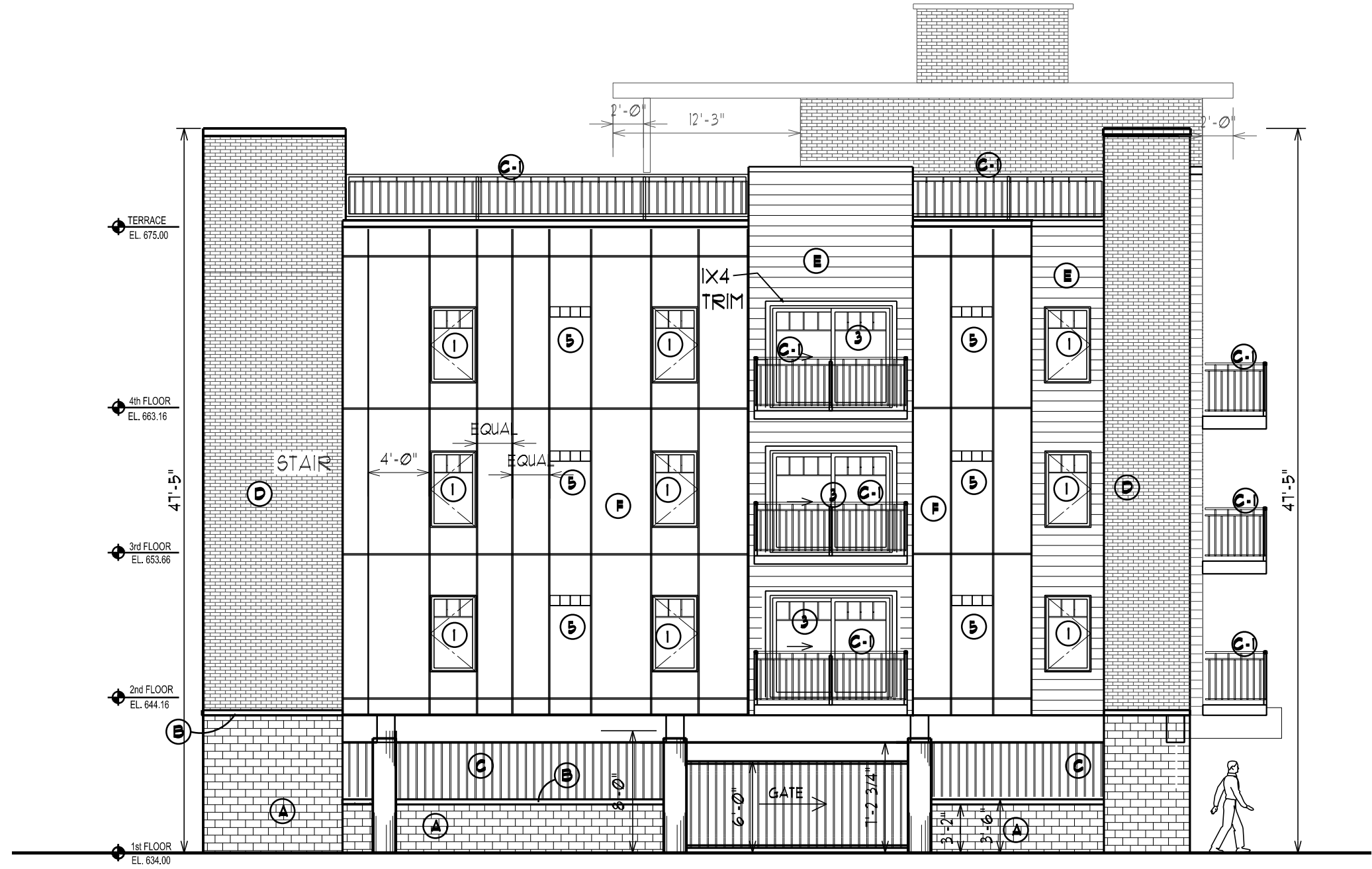
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EXTERIOR FINISH SCHEDULE								
MARK	MATERIAL	LOCATION	MANUFACTURER	MODEL	COLOR	FINISH	REMARKS / NOTES	MFGR REP
(A)	8" CMU BLOCK	BASE OF STAIRWAY & PARKING SCREEN WALL	EP HENRY	EARTH-TONE LINE	#3-B	SPLIT FACE		ANDY HALSTED 248-156-0441
(A-1)	MORTAR FOR CMU							
(B)	4" PRECAST CONCRETE CAP	ON TOP OF (CMU) BLOCK WALL						
(C)	ALUMINUM FENCING	PARKING SCREEN WALL & ALONG PROPERTY LINE	SUPERIOR ALUMINUM PRODUCTS, INC.	SERIES 9000 RAILING STYLE: STYLE 'B'	DARK BRONZE		6' HIGH FENCE AT PROPERTY LINE SEE SECTIONS FOR FENCE HT AT SCREEN WALL	
(C-1)	ALUMINUM RAILING	BALCONIES & TOP OF ROOF WALLS	SUPERIOR ALUMINUM PRODUCTS, INC.	SERIES 9000 RAILING STYLE: STYLE C TOP RAIL: 905	DARK BRONZE		4" ABOVE DECK PAVERS BOLT TO TOP OF WALL	
(C-2)	ALUMINUM RAILING	EDGE OF TERRACE	SUPERIOR ALUMINUM PRODUCTS, INC.	SERIES 500 VERTICAL BALUSTRADE	DARK BRONZE		4" ABOVE DECK PAVERS HEIGHT VARIES; POSTS TO BE BOLTED TO ROOF SHEATHING	
(D)	FULL BRICK	CORNERS OF BUILDING & CENTER ENTRANCE	GLEN-GERY	MODULAR	TAUNY BEIGE (#9-33)			ANDY HALSTED 248-156-0441
(D-1)	MORTAR FOR BRICK							
(E)	HORIZONTAL SIDING	PROJECTED BAYS WITH DOORWALLS	RED CEDAR	CHANEL SIDING - SMOOTH FINISH		PAINT		
(F)	FIBER CEMENT PANEL BOARD SIDING	SEE EXTERIOR ELEVATIONS	JAMES HARDIE			PAINT		

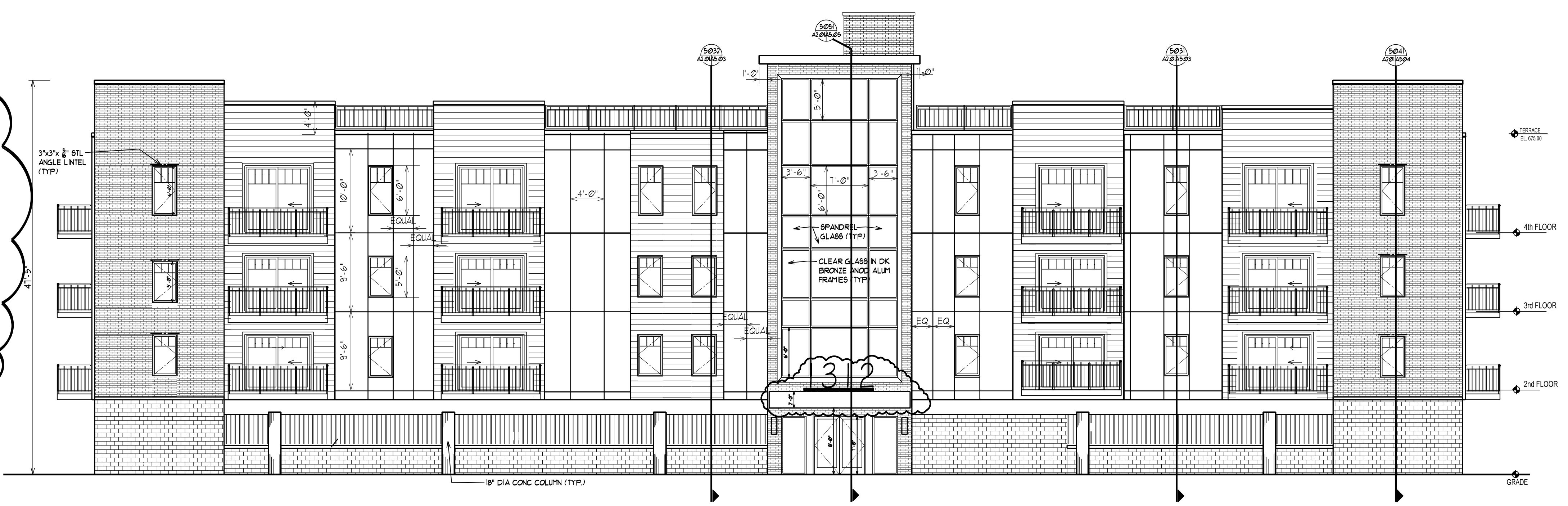
EXTERIOR FINISH MATERIAL SPECIFICATIONS:

PAINT					
P-E1	PAINT EXTERIOR FIBER CEMENT PANELS	MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW6089 COLOR: SIMPLY BEIGE FINISH: EGGSHELL	P-E3	PAINT EXTERIOR CONCRETE COLUMNS	MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW1038 COLOR: TONY TAUPE FINISH: EGGSHELL
P-E2	PAINT EXTERIOR HORIZONTAL SIDING	MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW6089 COLOR: NUTTATCH FINISH: EGGSHELL	P-E4	PAINT EXTERIOR ENTRANCE CANOPY	MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW6314 COLOR: LUXURIOUS RED FINISH: SEMI-GLOSS

WINDOW SCHEDULE											
SYMBOL	MANUFACTURER	PRODUCT NAME	PRODUCT ID #	ROUGH OPENING SIZE	INTERIOR COLOR	EXTERIOR COLOR	GLASS	HARDWARE	GRILLE PATTERN	LOCATION	REMARKS
(1)	ANDERSEN	100 SERIES CASEMENT	100C53050	36" X 60"	WHITE	DARK BRONZE	LOW-E GLASS	FLOODING LOCK & KEEPER WHITE	SHORT FRACTIONAL	BEDROOM	OR APPROVED EQUAL
(2)	ANDERSEN	100 SERIES CASEMENT	100C53060	36" X 12"	WHITE	DARK BRONZE	LOW-E GLASS	FLOODING LOCK & KEEPER WHITE	SHORT FRACTIONAL	BEDROOM 4TH FLOOR - FRONT ELEVATION - ONLY	OR APPROVED EQUAL
(3)	ANDERSEN	100 SERIES GLIDING PATIO DOOR	100GD7P6068	8'-0" X 6'-8"	WHITE	DARK BRONZE	LOW-E GLASS	TULSA WHITE	SHORT FRACTIONAL	LIVING ROOM	OR APPROVED EQUAL
(4)	ANDERSEN	100 SERIES GLIDING PATIO DOOR	100GD7P8080	8'-0" X 8'-0"	WHITE	DARK BRONZE	LOW-E GLASS	TULSA WHITE	SHORT FRACTIONAL	LIVING ROOM	OR APPROVED EQUAL
(5)		8x8 GLASS BLOCK		2'-8" X 8"			WAVEY GLASS			BATHROOM	
(6)	KAIWEER	1600 WALL SYSTEM I 6" DEEP		3'-6" X 6'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
(7)	KAIWEER	1600 WALL SYSTEM I 6" DEEP		1'-0" X 6'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
(8)	KAIWEER	1600 WALL SYSTEM I 6" DEEP		3'-6" X 5'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
(9)	KAIWEER	1600 WALL SYSTEM I 6" DEEP		1'-0" X 5'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
(10)	KAIWEER	1600 WALL SYSTEM I 6" DEEP				DARK BRONZE	SPANDREL GLASS			LOBBY	OR APPROVED EQUAL



LEFT SIDE (SOUTH) ELEVATION
 1/8" = 1'-0"

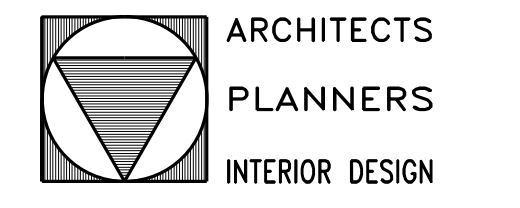


FRONT (EAST) ELEVATION
 1/8" = 1'-0"

MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN

ISSUED FOR:
 6 SEPT 19 CHECK SET
 10 NOV 19 BID SET
 15 APRIL 2020 RE-BID SET

SHEET# A2.01
 DATE: 15 APRIL 2020
 JOB# 13054



SCOTT MONCHNIK & ASSOCIATES, INC.
 1700 STUTZ DRIVE
 SUITE 104-B
 TROY, MICHIGAN 48064
 TEL: 248-654-1010
 FAX: 248-654-3002
 SCOTT@SMAARCH.COM

EXTERIOR FINISH SCHEDULE								
MARK	MATERIAL	LOCATION	MANUFACTURER	MODEL	COLOR	FINISH	REMARKS / NOTES	MFGR REP
(A)	8" CMU BLOCK	BASE OF STAIRWAY & PARKING SCREEN WALL	EP HENRY	EARTH-TONE LINE	#31-B	SPLIT FACE		ANDY HALSTED 248-156-0441
(A-1)	MORTAR FOR CMU							
(B)	4" PRECAST CONCRETE CAP	ON TOP OF (CMU) BLOCK WALL						
(C)	ALUMINUM FENCING	PARKING SCREEN WALL & ALONG PROPERTY LINE	SUPERIOR ALUMINUM PRODUCTS, INC.	SERIES 9000 RAILING STYLE: STYLE 'B'	DARK BRONZE		6' HIGH FENCE AT PROPERTY LINE SEE SECTIONS FOR FENCE HT AT SCREEN WALL	
(C-1)	ALUMINUM RAILING	BALCONIES & TOP OF ROOF WALLS	SUPERIOR ALUMINUM PRODUCTS, INC.	SERIES 9000 RAILING STYLE: STYLE C TOP RAIL: 905	DARK BRONZE		4" ABOVE DECK PAVERS BOLT TO TOP OF WALL	
(C-2)	ALUMINUM RAILING	EDGE OF TERRACE	SUPERIOR ALUMINUM PRODUCTS, INC.	SERIES 500 VERTICAL BALUSTRADE	DARK BRONZE		4" ABOVE DECK PAVERS HEIGHT VARIES; POSTS TO BE BOLTED TO ROOF SHEATHING	
(D)	FULL BRICK	CORNERS OF BUILDING & CENTER ENTRANCE	GLEN-GERTY	MODULAR	TAUNTY BEIGE (#1-31)			ANDY HALSTED 248-156-0441
(D-1)	MORTAR FOR BRICK							
(E)	HORIZONTAL SIDING	PROJECTED BAYS WITH DOORWALLS	RED CEDAR	CHANEL SIDING -SMOOTH FINISH		PAINT		
(F)	FIBER CEMENT PANEL BOARD SIDING	SEE EXTERIOR ELEVATIONS	JAMES HARDIE			PAINT		

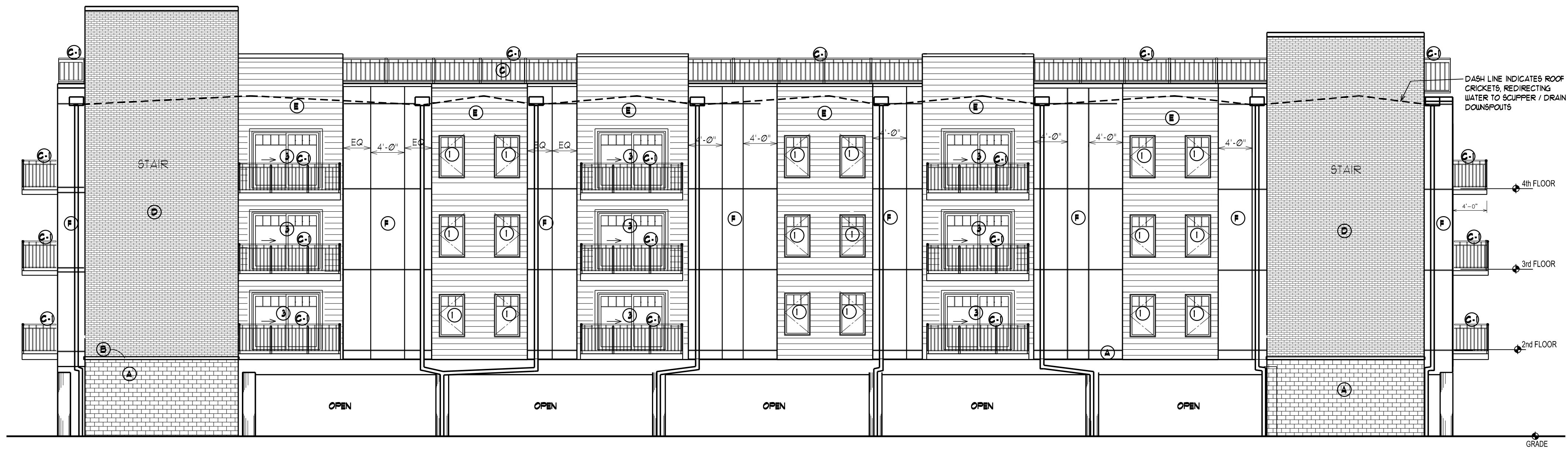
EXTERIOR FINISH MATERIAL SPECIFICATIONS:

PAINT			
P-E1	PAINT EXTERIOR FIBER CEMENT PANELS	MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW6089 COLOR: SIMPLIFY BEIGE FINISH: EGGSHELL	P-E3 PAINT EXTERIOR CONCRETE COLUMNS MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW1038 COLOR: TONY TAUPE FINISH: EGGSHELL
P-E2	PAINT EXTERIOR HORIZONTAL SIDING	MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW6089 COLOR: NUTTATCH FINISH: EGGSHELL	P-E4 PAINT EXTERIOR ENTRANCE CANOPY MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW6314 COLOR: LUXURIOUS RED FINISH: SEMI-GLOSS

WINDOW SCHEDULE											
SYMBOL	MANUFACTURER	PRODUCT NAME	PRODUCT ID #	ROUGH OPENING SIZE	INTERIOR COLOR	EXTERIOR COLOR	GLASS	HARDWARE	GRILLE PATTERN	LOCATION	REMARKS
1	ANDERSEN	100 SERIES CASEMENT	100C53050	36" X 60"	WHITE	DARK BRONZE	LOW-E GLASS	FLOODING LOCK & KEEPER WHITE	SHORT FRACTIONAL	BEDROOM	OR APPROVED EQUAL
2	ANDERSEN	100 SERIES CASEMENT	100C53060	36" X 12"	WHITE	DARK BRONZE	LOW-E GLASS	FLOODING LOCK & KEEPER WHITE	SHORT FRACTIONAL	BEDROOM 4TH FLOOR - FRONT ELEVATION - ONLY	OR APPROVED EQUAL
3	ANDERSEN	100 SERIES GLIDING PATIO DOOR	100GD2P6068	8'-0" X 6'-8"	WHITE	DARK BRONZE	LOW-E GLASS	TULSA WHITE	SHORT FRACTIONAL	LIVING ROOM	OR APPROVED EQUAL
4	ANDERSEN	100 SERIES GLIDING PATIO DOOR	100GD2P8080	8'-0" X 8'-0"	WHITE	DARK BRONZE	LOW-E GLASS	TULSA WHITE	SHORT FRACTIONAL	LIVING ROOM	OR APPROVED EQUAL
5		8x8 GLASS BLOCK		2'-8" X 8"			WAVEY GLASS			BATHROOM	
6	KAIWEER	1600 WALL SYSTEM I 6" DEEP		3'-6" X 6'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
7	KAIWEER	1600 WALL SYSTEM I 6" DEEP		1'-0" X 6'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
8	KAIWEER	1600 WALL SYSTEM I 6" DEEP		3'-6" X 5'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
9	KAIWEER	1600 WALL SYSTEM I 6" DEEP		1'-0" X 5'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
10	KAIWEER	1600 WALL SYSTEM I 6" DEEP				DARK BRONZE	SPANDREL GLASS			LOBBY	OR APPROVED EQUAL



RIGHT SIDE (NORTH) ELEVATION
 1/8" = 1'-0"



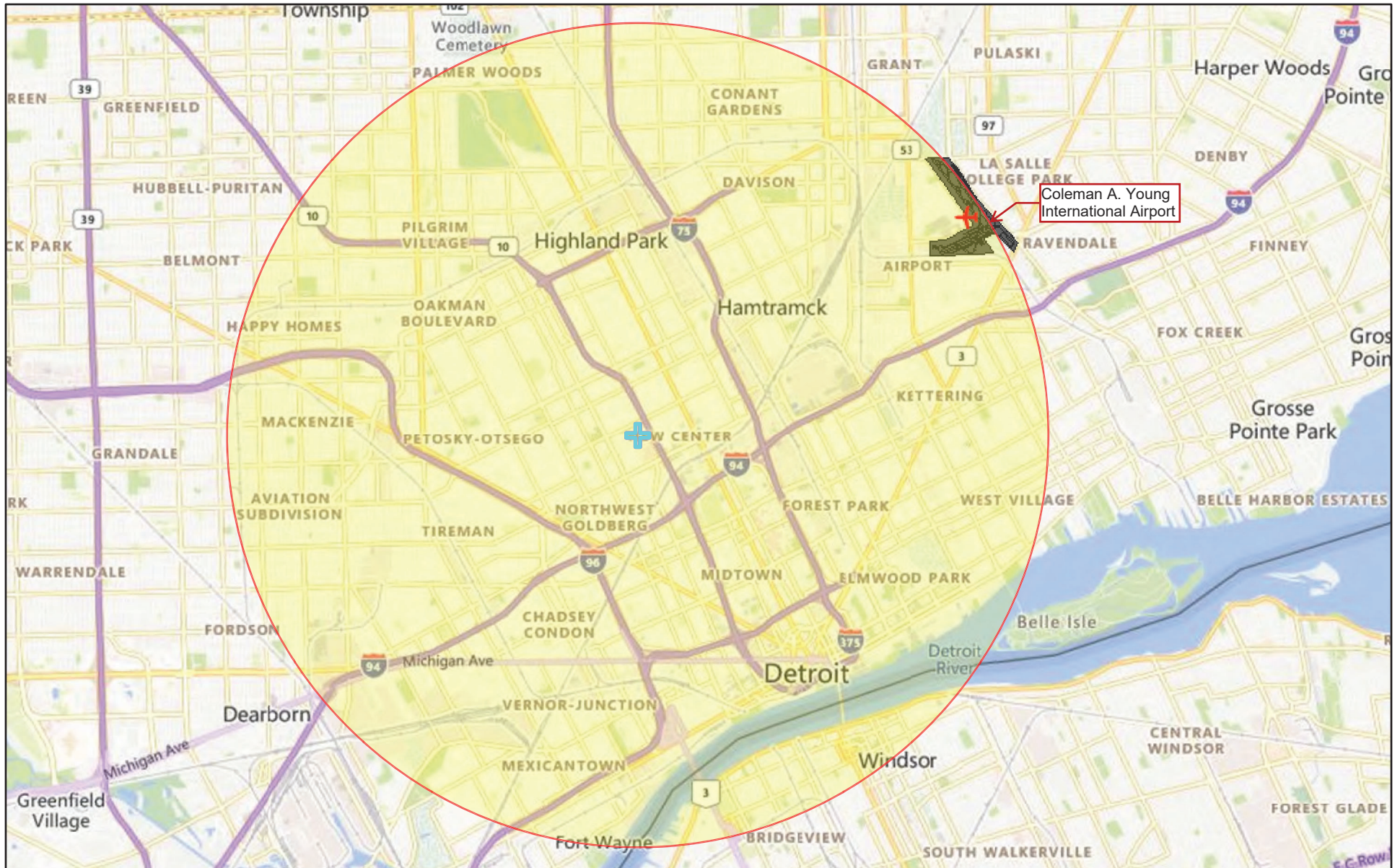
REAR (WEST) ELEVATION
 1/8" = 1'-0"

MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN





ISSUED FOR:
 6 SEPT 19
 CHECK SET
 10 NOV 19
 BID SET
 15 APRIL 2020
 RE-BID SET

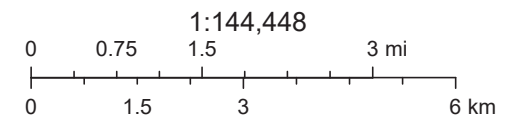
SHEET# A2.02
 DATE: 15 APRIL 2020
 JOB# 13054

Airport Map



March 29, 2022

-  Project Buffer
-  Airport Points
-  1312 Seward Avenue, Detroit
-  Airport Polygons



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U.S. Fish and Wildlife Service Coastal Barrier Resources System

CBRS



March 24, 2022

CBRS Units

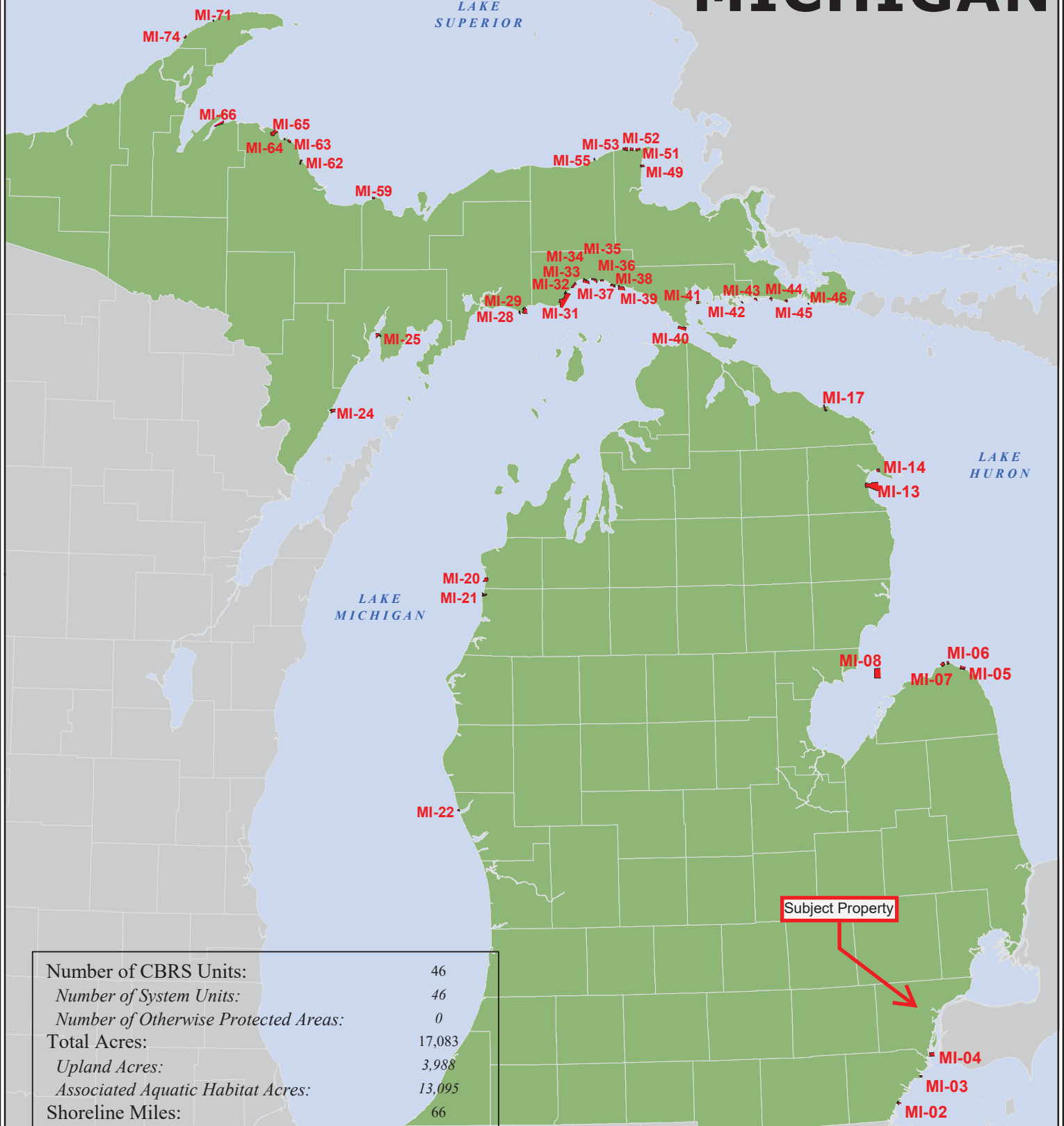
This map is for general reference only. The Coastal Barrier Resources System (CBRS) boundaries depicted on this map are representations of the controlling CBRS boundaries, which are shown on the official maps, accessible at <https://www.fws.gov/library/collections/official-coastal-barrier-resources-system-maps>. All CBRS related data should be used in accordance with the layer metadata found on the CBRS Mapper website.

The CBRS Buffer Zone represents the area immediately adjacent to the CBRS boundary where users are advised to contact the Service for an official determination (<https://www.fws.gov/service/coastal-barrier-resources-system-property-documentation>) as to whether the property or project site is located "in" or "out" of the CBRS.

CBRS Units normally extend seaward out to the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward

JOHN H. CHAFEE COASTAL BARRIER RESOURCES SYSTEM

MICHIGAN



Number of CBRS Units:	46
Number of System Units:	46
Number of Otherwise Protected Areas:	0
Total Acres:	17,083
Upland Acres:	3,988
Associated Aquatic Habitat Acres:	13,095
Shoreline Miles:	66

Boundaries of the John H. Chafee Coastal Barrier Resources System (CBRS) shown on this map were transferred from the official CBRS maps for this area and are depicted on this map (in red) for informational purposes only. The official CBRS maps are enacted by Congress via the Coastal Barrier Resources Act, as amended, and are maintained by the U.S. Fish and Wildlife Service. The official CBRS maps are available for download at <http://www.fws.gov/CBRA>.

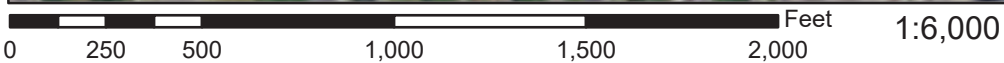
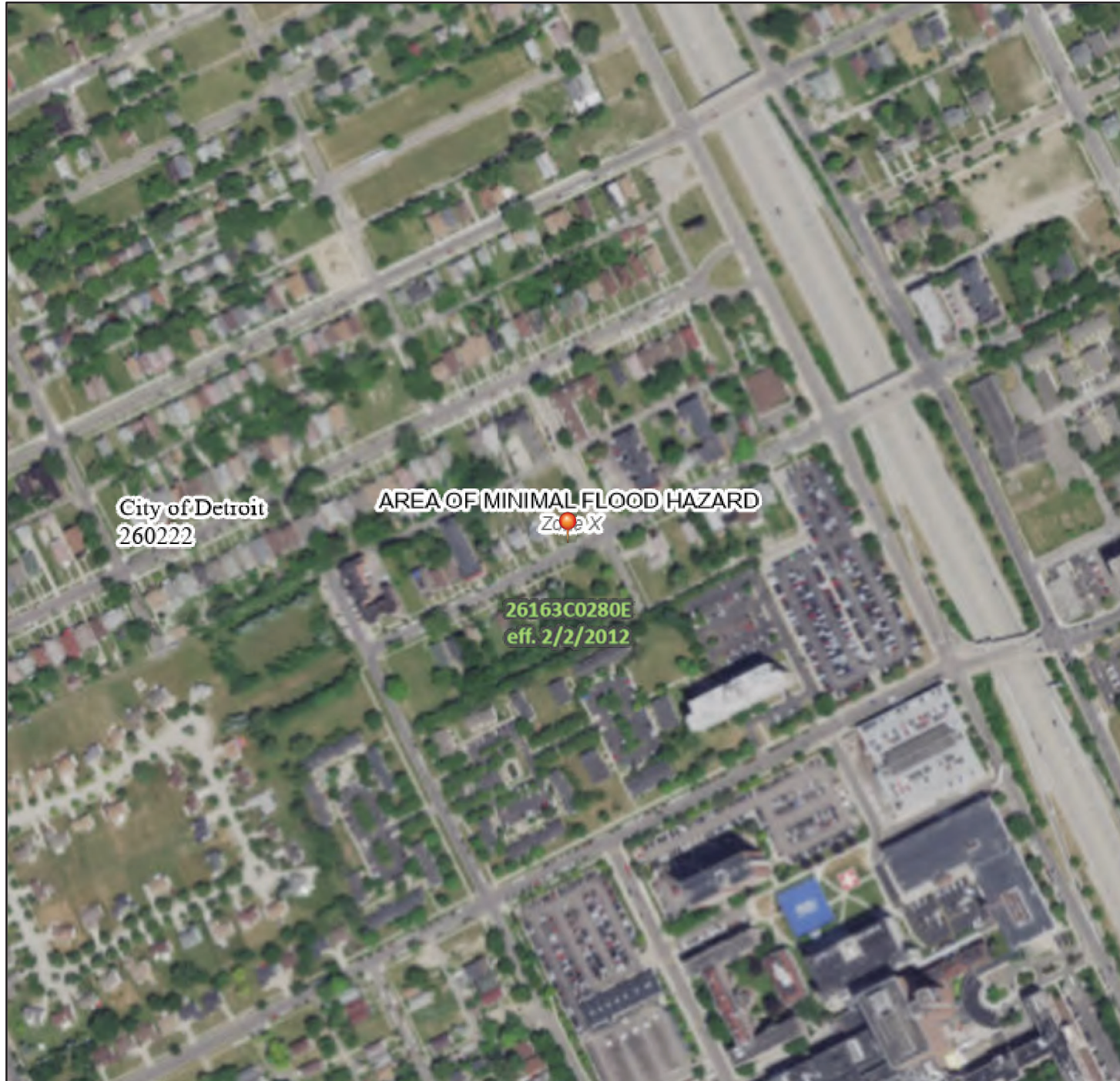
Map Date: March 14, 2016



National Flood Hazard Layer FIRMMette



83°5'35"W 42°22'29"N



83°4'58"W 42°22'2"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 3/23/2022 at 8:02 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



GRETCHEN WHITMER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF
ENVIRONMENT, GREAT LAKES, AND ENERGY
LANSING



LIESL EICHLER CLARK
DIRECTOR

March 28, 2022

Ms. Lindsey Sorensen, Director of Research Group
PM Environmental, Inc.
560 5th Street, N.W., Suite 301
Grand Rapids, Michigan 49504

Dear Ms. Sorensen:

Subject: Merrill Place Apartments Project - Detroit, Michigan

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has reviewed the federal regulations related to general conformity of projects with state implementation plans (SIP) for air quality. In particular, 40 Code of Federal Regulations (CFR) Section 93.150 et seq, which states that any federally funded project in a nonattainment or maintenance area must conform to the Clean Air Act requirements including the State's SIP if they may constitute a significant new source of air pollution.

On August 3, 2018, Wayne County was designated nonattainment for the 2015 National Ambient Air Quality Standard (NAAQS) for ozone, and thus, general conformity must be evaluated when completing construction projects of a given size and scope. EGLE is currently working to complete the required SIP submittal for this area; therefore, an alternative evaluation was completed to assess conformity. Specifically, EGLE considered the following information from the United States Environmental Protection Agency's (USEPA) general conformity guidance, which states "historical analysis of similar actions can be used in cases where the proposed projects are similar in size and scope to previous projects."

EGLE has reviewed the Merrill Place Apartments project proposed to be completed with federal grant monies, including the construction of a four-story, multi-family apartment complex known as the Merrill Place Apartments. The project site is currently a vacant lot located at 1312 Seward Avenue in the city of Detroit. Construction is expected to begin this summer and will be completed in the spring of 2023.

In reviewing the *"Air Quality and Greenhouse Gas Study: Uptown Orange Apartments in Orange, California,"* dated December 2012, prepared for KTG Y Group, Inc., by UltraSystems Environmental, Inc., it was determined that emission levels for the project were below the de minimis levels for general conformity. The Uptown Orange Apartments project and related parking structure construction was estimated to take 33 months to complete, would encompass an area of 5.57 acres, and included two four-story residential units with a total of 334 apartments, and two parking structures with a total of 494 and 679 parking stalls, respectively.

Ms. Lindsey Sorensen

March 28, 2022

Page 2

The size, scope, and duration of the Merrill Place Apartments project proposed is much smaller in scale than the Uptown Orange Apartments project described above and should not exceed the de minimis levels included in the federal general conformity requirements. Therefore, it does not require a detailed conformity analysis.

If you have any further questions regarding this matter, please contact me at 517-648-6314; BukowskiB@Michigan.gov; or EGLE, AQD, P.O. Box 30260, Lansing, Michigan 48909-7760.

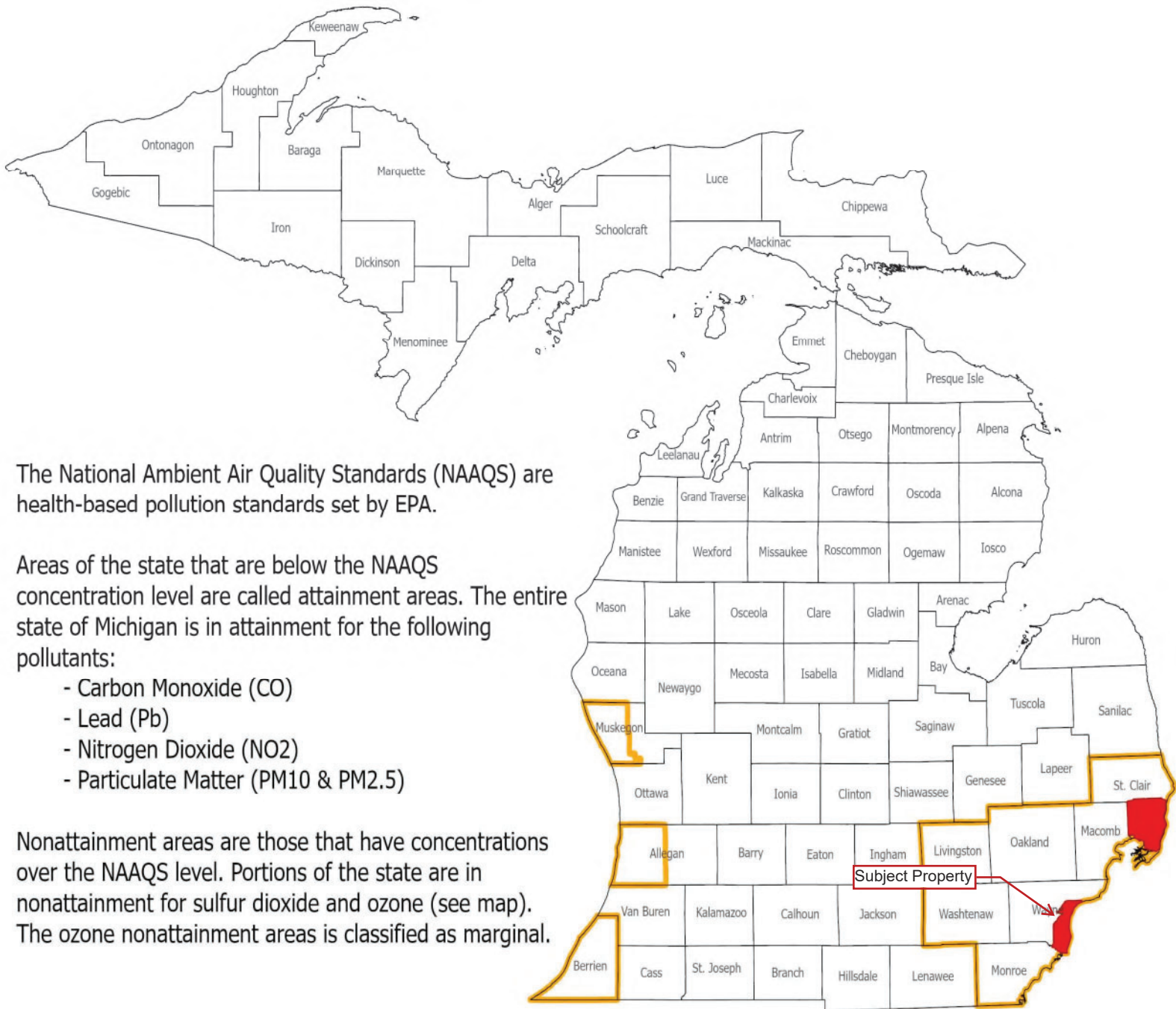
Sincerely,

A handwritten signature in blue ink that reads "Breanne Bukowski". The signature is written in a cursive style and is positioned to the right of the word "Sincerely,".

Environmental Quality Analyst

cc: Mr. Michael Leslie, USEPA Region 5
Ms. Carey Kratz, PM Environmental
Ms. Sauda Ahmad-Green, S&S Development Group, LLC.

Attainment Status for the National Ambient Air Quality Standards



The National Ambient Air Quality Standards (NAAQS) are health-based pollution standards set by EPA.

Areas of the state that are below the NAAQS concentration level are called attainment areas. The entire state of Michigan is in attainment for the following pollutants:

- Carbon Monoxide (CO)
- Lead (Pb)
- Nitrogen Dioxide (NO₂)
- Particulate Matter (PM₁₀ & PM_{2.5})

Nonattainment areas are those that have concentrations over the NAAQS level. Portions of the state are in nonattainment for sulfur dioxide and ozone (see map). The ozone nonattainment areas is classified as marginal.

LEGEND

- Sulfur Dioxide Nonattainment Area
- Ozone Nonattainment Area

See Page 2 for close-up maps of partial county nonattainment areas.

Updated February 5, 2021

Prepared by EGLE, Air Quality Division, State Implementation Plan Development Unit

Close-Up Maps of Partial County Nonattainment Areas

Sulfur Dioxide Nonattainment Areas

Wayne County Area



St. Clair County Area



Ozone Nonattainment Areas

Allegan County Area



Muskegon County Area



Wayne County
Grosse Pointe Township, Grosse Pointe Woods, Grosse Pointe Farms
Grosse Pointe, Grosse Pointe Park, and Detroit, T1S R14E
Detroit, T1S R14E, T2S R13E, and T2S R12E
River Rouge, T2S R11E

The heavy red line is the **Coastal Zone Management Boundary**
The red hatched area is the **Coastal Zone Management Area**.





United States Department of the Interior



FISH AND WILDLIFE SERVICE
Michigan Ecological Services Field Office
2651 Coolidge Road Suite 101
East Lansing, MI 48823-6360
Phone: (517) 351-2555 Fax: (517) 351-1443
<http://www.fws.gov/midwest/EastLansing/>

In Reply Refer To:
Project Code: 2022-0023444
Project Name: Seward Ave

March 24, 2022

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

Official Species List

The attached species list identifies any Federally threatened, endangered, proposed and candidate species that may occur within the boundary of your proposed project or may be affected by your proposed project. The list also includes designated critical habitat if present within your proposed project area or affected by your project. This list is provided to you as the initial step of the consultation process required under section 7(c) of the Endangered Species Act, also referred to as Section 7 Consultation.

Under 50 CFR 402.12(e) (the regulations that implement section 7 of the Endangered Species Act), the accuracy of this species list should be verified after 90 days. You may verify the list by visiting the IPaC website (<https://ipac.ecosphere.fws.gov/>) at regular intervals during project planning and implementation. To update an Official Species List in IPaC: from the My Projects page, find the project, expand the row, and click Project Home. In the What's Next box on the Project Home page, there is a Request Updated List button to update your species list. Be sure to select an "official" species list for all projects.

Consultation requirements and next steps

Section 7 of the Endangered Species Act of 1973 requires that actions authorized, funded, or carried out by Federal agencies not jeopardize Federally threatened or endangered species or adversely modify designated critical habitat. To fulfill this mandate, Federal agencies (or their designated non-Federal representative) must consult with the Fish and Wildlife Service if they determine their project may affect listed species or critical habitat.

There are two approaches to evaluating the effects of a project on listed species.

Approach 1. Use the All-species Michigan determination key in IPaC. This tool can assist you in

making determinations for listed species for some projects. In many cases, the determination key will provide an automated concurrence that completes all or significant parts of the consultation process. Therefore, we strongly recommend screening your project with the **All-Species Michigan Determination Key (Dkey)**. For additional information on using IPaC and available Determination Keys, visit https://www.fws.gov/midwest/EastLansing/te/pdf/MIFO_IPAC_instructions_v1_Jan2021.pdf. Please carefully review your Dkey output letter to determine whether additional steps are needed to complete the consultation process.

Approach 2. Evaluate the effects to listed species on your own without utilizing a determination key. Once you obtain your official species list, you are not required to continue in IPaC, although in most cases using a determination key should expedite your review. If the project is a Federal action, you should review our section 7 step-by-step instructions before making your determinations: <http://www.fws.gov/midwest/endangered/section7/s7process/index.html>. If you evaluate the details of your project and conclude “no effect,” document your findings, and your listed species review is complete; you do not need our concurrence on “no effect” determinations. If you cannot conclude “no effect,” you should coordinate/consult with the Michigan Ecological Services Field Office. The preferred method for submitting your project description and effects determination (if concurrence is needed) is electronically to EastLansing@fws.gov. Please include a copy of this official species list with your request.

For all **wind energy projects** and **projects that include installing communications towers that use guy wires**, please contact this field office directly for assistance, even if no Federally listed plants, animals or critical habitat are present within your proposed project area or may be affected by your proposed project.

Migratory Birds

Please see the “Migratory Birds” section below for important information regarding incorporating migratory birds into your project planning. Our Migratory Bird Program has developed recommendations, best practices, and other tools to help project proponents voluntarily reduce impacts to birds and their habitats. The Bald and Golden Eagle Protection Act prohibits the take and disturbance of eagles without a permit. If your project is near an eagle nest or winter roost area, see our Eagle Permits website at <https://www.fws.gov/midwest/eagle/permits/index.html> to help you avoid impacting eagles or determine if a permit may be necessary.

Executive Order 13186: *Responsibilities of Federal Agencies to Protect Migratory Birds*, obligates all Federal agencies that engage in or authorize activities that might affect migratory birds, to minimize those effects and encourage conservation measures that will improve bird populations. Executive Order 13186 provides for the protection of both migratory birds and migratory bird habitat. For information regarding the implementation of Executive Order 13186, please visit <https://www.fws.gov/birds/policies-and-regulations/administrative-orders/executive-orders.php>.

We appreciate your consideration of threatened and endangered species during your project planning. Please include a copy of this letter with any request for consultation or correspondence

about your project that you submit to our office.

Attachment(s):

- Official Species List
 - USFWS National Wildlife Refuges and Fish Hatcheries
 - Migratory Birds
 - Wetlands
-

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Michigan Ecological Services Field Office

2651 Coolidge Road Suite 101

East Lansing, MI 48823-6360

(517) 351-2555

Project Summary

Project Code: 2022-0023444
Event Code: None
Project Name: Seward Ave
Project Type: Federal Grant / Loan Related
Project Description: Redevelopment
Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@42.37125435,-83.08805079496918,14z>



Counties: Wayne County, Michigan

Endangered Species Act Species

There is a total of 8 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species. Note that 2 of these species should be considered only under certain conditions.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

-
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

Mammals

NAME	STATUS
Indiana Bat <i>Myotis sodalis</i> There is final critical habitat for this species. The location of the critical habitat is not available. Species profile: https://ecos.fws.gov/ecp/species/5949 General project design guidelines: https://ipac.ecosphere.fws.gov/project/QLQQUGGPSNAX5NUESJMILDWMPI/documents/generated/5663.pdf	Endangered
Northern Long-eared Bat <i>Myotis septentrionalis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9045 General project design guidelines: https://ipac.ecosphere.fws.gov/project/QLQQUGGPSNAX5NUESJMILDWMPI/documents/generated/5664.pdf	Threatened

Birds

NAME	STATUS
Piping Plover <i>Charadrius melodus</i> Population: [Great Lakes watershed DPS] - Great Lakes, watershed in States of IL, IN, MI, MN, NY, OH, PA, and WI and Canada (Ont.) There is final critical habitat for this species. The location of the critical habitat is not available. Species profile: https://ecos.fws.gov/ecp/species/6039	Endangered
Red Knot <i>Calidris canutus rufa</i> There is proposed critical habitat for this species. The location of the critical habitat is not available. This species only needs to be considered under the following conditions: <ul style="list-style-type: none"> Only actions that occur along coastal areas during the Red Knot migratory window of MAY 1 - SEPTEMBER 30. Species profile: https://ecos.fws.gov/ecp/species/1864	Threatened

Reptiles

NAME	STATUS
Eastern Massasauga (=rattlesnake) <i>Sistrurus catenatus</i> No critical habitat has been designated for this species. This species only needs to be considered under the following conditions: <ul style="list-style-type: none"> For all Projects: Project is within EMR Range Species profile: https://ecos.fws.gov/ecp/species/2202 General project design guidelines: https://ipac.ecosphere.fws.gov/project/QLQQUGGPSNAX5NUESJMILDWMP/ documents/generated/5280.pdf	Threatened

Clams

NAME	STATUS
Northern Riffleshell <i>Epioblasma torulosa rangiana</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/527	Endangered

Insects

NAME	STATUS
Monarch Butterfly <i>Danaus plexippus</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9743	Candidate

Flowering Plants

NAME	STATUS
Eastern Prairie Fringed Orchid <i>Platanthera leucophaea</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/601	Threatened

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

USFWS National Wildlife Refuge Lands And Fish Hatcheries

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS OR FISH HATCHERIES WITHIN YOUR PROJECT AREA.

Migratory Birds

Certain birds are protected under the Migratory Bird Treaty Act¹ and the Bald and Golden Eagle Protection Act².

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described [below](#).

-
1. The [Migratory Birds Treaty Act](#) of 1918.
 2. The [Bald and Golden Eagle Protection Act](#) of 1940.
 3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

The birds listed below are birds of particular concern either because they occur on the [USFWS Birds of Conservation Concern](#) (BCC) list or warrant special attention in your project location. To learn more about the levels of concern for birds on your list and how this list is generated, see the FAQ [below](#). This is not a list of every bird you may find in this location, nor a guarantee that every bird on this list will be found in your project area. To see exact locations of where birders and the general public have sighted birds in and around your project area, visit the [E-bird data mapping tool](#) (Tip: enter your location, desired date range and a species on your list). For projects that occur off the Atlantic Coast, additional maps and models detailing the relative occurrence and abundance of bird species on your list are available. Links to additional information about Atlantic Coast birds, and other important information about your migratory bird list, including how to properly interpret and use your migratory bird report, can be found [below](#).

For guidance on when to schedule activities or implement avoidance and minimization measures to reduce impacts to migratory birds on your list, click on the PROBABILITY OF PRESENCE SUMMARY at the top of your list to see when these birds are most likely to be present and breeding in your project area.

NAME	BREEDING SEASON
Canada Warbler <i>Cardellina canadensis</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.	Breeds May 20 to Aug 10
Red-headed Woodpecker <i>Melanerpes erythrocephalus</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.	Breeds May 10 to Sep 10

Probability Of Presence Summary

The graphs below provide our best understanding of when birds of concern are most likely to be present in your project area. This information can be used to tailor and schedule your project activities to avoid or minimize impacts to birds. Please make sure you read and understand the

FAQ "Proper Interpretation and Use of Your Migratory Bird Report" before using or attempting to interpret this report.

Probability of Presence (■)

Each green bar represents the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during a particular week of the year. (A year is represented as 12 4-week months.) A taller bar indicates a higher probability of species presence. The survey effort (see below) can be used to establish a level of confidence in the presence score. One can have higher confidence in the presence score if the corresponding survey effort is also high.

How is the probability of presence score calculated? The calculation is done in three steps:

1. The probability of presence for each week is calculated as the number of survey events in the week where the species was detected divided by the total number of survey events for that week. For example, if in week 12 there were 20 survey events and the Spotted Towhee was found in 5 of them, the probability of presence of the Spotted Towhee in week 12 is 0.25.
2. To properly present the pattern of presence across the year, the relative probability of presence is calculated. This is the probability of presence divided by the maximum probability of presence across all weeks. For example, imagine the probability of presence in week 20 for the Spotted Towhee is 0.05, and that the probability of presence at week 12 (0.25) is the maximum of any week of the year. The relative probability of presence on week 12 is $0.25/0.25 = 1$; at week 20 it is $0.05/0.25 = 0.2$.
3. The relative probability of presence calculated in the previous step undergoes a statistical conversion so that all possible values fall between 0 and 10, inclusive. This is the probability of presence score.

Breeding Season (■)

Yellow bars denote a very liberal estimate of the time-frame inside which the bird breeds across its entire range. If there are no yellow bars shown for a bird, it does not breed in your project area.

Survey Effort (|)

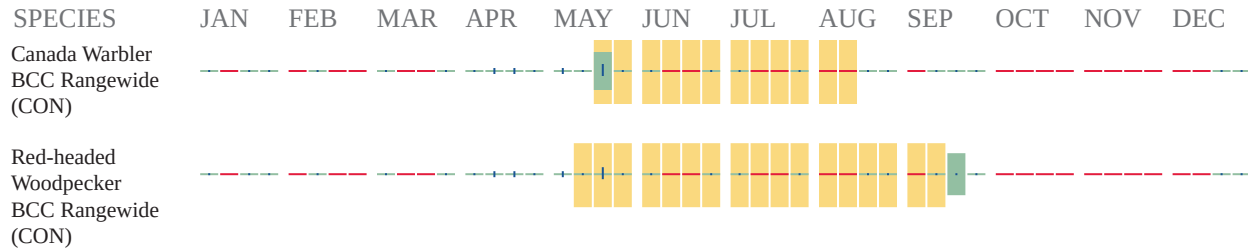
Vertical black lines superimposed on probability of presence bars indicate the number of surveys performed for that species in the 10km grid cell(s) your project area overlaps. The number of surveys is expressed as a range, for example, 33 to 64 surveys.

No Data (—)

A week is marked as having no data if there were no survey events for that week.

Survey Timeframe

Surveys from only the last 10 years are used in order to ensure delivery of currently relevant information. The exception to this is areas off the Atlantic coast, where bird returns are based on all years of available data, since data in these areas is currently much more sparse.



Additional information can be found using the following links:

- Birds of Conservation Concern <http://www.fws.gov/birds/management/managed-species/birds-of-conservation-concern.php>
- Measures for avoiding and minimizing impacts to birds <http://www.fws.gov/birds/management/project-assessment-tools-and-guidance/conservation-measures.php>
- Nationwide conservation measures for birds <http://www.fws.gov/migratorybirds/pdf/management/nationwidestandardconservationmeasures.pdf>

Migratory Birds FAQ

Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.

[Nationwide Conservation Measures](#) describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. [Additional measures](#) or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

What does IPaC use to generate the migratory birds potentially occurring in my specified location?

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [AKN Phenology Tool](#).

What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go to the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

How do I know if a bird is breeding, wintering, migrating or present year-round in my project area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may refer to the following resources: [The Cornell Lab of Ornithology All About Birds Bird Guide](#), or (if you are unsuccessful in locating the bird of interest there), the [Cornell Lab of Ornithology Neotropical Birds guide](#). If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides

birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact [Caleb Spiegel](#) or [Pam Loring](#).

What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.

Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

Wetlands

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

Please note that the NWI data being shown may be out of date. We are currently working to update our NWI data set. We recommend you verify these results with a site visit to determine the actual extent of wetlands on site.

WETLAND INFORMATION WAS NOT AVAILABLE WHEN THIS SPECIES LIST WAS GENERATED. PLEASE VISIT [HTTPS://WWW.FWS.GOV/WETLANDS/DATA/MAPPER.HTML](https://www.fws.gov/wetlands/data/mapper.html) OR CONTACT THE FIELD OFFICE FOR FURTHER INFORMATION.

IPaC User Contact Information

Agency: PM Environmental

Name: Lindsey Sorensen

Address: 560 5th Street NW, Suite 301

City: Grand Rapids

State: MI

Zip: 49504

Email: sorensen@pmenv.com

Phone: 6162221777

Merrill Place Apartments II

Biological Assessment

Prepared using IPaC

Generated by Carey Kratz (kratz@pmenv.com)

June 20, 2022

The purpose of this Biological Assessment (BA) is to assess the effects of the proposed project and determine whether the project may affect any Federally threatened, endangered, proposed or candidate species. This BA is prepared in accordance with legal requirements set forth under [Section 7 of the Endangered Species Act \(16 U.S.C. 1536 \(c\)\)](#).

In this document, any data provided by U.S. Fish and Wildlife Service is based on data as of June 20, 2022.

Prepared using IPaC version 6.76.0-rc5

Merrill Place Apartments II Biological Assessment

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1 Description Of The Action

1.1 Project Name

Merrill Place Apartments II

1.2 Executive Summary

The proposed Project will use multiple sources of federal and private funding to construct a 27-unit, approximately 30,000 square foot, mixed income, multi-family development designed specifically for residents seeking proximity to the expanding medical center campus, New Center, and Midtown areas. The proposed building will have three elevated levels of residential units located above an on-grade 30-space parking deck. There will be 27 residential rental units; 9 one-bedroom and 18 two-bedroom. These units will be 33% affordable at 50% area mean income (AMI), 7% affordable at 60% AMI, and 11% affordable housing at 80% AMI. There will also be a 3,000 square foot roof top terrace that will serve as a recreation and amenity space for residents and guests. The project will begin in fall of 2022 with a proposed fall of 2023 opening and 95% stabilization within six months. Construction will take a place on a currently vacant lot consisting of mowed grass with a few small landscaping trees present in a highly urban area of Detroit, Michigan.

The U.S. Fish and Wildlife Service provided information on locations of threatened and endangered species for the Project. In addition, a review using the U.S. Fish & Wildlife Service IPaC online system was completed. Species listed for Wayne County include Indiana Bat, Northern Long-eared Bat, Piping Plover, Red Knot, Eastern Massasauga, Northern Riffleshell, Monarch Butterfly, and the Eastern Prairie Fringed Orchid. None of the state-listed threatened or endangered species were observed at the subject property. No federally listed threatened or endangered species or unique features are present at the Project and no Critical Habitats are present. The property and/or general area have been developed since at least the 1900s. Given this, the Project does not appear to have an adverse effect on any endangered/threatened species or critical habitat.

[Effect determination summary](#)

1.3 Project Description

1.3.1 Location



LOCATION

Wayne County, Michigan

1.3.2 Description of project habitat

There are no habitats present on the site, which consists of a vacant lot covered in mowed grass that was previously developed and within a highly urban area.

1.3.3 Project proponent information

Provide information regarding who is proposing to conduct the project, and their contact information. Please provide details on whether there is a Federal nexus.

Requesting Agency

PM Environmental

FULL NAME

Carey Kratz

STREET ADDRESS

3340 Ranger Road

CITY

Lansing

STATE

MI

ZIP

48906

PHONE NUMBER

2487627093

E-MAIL ADDRESS

kratz@pmenv.com

Lead agency

Department of Housing and Urban Development

1.3.4 Project purpose

The proposed Project will include the construction of a 27-unit, approximately 30,000 square foot, mixed income, multi-family apartment development. The project will consist of three elevated levels of residential units located above an on-grade 30-space parking deck. There will be 9 one-bedroom and 18 two-bedroom units that will be 33% affordable at 50% AMI, 7% affordable at 60% AMI, and 11% affordable housing at 80% AMI. There will also be a 3,000 square foot roof top terrace that will serve as a recreation and amenity space. Merrill Place Phase II will make a significant and important contribution to increasing the amount of housing currently in the western sector of the New Center area. Merrill Place II will contribute to the overall massing of the area, bridging the gap between the neighborhood to the north, and the robust activity of West Grand Boulevard. The Project will help define and complete the planning efforts of the area with the introduction of an accessible multi-family development. This residential project will play an indispensable role in adding to the diversity, stability, and safety of the New Center and hospital system area. The uses of the building will create an influx of students, residents, and families that will translate to a higher quality of life and continued economic development in the neighborhood for decades to come. The Project site is in a qualified low-income census tract number 5326. Census data shows that 42.4% of its residents live below poverty level – its mere presence will be both transformational and catalytic. The entire Project was based upon the principle of increased community development in a distressed area that neighbors a robust area - and the plan was created around this concept, as such, we will create a mixed-income neighborhood for Detroiters of all backgrounds.

1.3.5 Project type and deconstruction

This project is a merrill place apartments II project.

1.3.5.1 Project map



LEGEND



Project footprint



Layer 1: Mixed use building and parking garage (structure)

1.3.5.2 mixed use building and parking garage

Structure completion date

September 01, 2022

Removal/decommission date (if applicable)

Not applicable

Stressors

This activity is not expected to have any impact on the environment.

Description

The proposed exterior finishes will include 8" CMU block on the parking screen wall, aluminum fencing at the parking screen wall and along the property line, aluminum railing located at the balconies and along the property line, brick veneer at the corners of the building and center entrance, horizontal siding at the projected bays and door walls, and fiber cement panel board siding at the residential window levels.

The ground level parking area and drive aisles will be located on the first floor of the building with two ingress/egress drives located along Seward Avenue and a 20' wide public alley to the north. There will be a total of 30 parking spaces including two handicap spaces. There will be three motorized gate entries and exits constructed - one along the alleyway and two along Seward Avenue. A dumpster enclosure will be constructed at the northeast end of the parking area and will consist of concrete block, CMU, and a wooden gate. There will also be a 6' high masonry screen wall located at the west end of the property line separating the complex from the residential homes located on Seward Avenue. A 5' foot apartment ground sign composed of CMU will also be installed at the southeast corner of the property. New natural gas, sanitary, storm, and water lines will be installed as part of the development as well as removal of existing flatwork/pavement and landscaping, and installation of new landscape plantings. Utilities will be installed at a depth of three to ten feet and account for approximately 600 linear feet throughout the site. A geothermal system and field will be installed at the western building exterior, measuring approximately 380 square feet.

New natural gas, sanitary, storm, and water lines will be installed as part of the development as well as removal of existing flatwork/pavement and landscaping, and installation of new landscape plantings. Utilities will be installed at a depth of three to ten feet and account for approximately 600 linear feet throughout the site. A geothermal system and field will be installed at the western building exterior, measuring approximately 380 square feet.

1.3.6 Anticipated environmental stressors

Describe the anticipated effects of your proposed project on the aspects of the land, air and water that will occur due to the activities above. These should be based on the activity deconstructions done in the previous section and will be used to inform the action area.

1.4 Action Area



1.5 Conservation Measures

Describe any proposed measures being implemented as part of the project that are designed to reduce the impacts to the environment and their resulting effects to listed species. To avoid extra verbiage, don't list measures that have no relevance to the species being analyzed.

No conservation measures have been selected for this project.

1.6 Prior Consultation History

None

1.7 Other Agency Partners And Interested Parties

City of Detroit Planning and Development (responsible party of federal funds delegated by HUD)

S&S Development, LLC (developer)

1.8 Other Reports And Helpful Information

Phase I Environmental Site Assessment

Relevant documentation

- [01-11372-0-0003 1312 Seward Ave Detroit MI MSHDA Phase I ESA EReport](#)

2 Species Effects Analysis

This section describes, species by species, the effects of the proposed action on listed, proposed, and candidate species, and the habitat on which they depend. In this document, effects are broken down as direct interactions (something happening directly to the species) or indirect interactions (something happening to the environment on which a species depends that could then result in effects to the species).

These interactions encompass effects that occur both during project construction and those which could be ongoing after the project is finished. All effects, however, should be considered, including effects from direct and indirect interactions and cumulative effects.

2.1 Eastern Massasauga (=Rattlesnake)

This species has been excluded from analysis in this environmental review document.

Justification for exclusion

There is no habitat present for this species. Site consists of a vacant, mowed grass lot in a highly urban area.

2.2 Eastern Prairie Fringed Orchid

This species has been excluded from analysis in this environmental review document.

Justification for exclusion

There is no habitat present for this species. Site consists of a vacant, mowed grass lot in a highly urban area.

2.3 Indiana Bat

This species has been excluded from analysis in this environmental review document.

Justification for exclusion

There is no habitat present for this species. Site consists of a vacant, mowed grass lot in a highly urban area. No trees are present that would support the species habitat.

2.4 Monarch Butterfly

This species has been excluded from analysis in this environmental review document.

Justification for exclusion

There is no habitat present for this species. Site consists of a vacant, mowed grass lot in a highly urban area.

2.5 Northern Long-Eared Bat

This species has been excluded from analysis in this environmental review document.

Justification for exclusion

There is no habitat present for this species. Site consists of a vacant, mowed grass lot in a highly urban area. No trees are present that would support the species habitat.

2.6 Northern Riffleshell

This species has been excluded from analysis in this environmental review document.

Justification for exclusion

There is no habitat present for this species. Site consists of a vacant, mowed grass lot in a highly urban area.

2.7 Piping Plover

This species has been excluded from analysis in this environmental review document.

Justification for exclusion

There is no habitat present for this species. Site consists of a vacant, mowed grass lot in a highly urban area. No trees are present that would support the species habitat.

2.8 Red Knot

This species has been excluded from analysis in this environmental review document.

Justification for exclusion

There is no habitat present for this species. Site consists of a vacant, mowed grass lot in a highly urban area. No trees are present that would support the species habitat.

3 Critical Habitat Effects Analysis

No critical habitats intersect with the project action area.

4 Summary Discussion, Conclusion, And Effect Determinations

4.1 Effect Determination Summary

SPECIES (COMMON NAME)	SCIENTIFIC NAME	LISTING STATUS	PRESENT IN ACTION AREA	EFFECT DETERMINATION
Eastern Massasauga (=rattlesnake)	<i>Sistrurus catenatus</i>	Threatened	No	NE
Eastern Prairie Fringed Orchid	<i>Platanthera leucophaea</i>	Threatened	No	NE
Indiana Bat	<i>Myotis sodalis</i>	Endangered	No	NE
Monarch Butterfly	<i>Danaus plexippus</i>	Candidate	Excluded from analysis	Excluded from analysis
Northern Long-eared Bat	<i>Myotis septentrionalis</i>	Threatened	No	NE
Northern Riffleshell	<i>Epioblasma rangiana</i>	Endangered	No	NE
Piping Plover	<i>Charadrius melodus</i>	Endangered	No	NE
Red Knot	<i>Calidris canutus rufa</i>	Threatened	No	NE

4.2 Summary Discussion

None of the state-listed threatened or endangered species were observed at the subject property. No federally listed threatened or endangered species or unique features are present at the Project and no Critical Habitats are present. The property and/or general area have been developed since at least the 1900s. Given this, the Project does not appear to have an adverse effect on any endangered/threatened species or critical habitat

4.3 Conclusion

None of the state-listed threatened or endangered species were observed at the subject property. No federally listed threatened or endangered species or unique features are present at the Project and no Critical Habitats are present. The property and/or general area have been developed since at least the 1900s. Given this, the Project does not appear to have an adverse effect on any endangered/threatened species or critical habitat



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Michigan Ecological Services Field Office
2651 Coolidge Road Suite 101
East Lansing, MI 48823-6360
Phone: (517) 351-2555 Fax: (517) 351-1443
<http://www.fws.gov/midwest/EastLansing/>

In Reply Refer To:
Project Code: 2022-0023444
Project Name: Seward Ave

March 24, 2022

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

Official Species List

The attached species list identifies any Federally threatened, endangered, proposed and candidate species that may occur within the boundary of your proposed project or may be affected by your proposed project. The list also includes designated critical habitat if present within your proposed project area or affected by your project. This list is provided to you as the initial step of the consultation process required under section 7(c) of the Endangered Species Act, also referred to as Section 7 Consultation.

Under 50 CFR 402.12(e) (the regulations that implement section 7 of the Endangered Species Act), the accuracy of this species list should be verified after 90 days. You may verify the list by visiting the IPaC website (<https://ipac.ecosphere.fws.gov/>) at regular intervals during project planning and implementation. To update an Official Species List in IPaC: from the My Projects page, find the project, expand the row, and click Project Home. In the What's Next box on the Project Home page, there is a Request Updated List button to update your species list. Be sure to select an "official" species list for all projects.

Consultation requirements and next steps

Section 7 of the Endangered Species Act of 1973 requires that actions authorized, funded, or carried out by Federal agencies not jeopardize Federally threatened or endangered species or adversely modify designated critical habitat. To fulfill this mandate, Federal agencies (or their designated non-Federal representative) must consult with the Fish and Wildlife Service if they determine their project may affect listed species or critical habitat.

There are two approaches to evaluating the effects of a project on listed species.

Approach 1. Use the All-species Michigan determination key in IPaC. This tool can assist you in

making determinations for listed species for some projects. In many cases, the determination key will provide an automated concurrence that completes all or significant parts of the consultation process. Therefore, we strongly recommend screening your project with the **All-Species Michigan Determination Key (Dkey)**. For additional information on using IPaC and available Determination Keys, visit https://www.fws.gov/midwest/EastLansing/te/pdf/MIFO_IPAC_instructions_v1_Jan2021.pdf. Please carefully review your Dkey output letter to determine whether additional steps are needed to complete the consultation process.

Approach 2. Evaluate the effects to listed species on your own without utilizing a determination key. Once you obtain your official species list, you are not required to continue in IPaC, although in most cases using a determination key should expedite your review. If the project is a Federal action, you should review our section 7 step-by-step instructions before making your determinations: <http://www.fws.gov/midwest/endangered/section7/s7process/index.html>. If you evaluate the details of your project and conclude “no effect,” document your findings, and your listed species review is complete; you do not need our concurrence on “no effect” determinations. If you cannot conclude “no effect,” you should coordinate/consult with the Michigan Ecological Services Field Office. The preferred method for submitting your project description and effects determination (if concurrence is needed) is electronically to EastLansing@fws.gov. Please include a copy of this official species list with your request.

For all **wind energy projects** and **projects that include installing communications towers that use guy wires**, please contact this field office directly for assistance, even if no Federally listed plants, animals or critical habitat are present within your proposed project area or may be affected by your proposed project.

Migratory Birds

Please see the “Migratory Birds” section below for important information regarding incorporating migratory birds into your project planning. Our Migratory Bird Program has developed recommendations, best practices, and other tools to help project proponents voluntarily reduce impacts to birds and their habitats. The Bald and Golden Eagle Protection Act prohibits the take and disturbance of eagles without a permit. If your project is near an eagle nest or winter roost area, see our Eagle Permits website at <https://www.fws.gov/midwest/eagle/permits/index.html> to help you avoid impacting eagles or determine if a permit may be necessary.

Executive Order 13186: *Responsibilities of Federal Agencies to Protect Migratory Birds*, obligates all Federal agencies that engage in or authorize activities that might affect migratory birds, to minimize those effects and encourage conservation measures that will improve bird populations. Executive Order 13186 provides for the protection of both migratory birds and migratory bird habitat. For information regarding the implementation of Executive Order 13186, please visit <https://www.fws.gov/birds/policies-and-regulations/administrative-orders/executive-orders.php>.

We appreciate your consideration of threatened and endangered species during your project planning. Please include a copy of this letter with any request for consultation or correspondence

about your project that you submit to our office.

Attachment(s):

- Official Species List
 - USFWS National Wildlife Refuges and Fish Hatcheries
 - Migratory Birds
 - Wetlands
-

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Michigan Ecological Services Field Office

2651 Coolidge Road Suite 101

East Lansing, MI 48823-6360

(517) 351-2555

Project Summary

Project Code: 2022-0023444
Event Code: None
Project Name: Seward Ave
Project Type: Federal Grant / Loan Related
Project Description: Redevelopment
Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@42.37125435,-83.08805079496918,14z>



Counties: Wayne County, Michigan

Endangered Species Act Species

There is a total of 8 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species. Note that 2 of these species should be considered only under certain conditions.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

-
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

Mammals

NAME	STATUS
Indiana Bat <i>Myotis sodalis</i> There is final critical habitat for this species. The location of the critical habitat is not available. Species profile: https://ecos.fws.gov/ecp/species/5949 General project design guidelines: https://ipac.ecosphere.fws.gov/project/QLQQUGGPSNAX5NUESJMILDWMPI/documents/generated/5663.pdf	Endangered
Northern Long-eared Bat <i>Myotis septentrionalis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9045 General project design guidelines: https://ipac.ecosphere.fws.gov/project/QLQQUGGPSNAX5NUESJMILDWMPI/documents/generated/5664.pdf	Threatened

Birds

NAME	STATUS
Piping Plover <i>Charadrius melodus</i> Population: [Great Lakes watershed DPS] - Great Lakes, watershed in States of IL, IN, MI, MN, NY, OH, PA, and WI and Canada (Ont.) There is final critical habitat for this species. The location of the critical habitat is not available. Species profile: https://ecos.fws.gov/ecp/species/6039	Endangered
Red Knot <i>Calidris canutus rufa</i> There is proposed critical habitat for this species. The location of the critical habitat is not available. This species only needs to be considered under the following conditions: <ul style="list-style-type: none"> Only actions that occur along coastal areas during the Red Knot migratory window of MAY 1 - SEPTEMBER 30. Species profile: https://ecos.fws.gov/ecp/species/1864	Threatened

Reptiles

NAME	STATUS
Eastern Massasauga (=rattlesnake) <i>Sistrurus catenatus</i> No critical habitat has been designated for this species. This species only needs to be considered under the following conditions: <ul style="list-style-type: none"> For all Projects: Project is within EMR Range Species profile: https://ecos.fws.gov/ecp/species/2202 General project design guidelines: https://ipac.ecosphere.fws.gov/project/QLQQUGGPSNAX5NUESJMILDWMP/ documents/generated/5280.pdf	Threatened

Clams

NAME	STATUS
Northern Riffleshell <i>Epioblasma torulosa rangiana</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/527	Endangered

Insects

NAME	STATUS
Monarch Butterfly <i>Danaus plexippus</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9743	Candidate

Flowering Plants

NAME	STATUS
Eastern Prairie Fringed Orchid <i>Platanthera leucophaea</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/601	Threatened

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

USFWS National Wildlife Refuge Lands And Fish Hatcheries

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS OR FISH HATCHERIES WITHIN YOUR PROJECT AREA.

Migratory Birds

Certain birds are protected under the Migratory Bird Treaty Act¹ and the Bald and Golden Eagle Protection Act².

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described [below](#).

-
1. The [Migratory Birds Treaty Act](#) of 1918.
 2. The [Bald and Golden Eagle Protection Act](#) of 1940.
 3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

The birds listed below are birds of particular concern either because they occur on the [USFWS Birds of Conservation Concern](#) (BCC) list or warrant special attention in your project location. To learn more about the levels of concern for birds on your list and how this list is generated, see the FAQ [below](#). This is not a list of every bird you may find in this location, nor a guarantee that every bird on this list will be found in your project area. To see exact locations of where birders and the general public have sighted birds in and around your project area, visit the [E-bird data mapping tool](#) (Tip: enter your location, desired date range and a species on your list). For projects that occur off the Atlantic Coast, additional maps and models detailing the relative occurrence and abundance of bird species on your list are available. Links to additional information about Atlantic Coast birds, and other important information about your migratory bird list, including how to properly interpret and use your migratory bird report, can be found [below](#).

For guidance on when to schedule activities or implement avoidance and minimization measures to reduce impacts to migratory birds on your list, click on the PROBABILITY OF PRESENCE SUMMARY at the top of your list to see when these birds are most likely to be present and breeding in your project area.

NAME	BREEDING SEASON
Canada Warbler <i>Cardellina canadensis</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.	Breeds May 20 to Aug 10
Red-headed Woodpecker <i>Melanerpes erythrocephalus</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.	Breeds May 10 to Sep 10

Probability Of Presence Summary

The graphs below provide our best understanding of when birds of concern are most likely to be present in your project area. This information can be used to tailor and schedule your project activities to avoid or minimize impacts to birds. Please make sure you read and understand the

FAQ "Proper Interpretation and Use of Your Migratory Bird Report" before using or attempting to interpret this report.

Probability of Presence (■)

Each green bar represents the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during a particular week of the year. (A year is represented as 12 4-week months.) A taller bar indicates a higher probability of species presence. The survey effort (see below) can be used to establish a level of confidence in the presence score. One can have higher confidence in the presence score if the corresponding survey effort is also high.

How is the probability of presence score calculated? The calculation is done in three steps:

1. The probability of presence for each week is calculated as the number of survey events in the week where the species was detected divided by the total number of survey events for that week. For example, if in week 12 there were 20 survey events and the Spotted Towhee was found in 5 of them, the probability of presence of the Spotted Towhee in week 12 is 0.25.
2. To properly present the pattern of presence across the year, the relative probability of presence is calculated. This is the probability of presence divided by the maximum probability of presence across all weeks. For example, imagine the probability of presence in week 20 for the Spotted Towhee is 0.05, and that the probability of presence at week 12 (0.25) is the maximum of any week of the year. The relative probability of presence on week 12 is $0.25/0.25 = 1$; at week 20 it is $0.05/0.25 = 0.2$.
3. The relative probability of presence calculated in the previous step undergoes a statistical conversion so that all possible values fall between 0 and 10, inclusive. This is the probability of presence score.

Breeding Season (■)

Yellow bars denote a very liberal estimate of the time-frame inside which the bird breeds across its entire range. If there are no yellow bars shown for a bird, it does not breed in your project area.

Survey Effort (|)

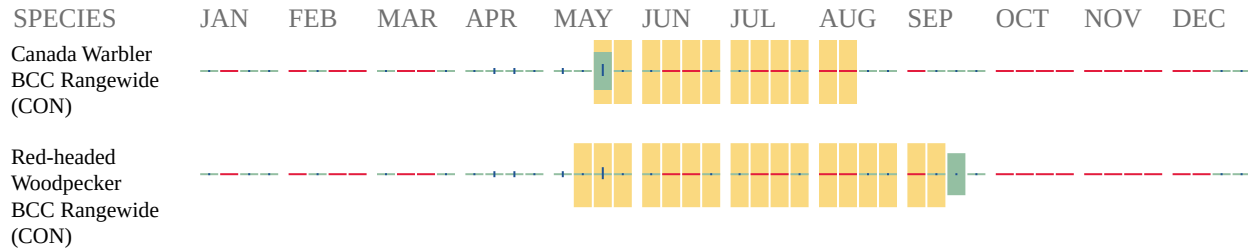
Vertical black lines superimposed on probability of presence bars indicate the number of surveys performed for that species in the 10km grid cell(s) your project area overlaps. The number of surveys is expressed as a range, for example, 33 to 64 surveys.

No Data (—)

A week is marked as having no data if there were no survey events for that week.

Survey Timeframe

Surveys from only the last 10 years are used in order to ensure delivery of currently relevant information. The exception to this is areas off the Atlantic coast, where bird returns are based on all years of available data, since data in these areas is currently much more sparse.



Additional information can be found using the following links:

- Birds of Conservation Concern <http://www.fws.gov/birds/management/managed-species/birds-of-conservation-concern.php>
- Measures for avoiding and minimizing impacts to birds <http://www.fws.gov/birds/management/project-assessment-tools-and-guidance/conservation-measures.php>
- Nationwide conservation measures for birds <http://www.fws.gov/migratorybirds/pdf/management/nationwidestandardconservationmeasures.pdf>

Migratory Birds FAQ

Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.

[Nationwide Conservation Measures](#) describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. [Additional measures](#) or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

What does IPaC use to generate the migratory birds potentially occurring in my specified location?

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [AKN Phenology Tool](#).

What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go to the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

How do I know if a bird is breeding, wintering, migrating or present year-round in my project area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may refer to the following resources: [The Cornell Lab of Ornithology All About Birds Bird Guide](#), or (if you are unsuccessful in locating the bird of interest there), the [Cornell Lab of Ornithology Neotropical Birds guide](#). If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides

birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact [Caleb Spiegel](#) or [Pam Loring](#).

What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.

Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

Wetlands

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

Please note that the NWI data being shown may be out of date. We are currently working to update our NWI data set. We recommend you verify these results with a site visit to determine the actual extent of wetlands on site.

WETLAND INFORMATION WAS NOT AVAILABLE WHEN THIS SPECIES LIST WAS GENERATED.
PLEASE VISIT [HTTPS://WWW.FWS.GOV/WETLANDS/DATA/MAPPER.HTML](https://www.fws.gov/wetlands/data/mapper.html) OR CONTACT THE FIELD OFFICE FOR FURTHER INFORMATION.

IPaC User Contact Information

Agency: PM Environmental

Name: Lindsey Sorensen

Address: 560 5th Street NW, Suite 301

City: Grand Rapids

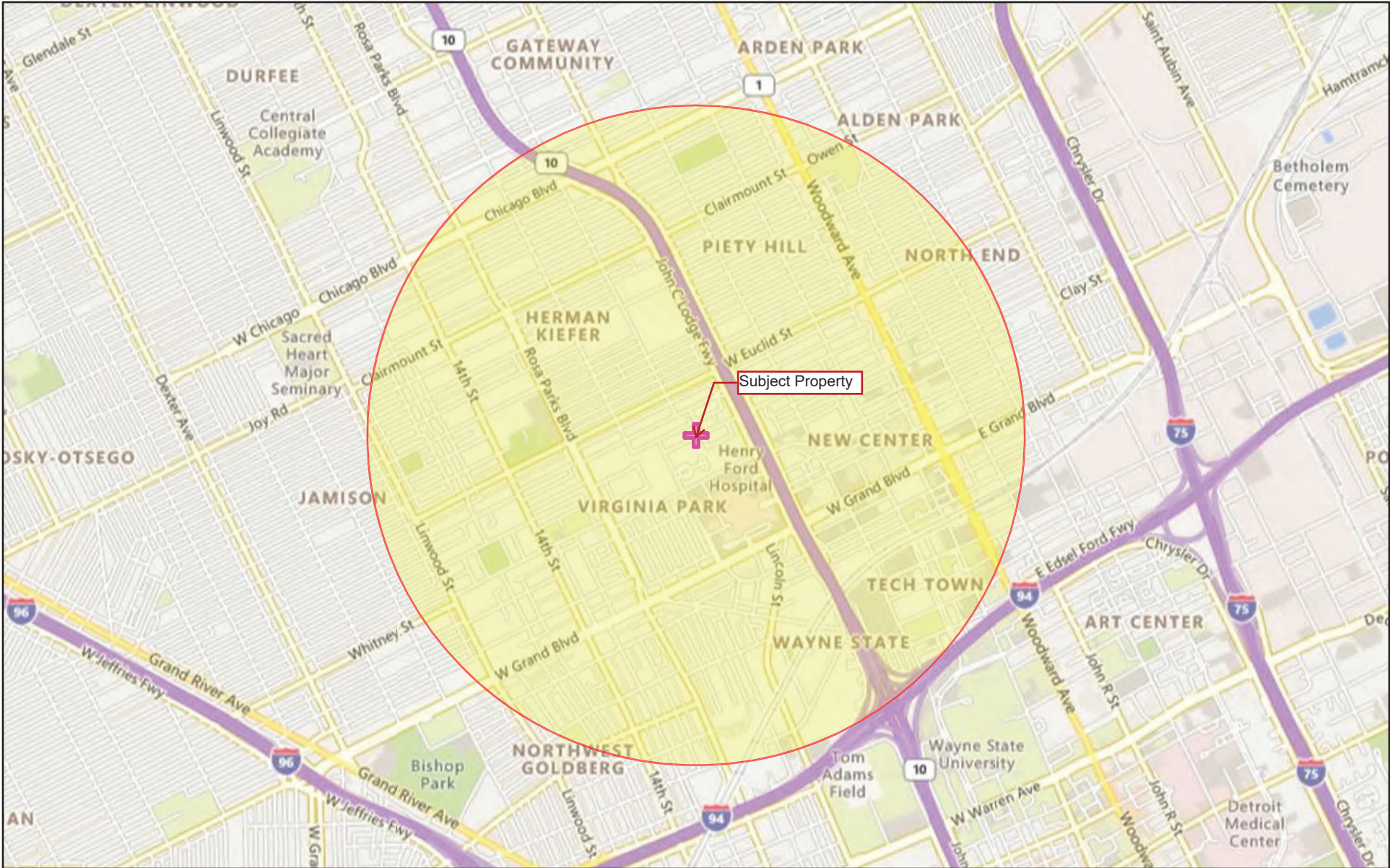
State: MI

Zip: 49504

Email: sorensen@pmenv.com

Phone: 6162221777

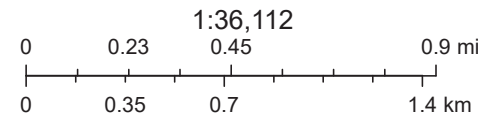
Hazardous Operations/AST Map



March 23, 2022

 Project Buffer

 Search Result (point)





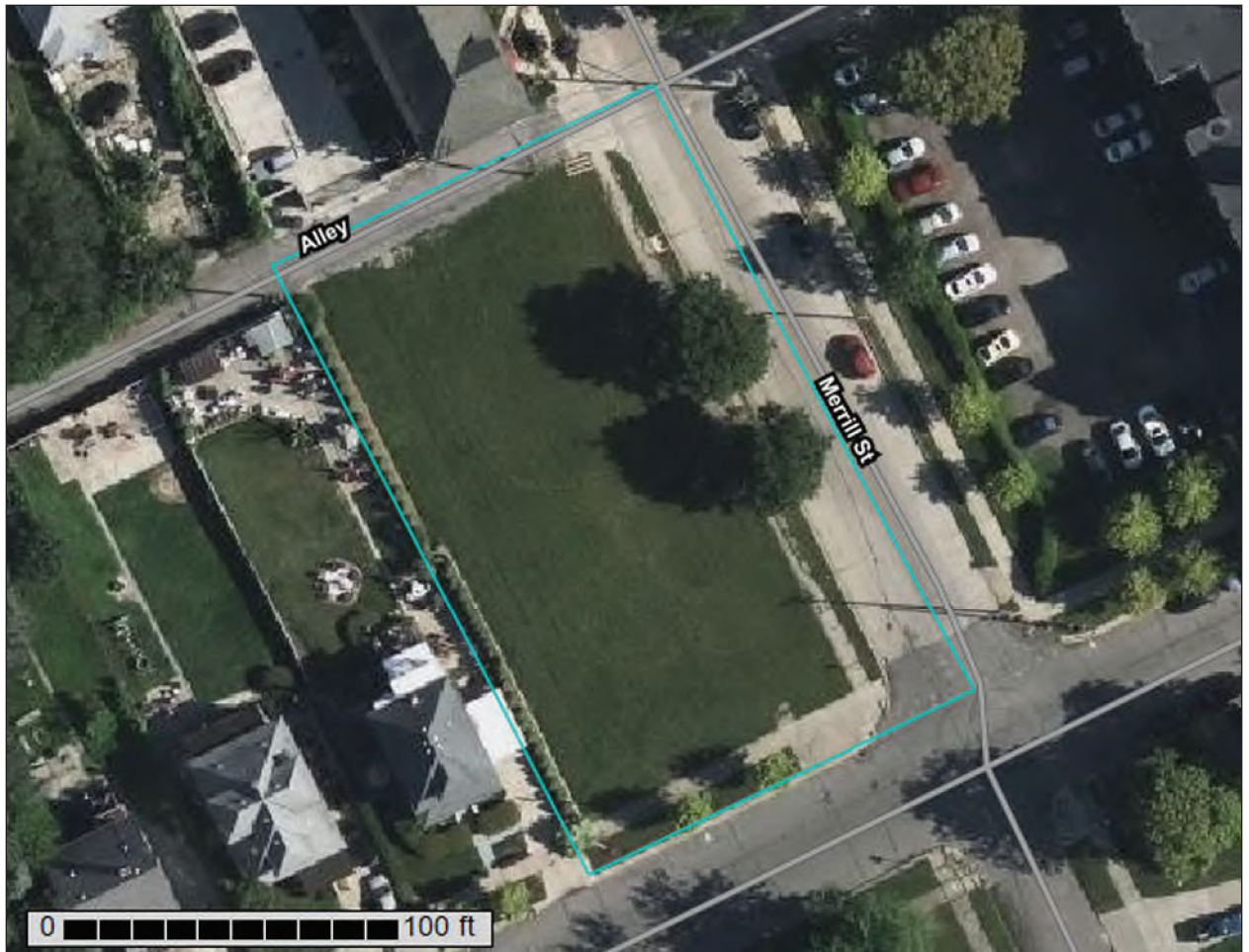
United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for **Wayne County, Michigan**



Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

The U.S. Department of Agriculture (USDA) prohibits discrimination in all its programs and activities on the basis of race, color, national origin, age, disability, and where applicable, sex, marital status, familial status, parental status, religion, sexual orientation, genetic information, political beliefs, reprisal, or because all or a part of an individual's income is derived from any public assistance program. (Not all prohibited bases apply to all programs.) Persons with disabilities who require

alternative means for communication of program information (Braille, large print, audiotape, etc.) should contact USDA's TARGET Center at (202) 720-2600 (voice and TDD). To file a complaint of discrimination, write to USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6382 (TDD). USDA is an equal opportunity provider and employer.

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How Soil Surveys Are Made

Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

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scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

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identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

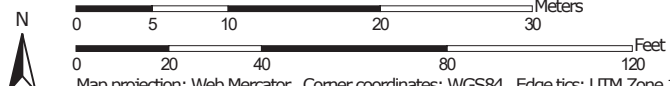
Soil Map

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report Soil Map




Map Scale: 1:497 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)


Soils


 Soil Map Unit Polygons

 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features

 Blowout

 Borrow Pit

 Clay Spot

 Closed Depression

 Gravel Pit

 Gravelly Spot

 Landfill

 Lava Flow

 Marsh or swamp

 Mine or Quarry

 Miscellaneous Water


 Perennial Water

 Rock Outcrop

 Saline Spot

 Sandy Spot

 Severely Eroded Spot

 Sinkhole

 Slide or Slip


 Sodic Spot

 Spoil Area

 Stony Spot


 Very Stony Spot

 Wet Spot

 Other

 Special Line Features

Water Features

 Streams and Canals


Transportation

 Rails


 Interstate Highways

 US Routes

 Major Roads

 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Wayne County, Michigan
 Survey Area Data: Version 7, Sep 7, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 5, 2020—Aug 12, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
ShbubB	Shebeon-Urban land-Avoca complex, 0 to 4 percent slopes	0.6	100.0%
Totals for Area of Interest		0.6	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however,

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onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Wayne County, Michigan

ShhubB—Shebeon-Urban land-Avoca complex, 0 to 4 percent slopes

Map Unit Setting

National map unit symbol: 2v13q
Elevation: 570 to 670 feet
Mean annual precipitation: 28 to 38 inches
Mean annual air temperature: 45 to 52 degrees F
Frost-free period: 135 to 210 days
Farmland classification: Not prime farmland

Map Unit Composition

Shebeon, human transported surface, and similar soils: 40 percent
Urban land: 35 percent
Avoca, human transported surface, and similar soils: 15 percent
Minor components: 10 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Shebeon, Human Transported Surface

Setting

Landform: Wave-worked till plains, water-lain moraines
Down-slope shape: Linear
Across-slope shape: Linear, convex
Parent material: Loamy human-transported material over loamy lodgment till

Typical profile

^Au - 0 to 9 inches: sandy loam
^Cu - 9 to 12 inches: loam
Bwb - 12 to 27 inches: loam
BC - 27 to 31 inches: clay loam
C - 31 to 55 inches: clay loam
Cd - 55 to 80 inches: loam

Properties and qualities

Slope: 0 to 4 percent
Depth to restrictive feature: 51 to 65 inches to densic material
Drainage class: Somewhat poorly drained
Runoff class: Low
Capacity of the most limiting layer to transmit water (Ksat): Very low (0.00 to 0.00 in/hr)
Depth to water table: About 33 to 47 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 30 percent
Gypsum, maximum content: 1 percent
Maximum salinity: Nonsaline (0.1 to 1.5 mmhos/cm)
Available water supply, 0 to 60 inches: Moderate (about 8.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8
Hydrologic Soil Group: C
Ecological site: F099XY007MI - Lake Plain Flats

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Hydric soil rating: No

Description of Urban Land

Properties and qualities

Slope: 0 to 1 percent

Depth to restrictive feature: 0 inches to manufactured layer

Runoff class: High

Capacity of the most limiting layer to transmit water (Ksat): Very low (0.00 to 0.00 in/hr)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 8

Hydrologic Soil Group: D

Hydric soil rating: No

Description of Avoca, Human Transported Surface

Setting

Landform: Wave-worked till plains, water-lain moraines

Down-slope shape: Linear

Across-slope shape: Linear, convex

Parent material: Sandy and loamy human-transported material over sandy glaciolacustrine deposits over loamy lodgment till

Typical profile

^Au - 0 to 9 inches: sandy loam

^Cu - 9 to 12 inches: sandy loam

Ab - 12 to 18 inches: sand

Bwb - 18 to 31 inches: sand

2Cg - 31 to 49 inches: clay loam

2Cd - 49 to 80 inches: loam

Properties and qualities

Slope: 0 to 4 percent

Depth to restrictive feature: 37 to 64 inches to densic material

Drainage class: Somewhat poorly drained

Runoff class: Very low

Capacity of the most limiting layer to transmit water (Ksat): Very low (0.00 to 0.00 in/hr)

Depth to water table: About 19 to 46 inches

Frequency of flooding: None

Frequency of ponding: None

Calcium carbonate, maximum content: 30 percent

Gypsum, maximum content: 1 percent

Maximum salinity: Nonsaline (0.1 to 1.5 mmhos/cm)

Available water supply, 0 to 60 inches: Low (about 5.2 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 8

Hydrologic Soil Group: C

Ecological site: F099XY003MI - Warm Moist Sandy Depression

Hydric soil rating: No

Minor Components

Parkhill, human transported surface

Percent of map unit: 5 percent
Landform: Wave-worked till plains, water-lain moraines
Microfeatures of landform position: Open depressions
Down-slope shape: Linear, concave
Across-slope shape: Linear, convex
Hydric soil rating: No

Midtown

Percent of map unit: 3 percent
Landform: Wave-worked till plains, water-lain moraines
Down-slope shape: Linear
Across-slope shape: Convex, linear
Hydric soil rating: No

Belleville, human transported surface

Percent of map unit: 2 percent
Landform: Wave-worked till plains, water-lain moraines
Microfeatures of landform position: Open depressions
Down-slope shape: Linear, concave
Across-slope shape: Linear, convex
Hydric soil rating: No

Soil Information for All Uses

Suitabilities and Limitations for Use

The Suitabilities and Limitations for Use section includes various soil interpretations displayed as thematic maps with a summary table for the soil map units in the selected area of interest. A single value or rating for each map unit is generated by aggregating the interpretive ratings of individual map unit components. This aggregation process is defined for each interpretation.

Land Classifications

Land Classifications are specified land use and management groupings that are assigned to soil areas because combinations of soil have similar behavior for specified practices. Most are based on soil properties and other factors that directly influence the specific use of the soil. Example classifications include ecological site classification, farmland classification, irrigated and nonirrigated land capability classification, and hydric rating.

Farmland Classification

Farmland classification identifies map units as prime farmland, farmland of statewide importance, farmland of local importance, or unique farmland. It identifies the location and extent of the soils that are best suited to food, feed, fiber, forage, and oilseed crops. NRCS policy and procedures on prime and unique farmlands are published in the "Federal Register," Vol. 43, No. 21, January 31, 1978.

Custom Soil Resource Report Map—Farmland Classification



Map Scale: 1:497 if printed on A portrait (8.5" x 11") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84

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MAP LEGEND








Area of Interest (AOI)







 Area of Interest (AOI)








Soils



Soil Rating Polygons

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season









-  Prime farmland if subsoiled, completely removing the root inhibiting soil layer
-  Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
-  Prime farmland if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance
-  Farmland of statewide importance, if drained
-  Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated

-  Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated and drained
-  Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer
-  Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60











































-  Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough
-  Farmland of statewide importance, if thawed
-  Farmland of local importance
-  Farmland of local importance, if irrigated

-  Farmland of unique importance
-  Not rated or not available






















Soil Rating Lines

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season

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	Prime farmland if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium		Farmland of unique importance		Prime farmland if subsoiled, completely removing the root inhibiting soil layer
	Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of statewide importance, if irrigated and drained		Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season		Not prime farmland		Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
	Prime farmland if irrigated and reclaimed of excess salts and sodium		Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season		All areas are prime farmland		Prime farmland if irrigated and reclaimed of excess salts and sodium
	Farmland of statewide importance		Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season		Prime farmland if drained		Farmland of statewide importance
	Farmland of statewide importance, if drained		Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer		Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer		Prime farmland if protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if drained
	Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60		Farmland of statewide importance, if warm enough		Prime farmland if irrigated		Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
	Farmland of statewide importance, if irrigated		Farmland of statewide importance, if thawed		Farmland of statewide importance, if thawed		Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season		Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
			Farmland of local importance		Farmland of local importance		Prime farmland if irrigated and drained		Farmland of statewide importance, if irrigated
			Farmland of local importance, if irrigated		Farmland of local importance, if irrigated		Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season		

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 Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season	 Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium	 Farmland of unique importance  Not rated or not available	<p>The soil surveys that comprise your AOI were mapped at 1:12,000.</p>
 Farmland of statewide importance, if irrigated and drained	 Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season	<p>Water Features</p>  Streams and Canals	<div style="border: 1px solid black; padding: 5px;"> <p>Warning: Soil Map may not be valid at this scale.</p> <p>Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.</p> </div>
 Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season	 Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season	<p>Transportation</p>  Rails  Interstate Highways  US Routes  Major Roads  Local Roads	
 Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer	 Farmland of statewide importance, if warm enough	<p>Background</p>  Aerial Photography	<p>Please rely on the bar scale on each map sheet for map measurements.</p>
 Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60	 Farmland of statewide importance, if thawed		<p>Source of Map: Natural Resources Conservation Service Web Soil Survey URL: Coordinate System: Web Mercator (EPSG:3857)</p>
	 Farmland of local importance		<p>Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.</p>
	 Farmland of local importance, if irrigated		<p>This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.</p>
			<p>Soil Survey Area: Wayne County, Michigan Survey Area Data: Version 7, Sep 7, 2021</p>
			<p>Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.</p>
			<p>Date(s) aerial images were photographed: Aug 5, 2020—Aug 12, 2020</p>
			<p>The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.</p>

Table—Farmland Classification

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
ShbubB	Shebeon-Urban land-Avoca complex, 0 to 4 percent slopes	Not prime farmland	0.6	100.0%
Totals for Area of Interest			0.6	100.0%

Rating Options—Farmland Classification

Aggregation Method: No Aggregation Necessary

Tie-break Rule: Lower

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Custom Soil Resource Report

United States Department of Agriculture, Natural Resources Conservation Service. National soil survey handbook, title 430-VI. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2_054242

United States Department of Agriculture, Natural Resources Conservation Service. 2006. Land resource regions and major land resource areas of the United States, the Caribbean, and the Pacific Basin. U.S. Department of Agriculture Handbook 296. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_053624

United States Department of Agriculture, Soil Conservation Service. 1961. Land capability classification. U.S. Department of Agriculture Handbook 210. http://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/nrcs142p2_052290.pdf



Coleman A. Young Municipal Center
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www.detroitmi.gov

June 10, 2022

Penny Dwoinen
City of Detroit Housing & Revitalization Department
Coleman A. Young Municipal Center
2 Woodward Avenue, Suite 908
Detroit, MI 48226

RE: Section 106 Review of a CDBG-Funded Project Located at 1312 Seward in the City of Detroit, Wayne County, Michigan

Dear Mrs. Dwoinen,

Under the authority of the National Historic Preservation Act (NHPA) of 1966, as amended, and the “Programmatic Agreement between the Michigan State Historic Preservation Office and the City of Detroit, Michigan...,” dated November 9, 2016, the City of Detroit has reviewed the above-cited project and has determined it to be an undertaking as defined by 36 CFR 800.16(y).

Based on the information submitted to this office on 5/16/2022, we have determined a Historic Property is located within in the Area of Potential Effects (APE) for this project. The Henry Ford Hospital (2799 W. Grand Blvd.), Virginia Park Local Historic District and Damon Keith Flat (1544 Virginia Park) are in the area of indirect effect for this project. Additionally, 1190 and 1360 Seward Avenue retain NRHP significance as circa 1929 apartment buildings. Therefore, per Stipulation V.B of the Programmatic Agreement (PA), the project shall be carried out in accordance with the *Secretary of the Interior’s Standards for the Treatment of Historic Properties*.

This project has been given a **Conditional No Adverse Effect** determination (Federal Regulations 36 CFR Part 800.5(b)) on properties that are listed or eligible for listing in the National Register of Historic Places, as long at the following conditions are met:

- The work is conducted in accordance with the specifications submitted to the Preservation Specialist on 5/16/2022, and,
- Any changes to the scope of work for the project shall be submitted to the Preservation Specialist for review and approval prior to the start of any work.
- Photos of the completed work are submitted to the Preservation Specialist

Please note that the Section 106 Review process will not be complete until the above-mentioned conditions are met. If you have any questions, you may contact the Preservation Specialist at Ciavatonet@detroitmi.gov.

Sincerely,

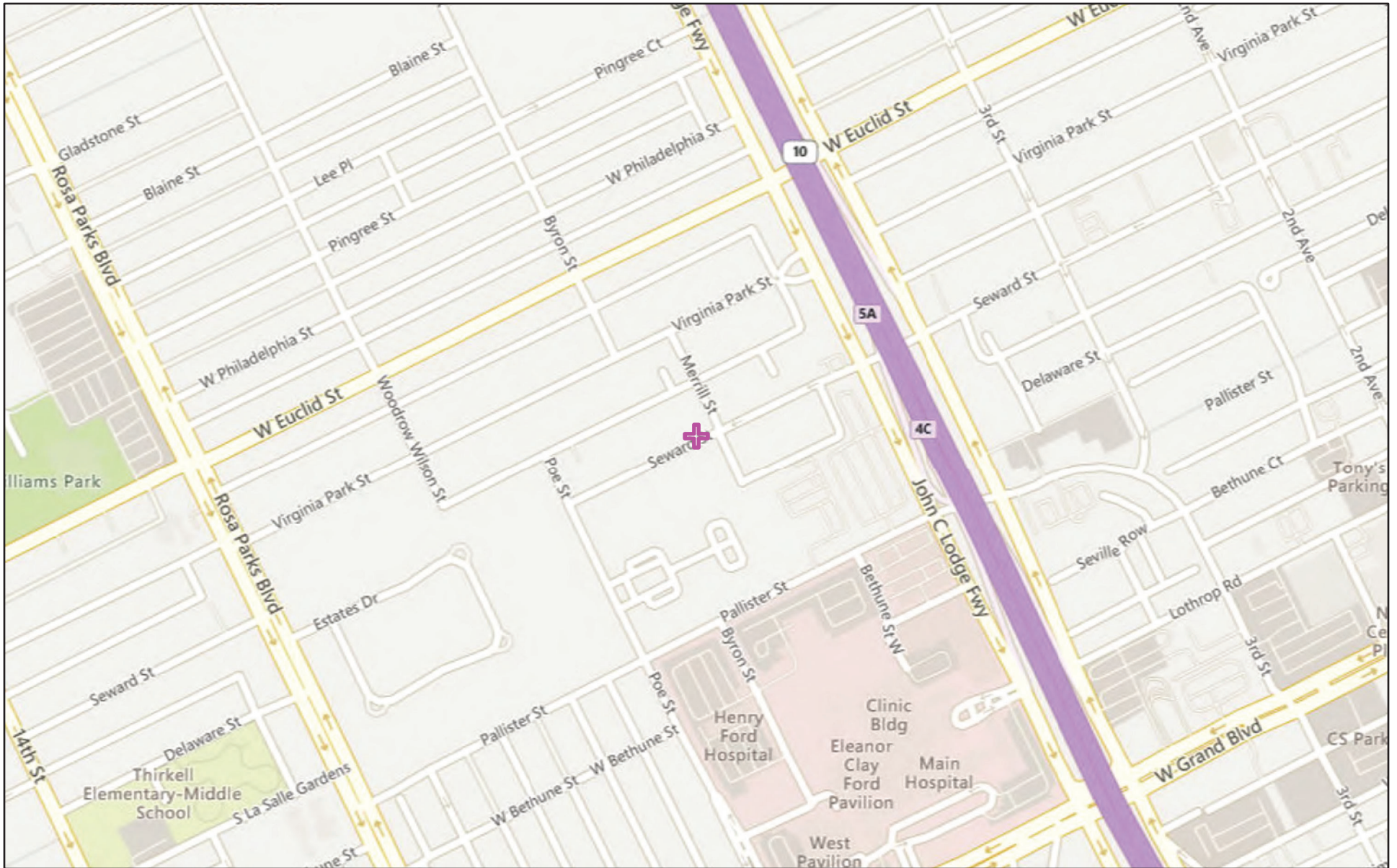


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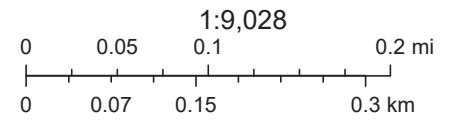
Tiffany Ciavattone
Preservation Specialist
City of Detroit
Housing & Revitalization Department



March 23, 2022

 Search Result (point)

 National Register of Historic Places



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Submit one application for each project for which comment is requested. Consult the Instructions for the Application for HRD Section 106 Consultation Form when completing this application. Once application form is complete please submit via: https://app.smartsheet.com/b/form/1faa296eedac476a9fbf2ef1916ddb99, along with any supplemental attachments, up to 250MB.

- I. GENERAL INFORMATION [X] New submittal [] More information relating to and existing project

- a. Project Name: Merrill Place II
b. Project Municipality: Detroit
c. Project Address: 1312 Seward Avenue, Detroit, Michigan 48202

II. FEDERAL AGENCY INVOLVEMENT AND RESPONSE CONTACT INFORMATION

- a. State Agency Contact (if applicable): City of Detroit Housing and Revitalization Department
Contact Name: Tiffany Ciavattone Preservation Specialist
Contact Address: 2 Woodward Avenue, Suite 908 City: Detroit Zip: MI
Email: Dwoinenp@detroitmi.gov Phone: 313-628-0044
b. Applicant (if different than federal agency): Merrill Place II, LLC
Contact Name: Sauda Ahmed-Green
Contact Address: 18710 Grand River Avenue, Suite 351 City: Detroit State: MI Zip: 48223
Email: saudashakoora@gmail.com Phone: 313-694-9264
c. Consulting Firm (if applicable): PM Environmental
Contact Name: Ginny Dougherty
Contact Address: 4080 West Eleven Mile Road City: Berkley State: MI Zip: 48072
Email: dougherty@pmenv.com Phone: 248-414-1436

III. PROJECT INFORMATION

- a. Project Location and Area of Potential Effect (APE)
i. Maps. Please indicate all maps that will be submitted as attachments to this form.
[X] Street map, clearly displaying the direct and indirect APE boundaries
[X] Site map
[X] USGS topographic map Name(s) of topo map(s): Name(s) of topo map(s)
[X] Aerial map
[X] Map of photographs
[] Other: Identify type(s) of map(s)
ii. Site Photographs
iii. Describe the APE:
The direct APE is bounded by the north, east, south, and west subject property boundaries within the City of Detroit.

The indirect APE is bounded by northern and western boundaries of 1349 Virginia Park Street, northern and eastern boundaries of 1191 Virginia Park Street, the western boundary of 1360 Seward Avenue, eastern boundary of 1190 Seward Avenue, southwestern boundary of 1355 Seward Avenue, and southeastern boundary of 1185 Seward Avenue.



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iv. **Describe the steps taken to define the boundaries of the APE:**

A site reconnaissance of the properties was completed, and an APE was established. The direct APE was established based on the extent of ground disturbing activities proposed for the Project.

The boundaries of the indirect APE were determined by the distance at which the proposed development activities would have minimal impact on the surrounding properties based on the following factors:

Visual

The indirect APE boundary took into consideration existing structures and mature trees visually obstructing the project activities.

Auditory

Noise intensive construction activities located at the subject property will be limited to the days and hours specified under the City's noise ordinance. All construction auditory effects will be temporary and are anticipated to not extend beyond the adjoining properties. Therefore, the adjoining properties are included within the indirect APE boundary.

Land Use

The proposed Project entails restoring the property to its former multi-family residential use from its current use as vacant land. The change in land use will affect the adjoining properties by an increase in population. Therefore, the adjoining properties are included within the indirect APE boundary.

Traffic Patterns

The property will be accessed via Seward Avenue to the south and the Public Alley at the north. Merrill Street is located at the eastern property boundary. Temporary lane closures are anticipated to connect underground utilities and to pave driveway approaches.

Public Access

The project does not reduce any publicly accessible resources, but rather increases accessibility to affordable affordable options to residents.

b. **Project Work Description**

The subject property is currently located on vacant land. The proposed Project will include the construction of a 27-unit, approximately 30,000 square foot, mixed income, multi-family apartment development. The project will consist of three elevated levels of residential units located above an on-grade 30-space parking deck. There will be 9 one-bedroom and 18 two-bedroom units that will be 33% affordable at 50% AMI, 7% affordable at 60% AMI, and 11% affordable housing at 80% AMI. There will also be a 3,000 square foot roof top terrace that will serve as a recreation and amenity space. The building footprint measures approximately 55 feet, 6 inches by 164 feet, 4 inches for approximately 8,974 square feet. Footings will be placed approximately 4 feet below grade.

The proposed exterior finishes will include 8" CMU block on the parking screen wall, aluminum fencing at the parking screen wall and along the property line, aluminum railing located at the balconies and along the property line, brick veneer at the corners of the building and center entrance, horizontal siding at the projected bays and door walls, and fiber cement panel board siding at the residential window levels.

The ground level parking area and drive aisles will be located on the first floor of the building with two ingress/egress drives located along Seward Avenue and a 20' wide public alley to the north. There will be a



total of 30 parking spaces including two handicap spaces. There will be three motorized gate entries and exits constructed - one along the alleyway and two along Seward Avenue. A dumpster enclosure will be constructed at the northeast end of the parking area and will consist of concrete block, CMU, and a wooden gate. There will also be a 6' high masonry screen wall located at the west end of the property line separating the complex from the residential homes located on Seward Avenue. A 5' foot apartment ground sign composed of CMU will also be installed at the southeast corner of the property.

New natural gas, sanitary, storm, and water lines will be installed as part of the development as well as removal of existing flatwork/pavement and landscaping, and installation of new landscape plantings. Utilities will be installed at a depth of three to ten feet and account for approximately 600 linear feet throughout the site. A geothermal system and field will be installed at the western building exterior, measuring approximately 380 square feet.

IV. IDENTIFICATION OF HISTORIC PROPERTIES

a. **Scope of Effort Applied**

- i. **List sources consulted for information on historic properties in the project area** (including but not limited to SHPO office and/or other locations of inventory data).

PM Environmental reviewed listings in the Local, State, and National Register of Historic Places to determine the existence of properties within a registered Historic district or a single historic resource. Katie Kolokithas, Survey Coordinator at SHPO was contacted through the research request email by PM Environmental for information on architectural files housed at Michigan SHPO office. No known architectural sites or eligible sites were located within the Direct or Indirect APE boundaries.

- ii. Provide documentation of previously identified sites as attachments.
- iii. **Provide a map** showing the relationship between the previously identified properties and sites, your project footprint and project APE.
- iv. Have you reviewed existing site information at the SHPO: Yes No
- v. Have you reviewed information from non-SHPO sources: Yes No

b. **Identification Results**

i. **Above-ground Properties**

A. Attach the appropriate [Michigan SHPO Identification Form](#) for each resource or site 50 years of age or older in the APE. Refer to the *Instructions for the Application for SHPO Section 106 Consultation Form* for guidance on this.

B. **Provide the name and qualifications of the person who made recommendations of eligibility for the above-ground identification forms.**

Name Chelsea Dantuma **Agency/Consulting Firm:** PM Environmental, Inc.

Is the individual a 36CFR Part 61 Qualified Historian or Architectural Historian Yes No

Are their credentials currently on file with the SHPO? Yes No

If NO attach this individual's qualifications form and resume.

- ii. **Archaeology** (complete this section if the project involves temporary or permanent ground disturbance) Submit the following information using attachments, as necessary.

A. **Attach Archaeological Sensitivity Map.**

B. **Summary of previously reported archaeological sites and surveys:**



No archaeology needed; project area is less than 0.5 acres. 1312 Seward Avenue is approximately 0.39 acres in size.

- C. **Town/Range/Section or Private Claim numbers:** [town/range/section](#) or [private claim #s](#)
- D. **Width(s), length(s), and depth(s) of proposed ground disturbance(s):** [Width, length, depth of proposed ground disturbance](#)
- E. **Will work potentially impact previously undisturbed soils?** Yes No
If YES, summarize new ground disturbance:
[Summary of new ground disturbance](#)
- F. **Summarize past and present land use:**
[Summary of past and present land use](#)
- G. **Potential to adversely affect significant archaeological resources:**
 Low Moderate High
For moderate and high potential, is fieldwork recommended? Yes No
Briefly justify the recommendation:
[Justification for recommendation of fieldwork](#)
- H. **Has fieldwork already been conducted?** Yes No
If YES:
 Previously surveyed; refer to A. and B. above.
 Newly surveyed; attach report copies and provide full report reference here:
[Full report reference](#)
- I. **Provide the name and qualifications of the person who provided the information for the Archaeology section:**
Name: [Name of archaeologist](#) **Agency/Firm:** [Archaeologist's agency or firm](#)
Is the person a 36CFR Part 61 Qualified Archaeologist? Yes No
Are their credentials currently on file with the SHPO? Yes No
If NO, attach this individual's qualifications form and resume.

Archaeological site locations are legally protected.

This application may not be made public without first redacting sensitive archaeological information.

V. DETERMINATION OF EFFECT

Guidance for applying the Criteria of Adverse Effect can be found in *the Instructions for the Application for SHPO Section 106 Consultation Form.*

a. Basis for determination of effect:

We have determined that the project will have "No Historic Properties Affected" pursuant to 36 CFR 800.5 based on the following: The proposed development of the subject property does not require or include physical damage to a designated or eligible historic structure located on the subject property or within the APE. The properties located on the subject property and/or within the APE that are 50 years or older have suffered from a loss of integrity due to material alterations, additions, or deferred maintenance. The proposed new construction is a record of its own time, and does not imitate, mimic, or create a false sense of historical development within the APE. The proposed new construction utilizes materials and colors that complement the existing historic architecture located within the APE.

b. Determination of effect

No historic properties will be affected

Historic properties will be affected, and the project will (check one):



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- have **No Adverse Effect** on historic properties within the APE.
- have an **Adverse Effect** on one or more historic properties in the APE and the federal agency, or federally authorized representative, will consult with the SHPO and other parties to resolve the adverse effect under 800.6.

Applicant Signature: Sauda Ahmad-Green Date: 5/12/2022

Merrill Development, LLC.

Type or Print Name: Sauda Ahmad-Green

Title: Chief Executive Manager



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ATTACHMENT CHECKLIST

Identify any materials submitted as attachments to the form:

Additional federal, state, local government, applicant, consultant contacts

Maps of project location

Number of maps attached: [number of maps](#)

Site Photographs

Map of photographs

Plans and specifications

Other information pertinent to the work description: [Identify the type of materials attached](#)

Documentation of previously identified historic properties

Architectural Properties Identification Forms

Map showing the relationship between the previously identified properties, your project footprint, and project APE

Above-ground qualified person's qualification form and resume

Archaeological sensitivity map

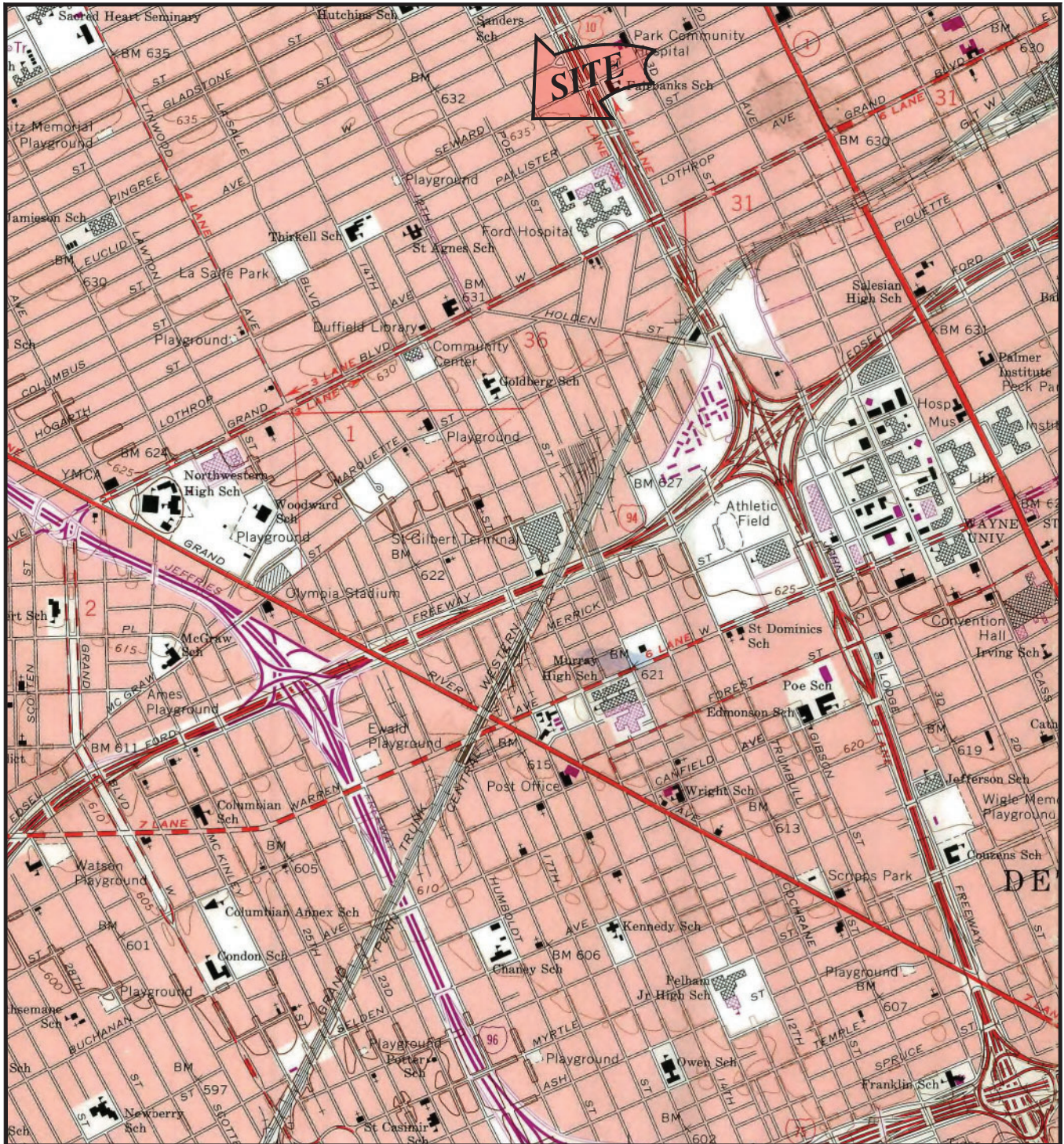
Survey report

Archaeologist qualifications and resume

Other: [Identify other attached materials](#)

7.5 minute USGS Topographic Map





WAYNE COUNTY
FIGURE 1
PROPERTY VICINITY MAP
 UNITED STATES GEOLOGICAL SURVEY, 7.5 MINUTE SERIES
 DETROIT, MI QUADRANGLE, 1968. PHOTO REVISED 1973 AND 1980.



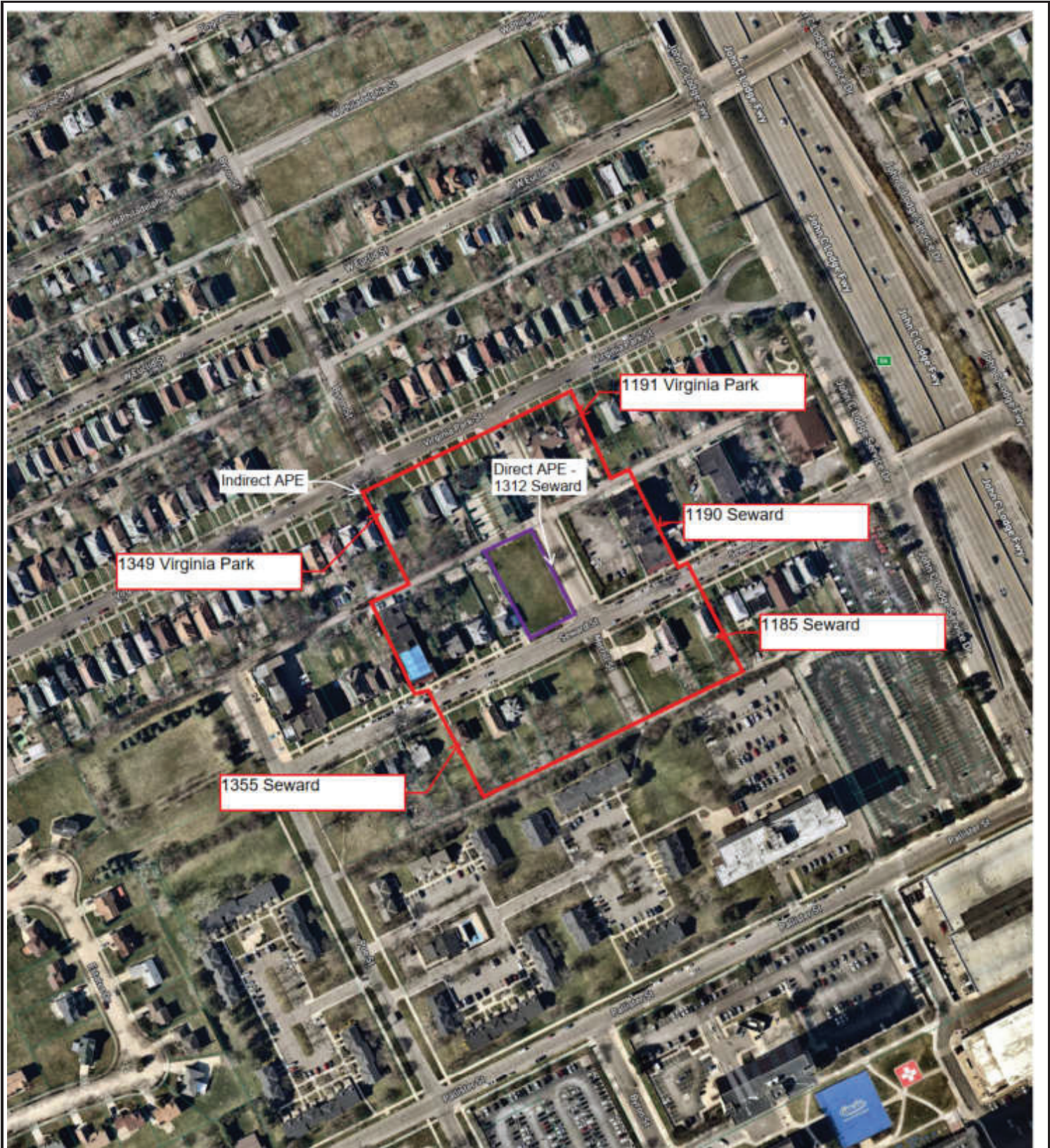
PROJ: VACANT LAND
 1312 SEWARD AVENUE
 DETROIT, MI

THIS IS NOT A LEGAL SURVEY
 VERIFY SCALE
 0 2000'
 IF NOT 1" ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DRN BY: KS/CS	DATE: 12/14/2021
CHKD BY: DN	SCALE: 1" = 2,000'
FILE NAME: 01-11372-0-003F00R00	

APE Map





Area of Potential Effect (APE) Map

1312 Seward Avenue
 1312 Seward Avenue, Detroit, Michigan 48202
 PM Project No. 01-11372-1-0002



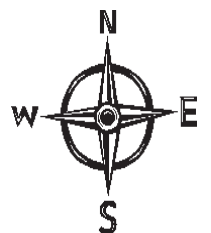
Historic Resources Map





Historic Resources Map

Merrill Place Apartments
 1312 Seward Avenue, Detroit, Michigan 48202
 PM Project No. 01-11372-1-0002








Survey Forms



Section 106 Above-Ground Identification Table

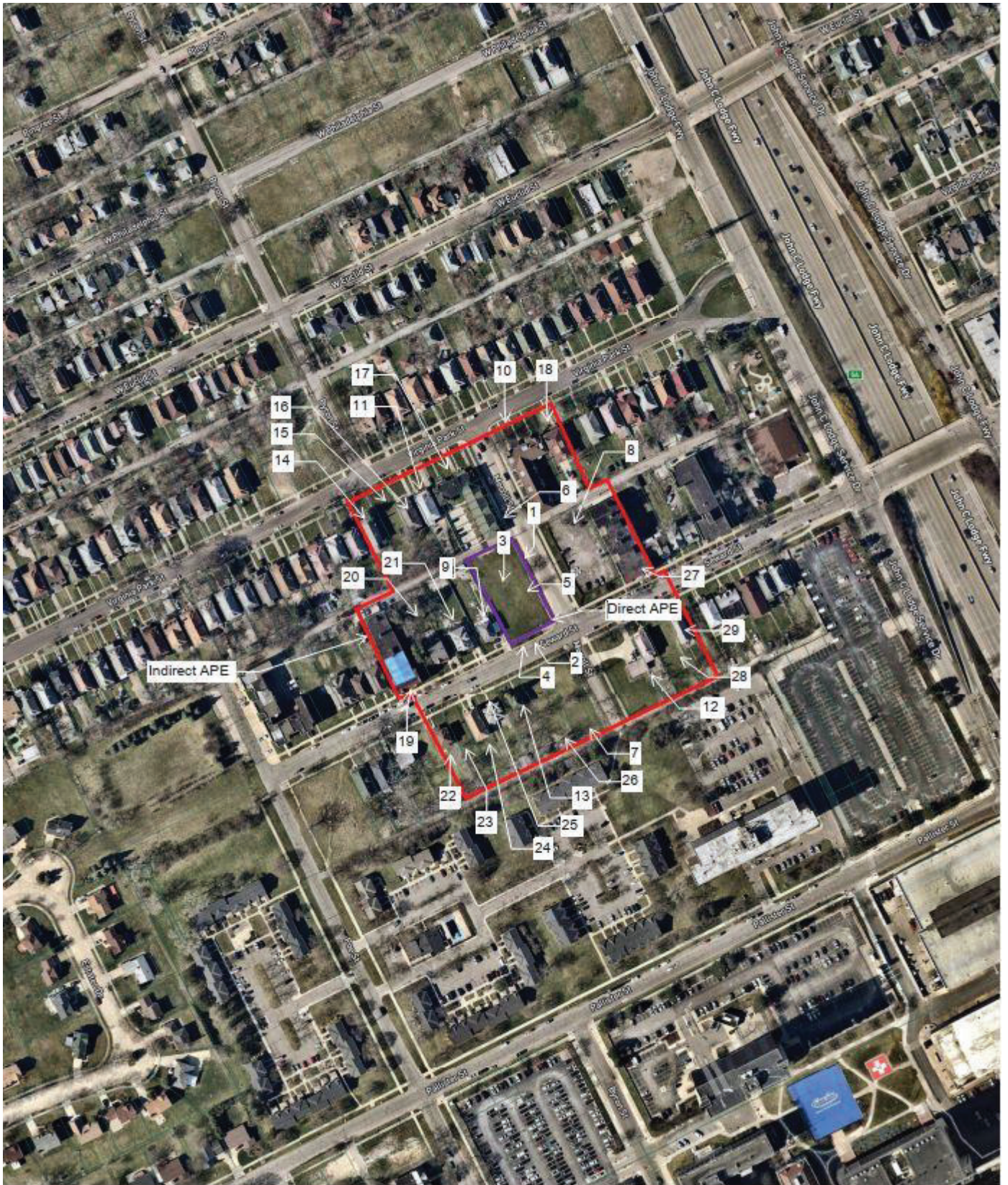
Address (Street number, Street name, City, County)	Date of Construction/A Iterations	Architect	Building style	Materials	Window types	Current Conditions	Historic Integrity	NRHP Criteria	Area of Significance	Period of Significance	NRHP Eligibility Recommendation (eligible, not eligible)	Statement of Significance (provide justification for NRHP eligibility recommendation)	Photograph Thumbnail
1191 Virginia Park Street	1913	N/A	Four Square	Brick and asphalt roof	8-over-8, casement, and double-hung, fixed	Fair	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the board pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	
1197 Virginia Park Street	1916	N/A	Multi-Residence Flat - Craftsman	Brick and asphalt roof	Picture and Double-hung, fixed	Good	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the board pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	
1301 - 1313 Virginia Park Street	1915	N/A	Multi-Residence Flat - Tudor	Brick, plaster, and asphalt roof	Cottage and Double-hung, fixed	Poor	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the board pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	
1317 Virginia Park Street	1914	N/A	Four Square	Brick, vinyl siding, and asphalt roof	Sliding and Double-hung, fixed	Good	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the board pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	
1329 Virginia Park Street	1913	N/A	Four Square	Brick, vinyl siding, and asphalt roof	Picture and Double-hung, fixed	Fair	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the board pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	

1349 Virginia Park Street	1914	N/A	Four Square	Brick and asphalt roof	Double-hung, fixed	Poor	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the borad pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	
1185 Seward Avenue	1915	N/A	Four Square	Brick and asphalt roof	Bay and double-hung, fixed	Fair	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the borad pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	
1190 Seward Avenue	1929	N/A	Apartment Building - Tudor	Brick, rusticated stone foundation, and asphalt roof	Double-hung, fixed	Excellent	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the borad pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	
1201 Seward Avenue	1911	N/A	Four Square	Brick and asphalt roof	Cottage and Double-hung, fixed	Good	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the borad pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	
1322 Seward Avenue	1910	N/A	Four Square	Vinyl siding and asphalt roof	Sliding and Double-hung, fixed	Good	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the borad pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	
1323 Seward Avenue	1912	N/A	Four Square	Vinyl siding and asphalt roof	Double-hung, fixed	Fair	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the borad pattern of our history or persons significant to our past were found to be associated with the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	

1332 Seward Avenue	1915	N/A	Shingle	Wood shingles, modern stone porch, and asphalt roof	Double-hung, fixed	Poor	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the broad pattern of our history or persons significant to the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	
1333 Seward Avenue	1910	N/A	Colonial Revival	Vinyl siding, brick porch, and asphalt roof	Palladian and double-hung, fixed	Good	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the broad pattern of our history or persons significant to the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	
1340 Seward Avenue	1912	N/A	Queen Anne	Vinyl siding, brick porch, and asphalt roof	Double-hung, fixed	Fair	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the broad pattern of our history or persons significant to the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	
1343 Seward Avenue	1914	N/A	Four Square	Brick and asphalt roof	Bay and double-hung, fixed	Poor	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the broad pattern of our history or persons significant to the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	
1355 Seward Avenue	1916	N/A	Four Square	Shingle siding, brick porch, and asphalt roof	Picture, sliding, and double-hung, fixed	Fair	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the broad pattern of our history or persons significant to the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	
1360 Seward Avenue	1929	N/A	Apartment Building - Tudor	Brick, cast stone, stucco, and asphalt roof	Bay and double-hung, fixed	Excellent	N/A	N/A	N/A	N/A	Not Eligible	No known events that have made a significant contribution to the broad pattern of our history or persons significant to the property and as such, Criterion A and Criterion B of the National Register of Historic Places does not apply. The building does not represent the work of a master, possess high artistic values, and does not embody the distinctive characteristics of the type, period, or method of construction.	

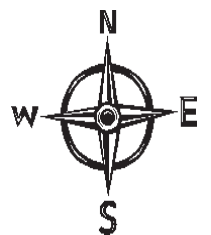
Photograph Location Map





Photograph Location Map

Merrill Place Apartments
 1312 Seward Avenue, Detroit, Michigan 48202
 PM Project No. 01-11372-1-0002



Photographs





Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 1



Subject property overview

Photograph 2



Subject property facing north



Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 3



Subject property facing south

Photograph 4



Subject property facing east



Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 5



Subject property facing west

Photograph 6



North adjacent residential property – 8243 &
8247 Merrill Street (2010)



Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 7



South adjacent property – vacant land

Photograph 8



East adjacent property – 1196 Seward Avenue
(1190 Seward Avenue parking lot)



Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 9



West adjacent residential property – 1322
Seward Avenue (1910)

Photograph 10



Northeast adjacent residential property – 1197
Virginia Park Street (1916)



Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 11



Northwest adjacent residential property – 1317
Virginia Park Street (1914)

Photograph 12



Southeast adjacent residential properties –
1201 & 1209 Seward Avenue (1209 is 1201's
Garage) (1911)



Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 13



Southwest adjacent residential property – 1323
Seward Avenue (1912)

Photograph 14



1349 Virginia Park Street (1914)



Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 15



1339 Virginia Park Street (Vacant)

Photograph 16



1329 Virginia Park Street (1913)



Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 17



1313 – 1301 Virginia Park Street (1915)

Photograph 18



1191 Virginia Park Street (1913)



Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 19



1360 Seward Avenue – The Mimosa (1929)

Photograph 20



1340 Seward Avenue (1912)



Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 21



1332 Seward Avenue (1915)

Photograph 22



1355 Seward Avenue (1916)



Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 23



1349 Seward Avenue (Vacant)

Photograph 24



1343 Seward Avenue (1914)



Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 25



1333 Seward Avenue (1910)

Photograph 26



1313 & 1301 Seward Avenue (Vacant)



Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 27



1190 Seward Avenue – Seward Manor (1929)

Photograph 28



1193 Seward Avenue (Vacant)



Photographs From Site Reconnaissance
PM Project No. 01-11372-1-0002
Location: 1312 Seward Avenue, Detroit, Michigan

Photograph 29



1185 Seward Avenue (1915)

Photograph 30

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Scope of Work



Merrill Place Phase II: Site A

Project Narrative & Executive Summary

Project Description.

Since 2010, S&S Development has developed and operated Merrill Place Phase I – a thriving six-unit condominium complex in the New Center area that is completely occupied with no available units. Merrill Place, Phase I was partially financed with MSHDA, PIP funding. This project, Merrill Place Phase II (Site A), will be a 27-unit, approximately 30,000 square foot, mixed income, multi-family development designed specifically for residents seeking proximity to the expanding medical center campus, New Center and Midtown areas. The acquisition of 1312 Seward from the City of Detroit was completed in May 2018. The project will begin in Fall 2022 with a proposed Fall 2023 open with 95% stabilization within 6 months. More importantly, this will be the project area's first new construction multi-family development in over a decade. Specifically:

- Three elevated levels of residential units located above an on-grade parking deck
 - 27 Residential Rental Units: 9 - one bedroom, 18 – two bedrooms
 - 33% affordable @ 50% AMI
 - 7% affordable @ 60% AMI
 - 11% affordable @ 80% AMI
- Building Area: approximately 30,000 SF
- Recreation/Amenity Space: 3,000 SF Roof Top Terrace
- Parking: 30 spaces on site

The project is anticipating financing subsidy from the following local and state sources:

- Michigan Economic Development Corporation - CRP
- City of Detroit – HOME funds
- Michigan State Housing Development Authority

Impacts.

As indicated in both the Michigan Public Act 210 District and Exemption Certificate applications, this economic development housing initiative plans to create significant construction hiring activity, but as is common with other projects of this type, does not introduce permanent employment for the company post-construction. However, the lasting impacts of the multi-family construction effort and addition of housing units are significant.

Construction and Housing.

The Project will include an initial period of construction lasting 1 year(s) where over \$10 million will be spent to construct new buildings and other real property improvements. It is projected that over 70 construction jobs will be added to the local labor force with efforts to fill said employment through the following:

1. Utilizing a Detroit-based and Headquartered Minority General Contracting Firm.
2. Ensuring that General Contractors and subcontractors are aligned with the City of Detroit Skilled Trades Employment Program (STEP).
3. Ensuring that ownership remains with a Detroit-based minority developer.

The temporary construction activity alone yields approximately \$3 Million dollars in labor salaries. The remaining approximately \$7 Million has the potential to be targeted for Detroit-based and headquartered materials suppliers and other labor. The project will additionally yield the following impacts relative to employment and revenue to

the City of Detroit:

1. The project will add to the income tax base of the City of Detroit via new residents
2. Spur other potential development projects in the area and increase the taxable value on surrounding properties.
3. The creation of new residential units is expected to increase the number of people living in the area; thus, the project will potentially increase the demand for incremental retail, restaurant and other commercial amenities in the area.

Detroit Needs Merrill Place Phase II: The Critical Nature of the Project.

Throughout the downtown and midtown areas, major anchors like The Detroit Medical Center, Wayne State University and Henry Ford Health System have all outstripped available space for permanent residents, University students and medical residents. Merrill Place Phase II will make a significant and important contribution to increasing the amount of housing currently in the Western sector of the New Center area. The Merrill Place Phase II project will counter the existing blighting influences of vacant lots and dilapidated housing stock found at the project site through demolition and new construction, and essentially reverse the decline of this block through the introduction of new residential space.

Merrill Place II (Site A) will contribute to the overall massing of the area, bridging the gap between the neighborhood to the North and the robust activity of West Grand Boulevard. It will help define and complete the planning efforts of the area with the introduction of an accessible multi-family development. This residential project will play an indispensable role in adding to the diversity, stability, and safety of the New Center and hospital system area. The uses of the building will create an influx of students, residents and families that will translate to a higher quality of life and continued economic development in the neighborhood for decades to come.

The project site is in a qualified low-income census tract number 5326. Census data shows that 42.4% of its residents live below poverty level – its mere presence will be both transformational and catalytic. The entire project was based upon the principle of increased community development in a distressed area that neighbors a robust area - and the plan was created around this concept, as such, we will create a mixed-income neighborhood for Detroiters of all backgrounds.

Funds in the New Center area make sense: Merrill Development closes the loop.

Economic and commercial banking conditions have made **every** Detroit project, from the largest to the smallest, seek creative financing to offset inflated construction costs coupled with relatively stationary rental rates. Without support and financing considerations this project could not be undertaken.

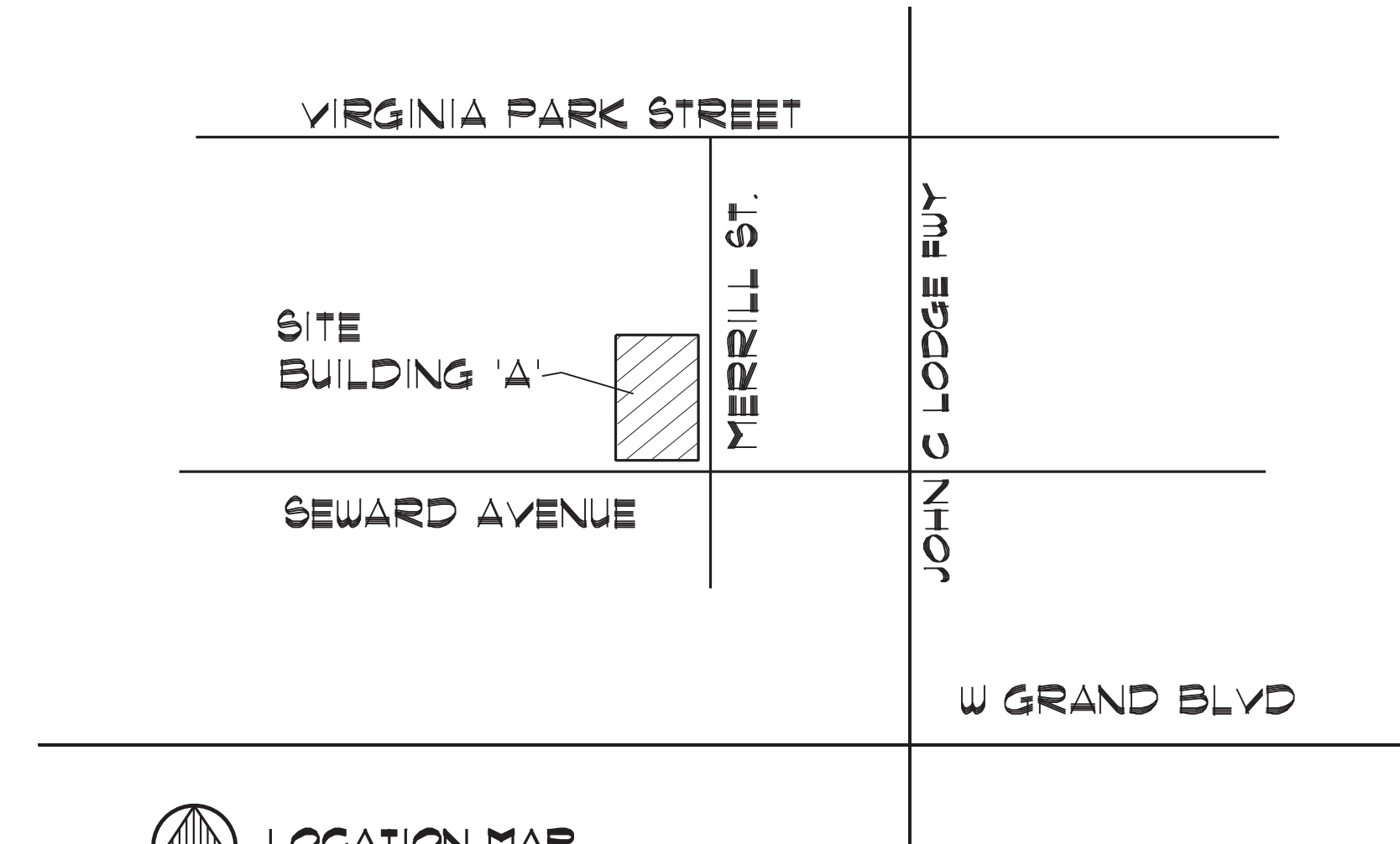
S&S Development Group, LLC | 18701 Grand River Ave, Suite 351, Detroit, MI 48223 | phone 313.694.9264 | fax 313.221.9586

Project Plans



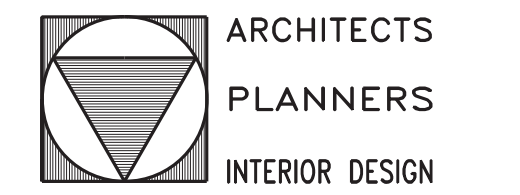
MERRILL PLACE -APARTMENTS

DETROIT, MICHIGAN



LOCATION MAP
NO SCALE

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(313)694-9264 (DIRECT)
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2365 HAGGERTY RD SOUTH
CANTON, MI 48108

STRUCTURAL ENGINEERS:

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MEP ENGINEERS:

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81000 W INTERSTATE 10, SUITE 312
SAN ANTONIO, TX 78230
OFFICE: 210-736-4265
CELL: 210-793-3199
WWW.M52-INC.COM

LIST OF DRAWINGS					LIST OF DRAWINGS				
● NEW SHEET	○ EXISTING SHEET CHANGED	○ NO CHANGE							
COVER SHEET	G1.00	●	○						
EXISTING SITE CONDITIONS	C-1	●							
SITE PLAN	C-2	●							
GRADING UTILITY PLAN	C-3	●							
STORM SEWER PROFILE	C-4	●							
LANDSCAPE PLAN	C-5	●							
SITE DETAILS	C-6	●							
SITE DETAILS	C-7	●							
SITE DETAILS	C-8	●							
SOIL EROSION CONTROL DETAILS & NOTES	C-9	●							
GENERAL NOTES	G1.01	●	○						
GENERAL NOTES	G1.02	●	○						
EGRESS & CODE ANALYSIS	G1.03	●	○						
SITE PLAN	SP1.01	●	○						
NOT USED	A1.01	●	○						
FIRST FLOOR -GROUND LEVEL - PARKING	A1.02	●	○						
SECOND FLOOR PLAN	A1.03	●	○						
THIRD FLOOR PLAN	A1.04	●	○						
FOURTH FLOOR PLAN	A1.05	●	○						
ROOF (TERRACE) PLAN	A1.06	●	○						
UNIT PLANS - SCHEMATIC POWER & LIGHTING	A1.07	●	○						
COMMON SPACE - FINISH MATERIAL PLANS	A1.08	●	○						
UNIT '1' & '2' - FINISH MATERIAL PLANS	A1.09	●	○						
UNIT '3', '4' & 'ADA UNIT' - FINISH MATERIAL PLANS	A1.10	●	○						
EXTERIOR ELEVATIONS	A2.01	●	○						
EXTERIOR ELEVATIONS	A2.01	●	○						
BUILDING SECTION	A3.01	●	○						
BUILDING SECTION	A3.02	●	○						
BUILDING SECTION	A3.02	●	○						
BUILDING SECTION	A3.02	●	○						
INTERIOR ELEVATIONS - KITCHENS	A4.01	●	○						
INTERIOR ELEVATIONS - BATHROOMS	A4.02	●	○						
INTERIOR ELEVATIONS - BATHROOMS	A4.03	●	○						
INTERIOR ELEVATIONS - LOBBY PLAN	A4.04	●	○						
INTERIOR ELEVATIONS - LOBBY PLAN	A4.05	●	○						
INTERIOR ELEVATIONS - LOBBY PLAN	A4.06	●	○						
DETAILS - ELEVATORS	A5.01	●	○						
DETAILS - STAIRS	A5.02	●	○						
WALL SECTION & DETAILS	A5.03	●	○						
WALL SECTION & DETAILS	A5.04	●	○						
WALL SECTION & DETAILS	A5.05	●	○						
DETAILS - ROOF	A5.06	●	○						
DOOR SCHEDULE - 1ST FLOOR & ROOF	A6.01	●	○						
DOOR SCHEDULE - 2ND FLOOR	A6.02	●	○						
DOOR SCHEDULE - 3RD FLOOR	A6.03	●	○						
DOOR SCHEDULE - 4TH FLOOR	A6.04	●	○						
GENERAL NOTES	S-100	●							
GENERAL NOTES	S-101	●							
SPECIAL INSPECTION REQUIREMENTS	S-102	●							
FOUNDATION PLAN	S-200	●							
SECOND FLOOR FRAMING PLAN	S-201	●							
THIRD & FOURTH FLOOR FRAMING PLAN	S-202	●							
ROOF FRAMING PLAN	S-203	●							
PENTHOUSE ROOF FRAMING PLAN	S-204	●							
STRUCTURAL DETAILS	S-300	●							
STRUCTURAL DETAILS	S-301	●							
STRUCTURAL DETAILS	S-302	●							
STRUCTURAL DETAILS	S-303	●							
GENERAL NOTES	MEP1.1	●							
GENERAL NOTES	MEP1.2	●							
GENERAL NOTES	MEP1.3	●							
GENERAL NOTES	MEP1.4	●							
GENERAL NOTES	MEP1.5	●							
GENERAL NOTES	MEP1.6	●							
GENERAL NOTES	MEP1.7	●							
GENERAL NOTES	MEP1.8	●							
MEP SITE PLAN	MEP2.1	●							
MEP ROOF PLAN	MEP2.2	●							
MECHANICAL PLANS -FIRST FLOOR & SECOND FLOOR	M2.1	●							
MECHANICAL PLANS -THIRD FLOOR & FOURTH FLOOR	M2.2	●							
MECHANICAL UNIT PLANS -TYPE 'A', TYPE 'B', TYPE 'C' & TYPE 'D'	M3.1	●							
WATER SOURCE HEAT PUMP RISER DIAGRAM	M4.1	●							
PUMP ROOM DETAILS & SCHEDULES	M4.2	●							
ELECTRICAL -LIGHTING PLAN FIRST FLOOR & SECOND FLOOR	E2.1	●							
ELECTRICAL -LIGHTING PLAN THIRD FLOOR & FOURTH FLOOR	E2.2	●							
ELECTRICAL -POWER PLAN FIRST FLOOR & SECOND FLOOR	E3.1	●							
ELECTRICAL -POWER PLAN THIRD FLOOR & FOURTH FLOOR	E3.2	●							
ELECTRICAL UNIT PLANS -TYPE 'A', TYPE 'B', TYPE 'C' & TYPE 'D'	E3.3	●							
ELECTRICAL RISER DIAGRAM	E4.1	●							
ELECTRICAL PANEL SCHEDULES	E4.2	●							
ELECTRICAL PANEL SCHEDULES	E4.3	●							
ELECTRICAL LIGHT FIXTURE SCHEDULE	E4.4	●							
ELECTRICAL DETAILS	E5.1	●							
PLUMBING -UNDERGROUND & FLOOR PLUMBING	P1.1	●							
PLUMBING -SECOND FLOOR & THIRD FLOOR	P2.1	●							
PLUMBING -FOURTH FLOOR	P2.2	●							
PLUMBING FIXTURE SCHEDULE & GAS RISER DIAGRAM	P3.1	●							
PLUMBING DETAILS	P3.2	●							
DEFERRED SUBMITTALS: THE FOLLOWING DOCUMENTS WILL BE SUBMITTED AS DEFERRED SUBMITTALS									
-ENGINEERED FIRE ALARM SYSTEM DRAWINGS AND RELATED SPECIFICATIONS.									
-ENGINEERED FIRE DETECTION SYSTEM DRAWINGS AND RELATED SPEC.									

MERRILL PLACE -APARTMENTS
PHASE I
1312 SEWARD
DETROIT, MICHIGAN

ISSUED FOR:
6 SEPT 19
CHECK SET
10 NOV 19
BID SET
15 APRIL 2020
RE-BID SET

SHEET# G1.00

DATE: 15 APRIL 2020

JOB# 13054

GENERAL NOTES:

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION.

ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE BUILDING AND OTHER PERMITS REQUIRED FOR THE COMPLETION OF THE WORK.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE. NOTIFY THE ARCHITECT OR OWNER PRIOR TO COMMENCING WORK OF ANY DISCREPANCIES, CONFLICTS OF OMISSIONS IN THE CONSTRUCTION DOCUMENTS AND BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS. AN ADDENDUM WILL BE ISSUED AS NECESSARY AND WILL BECOME A PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.

ALL MATERIALS TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. IF ANY INFORMATION ON ANY A/E DRAWINGS (IE: PLANS, DRAWINGS, DETAIL, ETC.) CONFLICT WITH MANUFACTURER'S REQUIREMENTS, CONTRACTOR TO NOTIFY ARCHITECT. FOR THOSE CONFLICTS OR DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER, IT WILL BE PRESUMED THAT THE CONTRACTOR HAS BUILT TO MEET THE PRODUCT MANUFACTURER'S REQUIREMENTS. IF MFG. REQUIREMENTS ARE NOT MET, ANY WORK IN QUESTION WILL NEED TO BE REPLACED AT THE CONTRACTOR'S COST.

CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND /OR DEBRIS AND PROVIDE FINAL CLEAN UP OF JOB SITE PRIOR TO MOVE-IN.

CONTRACTOR TO PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE SAFETY OF THE GENERAL PUBLIC DURING CONSTRUCTION.

CONTRACTOR TO PROVIDE ALL NECESSARY FIRE EXTINGUISHERS.

CONCRETE

PART 1 - GENERAL

- A. PROVIDE AND INSTALL CONCRETE AS INDICATED ON THE DRAWINGS.
- B. CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF "AMERICAN CONCRETE INSTITUTE" CODES AND STANDARDS INCLUDING ACI 309/ACI 318.
- C. CONCRETE STRENGTHS ARE AS FOLLOWS: CLASS 3000 PSI INTERIOR SLABS (OR MIN. REQUIRED PER LANDLORD SPECIFICATIONS.) ACI 318.
- D. REINFORCEMENT.
- E. BONDING AGENT (IF REQUIRED):
 1. "SONOBOND" EPOXY CONCRETE BONDING AGENT OR EQUAL
 - a. MANUFACTURER: CHEMREX, INC. 889 VALLEY PARK DRIVE SHAROTREE, MINNESOTA 55379-1894
 2. CONSULT MANUFACTURER FOR APPLICATION PROCEDURE.
 3. ASTM C881
- F. VAPOR BARRIER
 1. SLAB ON GRADES TO RECEIVE 6 MIL. CLEAR OR BLACK POLYETHYLENE FILM WITH MINIMUM OF 12" OVERLAP. TAPE ALL SEAMS.

PART 2 - PREPARATION / EXECUTION

- A. CONCRETE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR STRENGTH CONSISTENCY, PROPORTIONS AND HANDLING OF CONCRETE.
- B. VERIFY THAT COMPACTED GRANULAR BASE IS IN PLACE AND READY TO SUPPORT SLAB AND IMPOSED LOADS.
- C. VERIFY GRADIENT AND ELEVATIONS OF BASE ARE CORRECT, THICKNESS AND REINFORCING AS SHOWN ON DRAWINGS.
- D. IMMEDIATELY AFTER PLACEMENT, PROTECT PAVEMENT FROM MECHANICAL DAMAGE.
- E. DEPOSIT CONCRETE WITHIN ANY ONE SECTION CONTINUOUSLY SO THAT NO CONCRETE WILL BE PLACED ON OLDER CONCRETE WHICH HAS SET SUFFICIENTLY TO RIND UNDER TROUDEL. GIVE SLAB BEYOND TROUDEL TO PRODUCE SMOOTH, DENSE SURFACE, DUSTING OF SURFACES WITH CEMENT IS PROHIBITED.
- F. PLACE SLABS FOR FULL THICKNESS IN ONE OPERATION, WITHOUT CHANGES IN PROPERTIES, SCREED TO PROPER ELEVATION, FLOAT AND LIGHT TROUDEL, UNLESS OTHERWISE SPECIFIED, WHEN CONCRETE HAS SET SUFFICIENTLY TO RIND UNDER TROUDEL. GIVE SLAB BEYOND TROUDEL TO PRODUCE SMOOTH, DENSE SURFACE, DUSTING OF SURFACES WITH CEMENT IS PROHIBITED.
- G. COMPACT SUB GRADE FOR SLABS ON GRADE TO 95 OPTIMUM DENSITY. PROVIDE MIN. 6" COMPACTED CRUSHED GRAVEL SUB-BASE AT ALL AREAS TO RECEIVE NEW CONCRETE.
- H. FINISHES
 1. GIVE TYPICAL INTERIOR FLOOR SLABS A STEEL TROUDEL FINISH WITH CLASS A TOLERANCE (TRUE PLANES WITHIN 1/8 IN 10 FT. AS DETERMINED BY A 10 FT. STRAIGHTEDGE PLACED ANYWHERE ON SLAB IN ANY DIRECTION).
- J. PROVIDE SAW CUT CONTROL JOINTS 1/8" WIDTH X 1" DEEP AT MAXIMUM 400 SQUARE FOOT AREA.
- K. APPLY BONDING AGENT (AS SPECIFIED) TO ADJACENT CONCRETE SURFACES IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE.
- L. EXPANSION JOINT MATERIAL, 1/2" PRE-FORMED ASPHALT IMPREGNATED FIBERBOARD, 5/16" DEPTH AS CONCRETE.

INSULATION AND WATERPROOFING

- A. FOR INSULATION REQUIRED AT DUCTWORK, PLUMBING LINES, ETC. SEE MECHANICAL / ELECTRICAL SPECIFICATIONS AND DRAWINGS.
- B. BATT INSULATION
 1. FURNISH AND INSTALL 3 1/2" MIN. BATT TYPE INSULATION AT EXTERIOR WALLS OR AS SOUND ATTENUATION BLANKET WHERE SHOWN AND AS SPECIFIED ON DRAWINGS.
 2. EXTEND FROM FLOOR TIGHT TO ROOF DECK ABOVE.
 3. FURNISH AND INSTALL #20 MIL. VISOQUEEN VAPOR BARRIER AT EXTERIOR WALLS ON WARM SIDE OF STUDS.
- C. GENERAL CONTRACTOR TO PROVIDE AND INSTALL WATERPROOFING MEMBRANE OVER ENTIRE FLOOR OF REST ROOMS BELOW FINISH FLOORING AND UP WALL A MIN. 4" (ONLY WHERE REST ROOMS ARE LOCATED ABOVE ANOTHER FLOOR.) APPLY PER MANUFACTURER'S INSTRUCTIONS AND CALK AS REQ'D TO MATCH ADJACENT FINISHES.
- D. G.C. SHALL SLEEVE, FIRESTOP FLASH AND CALK ALL PENETRATIONS OF FLOORS SO THAT OODORS OR LIQUIDS WILL NOT PENETRATE THE SLAB AT THESE OPENINGS. SUCH SLEEVES SHALL BE INSTALLED ACCORDING TO THE LANDLORD STANDARD DETAILS.

STRUCTURAL STEEL

PART 1 - GENERAL

- A. PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY FOR COMPLETE INSTALLATION OF STEEL FRAMING AND SUPPORT MEMBERS, ANGLES, PLATES, ANCHOR BOLTS, REQUIRED FOR THE CONNECTION, SETTING AND BEARING OF COMPLETE STRUCTURE AS SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN.
- B. SEE STRUCTURAL DOCUMENTS FOR ADDITIONAL SPECIFICATIONS/STANDARDS.
- C. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE PROJECT IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE STABILITY OF THE BUILDING AND ITS COMPONENT PARTS AND ADEQUACY OF TEMPORARY SUPPORT DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, GUY OR TIE DOUGHS MIGHT BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON DRAWINGS. IF APPLIED, THEY SHALL BE REMOVED AS CONDITIONS PERMIT AND SHALL REMAIN CONTRACTOR'S PROPERTY.
- D. PROVIDE OPENINGS AND SPECIAL FRAMING REQUIRED BY OTHER TRADES, MECHANICAL FRAMING LOADS, OPENINGS, AND STRUCTURE RELATED TO MECHANICAL REQUIREMENTS ARE SHOWN FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL OBTAIN WRITTEN SIGN-OFF FROM MECHANICAL AND OTHER TRADES FOR SPECIFIC REQUIREMENTS BEFORE PROCEEDING WITH SUCH WORK. ARCHITECT'S OR ENGINEER'S APPROVAL OF ERECTION AND SHOP DRAWINGS SHALL NOT RELIEVE CONTRACTOR FROM THIS RESPONSIBILITY.
- E. VERIFY THE EXACT SIZE AND LOCATION OF ALL OPENINGS PRIOR TO FABRICATION OF STEEL FRAMING MEMBERS.
- F. SHOP DRAWINGS: SUBMIT SHOP DRAWINGS TO ARCHITECT INDICATING SHOP AND ERECTION OF DETAILS, INCLUDING CUTS, CONNECTIONS, HOLES, THREADED FASTENERS AND WELDS.
- G. WELDING PROCEDURES, WELDERS, WELDING OPERATIONS AND TACKERS SHALL BE QUALIFIED IN ACCORDANCE WITH AWS-D11 "STRUCTURAL WELDING CODE".
- H. FABRICATOR SHALL BE A MEMBER OF AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- J. FABRICATE STRUCTURAL STEEL IN ACCORDANCE WITH AISC "SPECIFICATIONS" FOR DESIGN AND FABRICATION OF STRUCTURAL STEEL FOR BUILDINGS" AND "CODE OF STANDARD PRACTICE".
 1. UNLESS OTHERWISE SHOWN, FABRICATOR SHALL DESIGN/DETAIL CONNECTIONS IN CONFORMANCE WITH AISC STANDARD FOR FORCES AND MOMENTS SHOWN.
 2. WHERE FASTENING SPACINGS OR SIZES ARE NOT SHOWN, CONTRACTOR SHALL USE SPACINGS AND SIZES OF BOLTS, SCREWS, WELDS, ETC., WHICH WILL DEVELOP THE FULL STRENGTH OF THE MEMBERS BEING FASTENED. THIS FAILURE DUE TO OVER-STRESSING MUST OCCUR IN THE MEMBERS BEFORE OCCURRING IN THE FASTENINGS.

PART 2 - PREPARATION / EXECUTION

- A. PRE-ASSEMBLE ITEMS IN SHOP TO GREATEST POSSIBLE EXTENT TO MINIMIZE FIELD SPLIVING AND ASSEMBLY. DISASSEMBLE UNITS ONLY AS NECESSARY FOR SHIPPING AND HANDLING LIMITATIONS. CLEARLY MARK UNITS FOR RE-ASSEMBLY AND COORDINATE INSTALLATION.
- B. SHOP CONNECTIONS SHALL BE WELDED.
- C. FIELD CONNECTIONS - HIGH STRENGTH FASTENERS SHALL BE USED FOR BOLTED CONNECTIONS.
 1. STRUCTURAL STEEL F136 KSI STEEL, ASTM A36.
 2. STRUCTURAL STEEL TUBING, F146 KSI COLD-FORMED TUBING EXCEPT ROUND, ASTM A500-60 GRADE B.
 3. STEEL PIPE, ASTM A53, GRADE B.
 4. ANCHOR BOLT, CONFORM TO ASTM A 307.
 5. WELDING ELECTRODES, ASTM A188, E-70 OR BETTER.
 6. HIGH STRENGTH THREADED FASTENERS, ASTM A325 OR A-490.
 7. METAL STUDS: SIZE ACCORDING TO CONSTRUCTION DOCUMENTS X 20 GAUGE STEEL AT 16" O.C. TRACKS TO BE ANCHORED BY MEDIUM POWER EXTERIOR/INTERIOR METAL STUDS: SIZE ACCORDING TO CONSTRUCTION DOCUMENTS X 25 GAUGE AT 16" O.C.
- D. EXTERIOR/INTERIOR METAL STUDS: SIZE ACCORDING TO CONSTRUCTION DOCUMENTS X 25 GAUGE AT 16" O.C.
- E. SHOP PAINT PRIMER: STANDARD PRIMER:
 - a. 595C PAINT IS
 - b. TNEMEC 1009 GRAY METAL PRIMER
 - c. MARTIN-SENOUR CO. 7664 RED OXIDE ZINC CHROMATE PRIMER
 - d. PRATT AND LAMBERT NOXIDE 101, ONE DAY PRIMER-GRAY
- F. STEEL SHALL BE CLEAN AND FREE FROM OIL, DIRT, LOOSE MILL SCALE AND ANY OTHER SUBSTANCE THAT WOULD IMPAIR WELDING OR PERFORMANCE OF FRICTION-TYPE BOLTED CONNECTION.

JOINT SEALERS / CAULKING

PART 1 - GENERAL

- A. PROVIDE AND INSTALL EXPANSION JOINT MATERIAL, SEALANTS AND JOINT BACKING FOR JOINTS BETWEEN DISSIMILAR MATERIALS.
 1. SILICONE SEALANTS (TYPE 5): ASTM C920, SINGLE COMPONENT, NON-SAGGING, NON-STAINING, NON-BLEEDING, FOR USE AS GENERAL CAULKING, COLOR TO MATCH ADJACENT SURFACES, MANUFACTURER BY SILICONES OR EQUAL.
 2. JOINT BACKING: ROUND, OPEN CELL POLYETHYLENE FOAM ROD.

PART 2 - PREPARATION / EXECUTION

- A. REMOVE LOOSE MATERIALS AND FOREIGN MATTER WHICH MIGHT IMPAIR ADHESION OF SEALANT.
- B. CLEAN AND PRIME JOINTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- C. PROTECT ELEMENTS SURROUNDING THE WORK OF THIS SECTION FROM DAMAGE OR DISFIGURATION.
- D. INSTALL SEALANT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- E. INSTALL JOINT BACKING.
- F. APPLY SEALANT WITHIN RECOMMENDED APPLICATION TEMPERATURE RANGES, CONSULT MANUFACTURER WHEN SEALANT CANNOT BE APPLIED WITHIN THESE TEMPERATURE RANGES.

METAL FRAMING

LIGHT GAUGE (COLD-FORMED) METAL FRAMING

PART 1 - GENERAL

- A. FURNISH AND INSTALL A COMPLETE SYSTEM OF LIGHT GAUGE FRAMING MEMBERS FOR INTERIOR WALL PARTITIONS AND CEILING SUSPENSION COMPONENTS.
 1. SYSTEM TO INCLUDE ALL TOP AND BOTTOM RUNNERS, BRACES, CLIP ANGLES, ACCESSORIES, FASTENERS, ETC. FOR EACH TYPE OF FRAMING AS SHOWN ON DRAWINGS.
 - a. INSTALL METAL FRAMING SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.
- B. QUALITY ASSURANCE - DESIGN AND ANALYSIS OF STRUCTURAL PROPERTIES SHALL COMPLY WITH AISC "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STRUCTURAL STEEL MEMBERS".
- C. MATERIALS:
 1. 18 GAUGE AND LIGHTER COMPONENTS: FABRICATE COMPONENTS OF COMMERCIAL QUALITY STEEL SHEET, ASTM A446 FOR GALVANIZED FINISH WITH A MINIMUM YIELD POINT OF 33,000 PSI.
 2. 16 GAUGE AND HEAVIER COMPONENTS: FABRICATE COMPONENTS OF STRUCTURAL QUALITY STEEL SHEET, ASTM A446 FOR GALVANIZED FINISH WITH A MINIMUM YIELD POINT OF 50,000 PSI.
 3. METAL STUDS: AISC "C" TYPE STRUCTURAL STUDS, SIZES, GAUGES AND SPACINGS SHOWN OR REQUIRED IF NOT SHOWN, WITH 1-3/8" (4MM) MINIMUM FLANGE WIDTH, 1/2" (13MM) MINIMUM RETURNS AND PRE-PUNCHED HOLES FOR UTILITY INSTALLATION.
 - a. 18-22 GAUGE (0.007" / 12 MM - 0.003" / 0.8MM) ASTM A446/A446M GRADE A MINIMUM YIELD STRESS OF 33 KSI (228 MPa).
 - b. 12-16 GAUGE (0.11" / 2.7MM - 0.06" / 1.5MM) ASTM A446/A446M GRADE A MINIMUM YIELD STRESS OF 40 KSI (276 MPa).
 4. TRACK, ASTM A446/A446M GRADE A: MINIMUM YIELD STRESS OF 33 KSI (228 MPa) FORMED STEEL CHANNEL, SHAPED, SAME WIDTH AND GAUGE AS ADJACENT STUDS. EXCEPTION: TOP AND BOTTOM TRACK (RUNNERS) REQUIRING ATTACHMENT OF METAL PANELS SHALL BE MINIMUM 14 GAUGE (0.06" / 1.5MM).
 5. FASTENINGS:
 - a. MANUFACTURER'S RECOMMENDED SELF-DRILLING, SELF-TAPPING SCREWS, BOLTS, NUTS AND WASHERS, NON-CORROSIIVE.
 - b. ANCHORAGE DEVICES: POWER ACTUATED FASTENERS, DRILLED EXPANSION BOLTS, OR SCREWS WITH SLEEVES.
 - c. WELDING, COMPLY WITH AWS D11 "STRUCTURAL WELDING CODE".
- D. MANUFACTURERS:
 1. MILCOR / DIVISION OF INRYCO THE CECO CORP, ALLIED STRUCTURAL INDUSTRIES OF EQUAL.

PART 2 - PREPARATION / EXECUTION

- A. ATTACH AND JOIN INDICATED COMPONENTS BY WELDING, ATTACH AND JOIN OTHER COMPONENTS BY WELDING, BOLTING, OR SCREW FASTENERS, AS STANDARD WITH THE MANUFACTURER. WIRE TYING OF FRAMING COMPONENTS IS NOT PERMITTED.
- B. CUT FRAMING TO FIT SQUARELY AGAINST ABUTTING MEMBERS, HOLD MEMBERS SECURELY IN POSITION UNTIL PROPERLY FASTENED.
- C. SAW CUT FIELD FRAMING, IF REQUIRED.
- D. COORDINATE METAL FRAMING POSITIONING WITH TRADES FURNISHING ITEMS WHICH ATTACH TO BUILT-IN MEMBERS.
- E. INSTALL CONTINUOUS FUNNER TRACKS SIZED TO MATCH STUDS, ALIGN TRACKS ACCURATELY TO THE LAYOUT AT BASE AND TOPS OF STUDS, SECURE TRACKS AS RECOMMENDED BY THE STUD MANUFACTURER FOR THE TYPE OF CONSTRUCTION INDICATED. DO NOT EXCEED 24" O.C. SPACING FOR POWER DRIVEN FASTENERS, NOR 16" O.C. FOR OTHER TYPES OF ANCHORAGE. PROVIDE FASTENERS AT CORNERS AND ENDS OF RUNNER TRACK.
- F. SET STUDS PLUMB, SPACED AS INDICATED, WHEN NOT INDICATED, AT MAXIMUM 24" O.C. ALIGN AND SECURE STUDS TO TOP AND BOTTOM FUNNER TRACKS BY EITHER WELDING OR SCREW FASTENING AT BOTH INSIDE AND OUTSIDE FLANGES.
 1. CONSTRUCT CORNERS USING MINIMUM THREE STUDS, DOUBLE STUDS AT WALL OPENINGS, INSTALL JACK STUDS ABOVE AND BELOW OPENINGS, SPACED TO MATCH WALL STUD SPACING.
 2. INSTALL SUPPLEMENTARY FRAMING, BLOCKING, AND BRACING IN METAL FRAMING SYSTEMS TO SUPPORT GRAB BARS, FIXTURES, EQUIPMENT, CASEWORK, HARDWARE, TRIM, AND SIMILAR WORK REQUIRING ATTACHMENT TO WALL FRAMING.
 3. PROVIDE ONE PIECE FULL LENGTH STUDS.

GLAZING

PART 1 - GENERAL

- A. FURNISH AND INSTALL A COMPLETE SYSTEM OF GLASS, GLAZING CHANNELS, SEALANT, SETTING BLOCKS AND ACCESSORIES AS SHOWN AND DETAILED ON THE DRAWINGS AND RESPONSIBILITY SCHEDULE.
 - B. SEE PLANS AND ELEVATIONS FOR SIZE AND NUMBER OF PANES.
 - C. FOLLOW RECOMMENDATIONS FOR INSTALLATION CONTAINED IN THE FGMA (FLOAT GLASS MANUFACTURERS ASSOCIATION) GLAZING AND SEALANT MANUALS AS WELL AS SIGMA (SEALED INSULATED GLASS MANUFACTURERS ASSOCIATION) FOR INSULATED GLASS.
- D. IT IS THE GLAZING CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY THAT THE GLASS IS SIZED TO WITHSTAND DEAD LOADS, POSITIVE AND NEGATIVE LIVE LOADS, ACTING NORMAL TO PLANE OF GLASS AS CALCULATED IN ACCORDANCE WITH LOCAL AND STATE CODES.
- E. MATERIAL FOR INTERIOR STOREFRONT GLASS:
 1. CLEAR GLASS - ASTM C1048, FT-FULLY TEMP., QUALITY-Q3 GLAZING SELECT.
 2. THICKNESS AS SHOWN ON PLAN.
 3. EACH INDIVIDUAL PANE TO RECEIVE TEMPERED STAMP INDICATING SUCH.
- F. MATERIAL FOR EXTERIOR STOREFRONT IN METAL GLAZING SYSTEM.
 1. INSULATED GLASS UNITS - LOW E - TYPE 96-B - ASTM E114 AND E113 DOUBLE PANE WITH GLASS ELASTOMER EDGE SEAL, OUTER PANE OF CLEAR GLASS, INNER PANE OF LOW E CLEAR GLASS ON CLEAR COLOR GLASS.
 - a. PROVIDE TEMPERED GLASS UNITS WHERE INDICATED ON PLAN OR AS REQUIRED BY JURISDICTIONAL CODES.

PART 2 - PREPARATION / EXECUTION

- A. VERIFY THAT OPENINGS FOR GLAZING ARE CORRECTLY SIZED WITHIN TOLERANCE.
- B. VERIFY THAT SURFACES OF GLAZING CHANNELS OR RECEIVERS ARE CLEAN, FREE OF OBSTRUCTIONS, THAT MAY IMPED MOISTURE MOVEMENT, WEERS ARE CLEAR, AND READY TO RECEIVE GLAZING.
- C. CUT GLASS PANES TO ACCURATE SIZES ALLOWING FOR EDGE CLEARANCES AND TOLERANCES.
- D. INSTALL SEALANTS RECOMMENDED BY MANUFACTURER WHICH ARE COMPATIBLE WITH MATERIALS THEY WILL BE IN CONTACT WITH.
- E. REMOVE GLAZING MATERIALS FROM FINISH SURFACES.
- F. REMOVE LABELS AFTER WORK IS COMPLETE.
- G. CLEAN GLASS AND ADJACENT SURFACES.

WOOD BLOCKING & CURBING

PART 1 - GENERAL

- A. PROVIDE AND INSTALL WOOD FURRING, BLOCKING, GROUNDS AND IN-WALL BLOCKING FOR SUPPORT OF GRAB BARS, FIXTURES, EQUIPMENT, CASEWORK, HARDWARE, TRIM AND SIMILAR WORK.
 1. BLOCKING AND GROUNDS AT STOREFRONT GLAZING, LOCATIONS AT WEATHER AREAS, AND IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
 2. USE NON-COMBUSTIBLE FIRE RETARDANT TREATED (F.R.T.) WOOD ELSEWHERE AS REQUIRED BY STATE AND LOCAL CODES, INCLUDING ANY WOOD STUDS, BLOCKING, FURRING, PLYWOOD, TRIM AND GROUNDS. NEW LUMBER TO BEAR GRADE AND TREATMENT OF ASSOCIATION UNDER WHICH IT WAS PRODUCED.
 - a. PRESERVATIVE TREATMENT FOR WOOD SPECIFIED ELSEWHERE
 - 1) PERFORMANCE REQUIREMENTS:
 - 1) MOISTURE CONTENT: AFTER TREATMENT, THE MAXIMUM MOISTURE CONTENT OF WOOD MATERIALS SHALL NOT EXCEED THE FOLLOWING:
 - i. LUMBER 2 INCHES AND LESS IN THICKNESS: 19 PERCENT.
 - ii. PLYWOOD: 15 PERCENT.
 - 2) FLAME SPREAD: FIRE RETARDANT TREATED MATERIALS TO HAVE FLAME SPREAD RATING OF 25 OR LESS IN A 30 MINUTE TEST WITH NO EVIDENCE OF SIGNIFICANT PROGRESSIVE COMBUSTION, ASTM E 84. ADDITIONALLY FLAME FRONT NOT TO PROGRESS MORE THAN 10% FEET BEYOND CENTER LINE OF BURNER AT ANY TIME.
 - 3) SMOKE DEVELOPED: INTERIOR FINISH AND TRIM MATERIALS WHERE SPECIFIED, TO HAVE FIRE RETARDANT TREATMENT CONFORMING TO ABOVE REQUIREMENTS FOR "FLAME SPREAD" PLUS SMOKE DEVELOPED RATING OF 25 OR LESS, ASTM E 84.
 - b. CERTIFICATES, FURNISH AFFIDAVIT IF REQUIRED BY CODE OFFICIAL STATING THAT MATERIALS HAVE BEEN TREATED IN ACCORDANCE WITH SPECIFICATIONS AND THAT MOISTURE CONTENT, AFTER TREATMENT, DOES NOT EXCEED SPECIFIED LIMITS. INCLUDE CHEMICAL USED AND RETENTION OBTAINED FOR PRESERVE TREATED MATERIAL. INCLUDE THE "QUALITY MARK" OF ASSOCIATION HAVING JURISDICTION OVER THE TREATMENT, C. DELIVER TREATED MATERIALS BUNDLED AND MARKED TO IDENTIFY TREATMENT.
 - c. STORE TREATED MATERIALS FOR EASY IDENTIFICATION AND PROTECT FROM MOISTURE, PROVIDE WELL VENTILATED DRY STORAGE.
 - d. HANDLE TREATED MATERIALS IN ACCORDANCE WITH AUPA STANDARDS. IN ADDITION TO MATERIAL USED IN TREATMENT, FURNISH ADDITIONAL MATERIALS FOR FIELD TREATMENT OF CUTS.
 - e. FIELD CUTS AND HOLES: FIELD-TREAT IN ACCORDANCE WITH AUPA M-4.

PART 2 - PREPARATION / EXECUTION

- A. SET MEMBERS LEVEL AND PLUMB, IN CORRECT POSITION.
- B. COORDINATE PARAPET AND FLASHING NAILER INSTALLATION WITH INSTALLATION OF ROOFING. SEE SECTION 05020, E, "ROOF CUTTING AND PATCHING".
- C. INSTALL TELEPHONE AND ELECTRICAL PANEL BACK BOARDS WITH PLYWOOD SHEATHING MATERIAL WHERE REQUIRED, SIZE THE BACK BOARD BY 12 INCHES BEYOND SIZE OF ELECTRICAL EQUIPMENT.

PART 2 - PREPARATION / EXECUTION

- A. VERIFY AREAS RECEIVING MIRRORS ARE WITHIN TOLERANCES AND ARE READY TO RECEIVE MATERIAL.
- B. PLACE PLUMB AND LEVEL WITHOUT VISIBLE DISTORTION.
- C. STORE, PROTECT, AND INSTALL MIRRORS IN ACCORDANCE WITH NAIPM.
- D. SET MIRRORS WITH EDGE CLEARANCE FREE OF SURROUNDING CONSTRUCTION INCLUDING COUNTERTOPS OR BACKSPLASHES.
- E. REMOVE LABELS AFTER WORK IS COMPLETE.
- F. CLEAN MIRRORS AND ADJACENT SURFACES.

09250 GYPSUM BOARD SYSTEMS

PART 1 - GENERAL

- A. FURNISH AND INSTALL ALL GYPSUM DRYWALL AND SYSTEMS COMPLETE WITH PARTITION FRAMING, CEILING SUSPENSION SYSTEMS AND RELATED ACCESSORIES, PARTS, MATERIALS, ETC. AS SHOWN ON DRAWINGS AND AS SPECIFIED, INSTALL ALL MATERIALS PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.
- B. GYPSUM DRYWALL: ALL GYPSUM TO BE 5/8" TYPE "X" AS NOTED ON NEW CONSTRUCTION PLAN, REST ROOMS TO RECEIVE MOISTURE RESISTANT GYPSUM BOARD.
- C. FASTENERS: DRYWALL SCREWS OF PROPER SIZE AND TYPE PER MANUFACTURERS RECOMMENDATIONS.
- D. PROVIDE MATERIALS, JOINT COMPOUNDS, TRIM, EDGES, BEADS, ETC. FROM A SINGLE SOURCE SUPPLIER. ALL TRIM SHALL CONSIST OF A TAPEDED, GROOVED, AND PRE-PUNCHED FIN FOR SCREW ATTACHMENT AND TO ACCEPT BONDING AGENT. ALL BUTT JOINTS ARE TO BE NEAT WITH TIGHT JOINTS. ALL OUTSIDE CORNERS ARE TO HAVE METAL SCREED, CASING BEADS OR CORNER BEADS AS REQUIRED. ALL EXPOSED EDGES, BEADS AND TRIM TO BE PRE-FINISH ALUMINUM.

PART 2 - PREPARATION / EXECUTION

- A. VERIFY THAT OPENINGS FOR GLAZING ARE CORRECTLY SIZED WITHIN TOLERANCE.
- B. VERIFY THAT SURFACES OF GLAZING CHANNELS OR RECEIVERS ARE CLEAN, FREE OF OBSTRUCTIONS, THAT MAY IMPED MOISTURE MOVEMENT, WEERS ARE CLEAR, AND READY TO RECEIVE GLAZING.
- C. CUT GLASS PANES TO ACCURATE SIZES ALLOWING FOR EDGE CLEARANCES AND TOLERANCES.
- D. INSTALL SEALANTS RECOMMENDED BY MANUFACTURER WHICH ARE COMPATIBLE WITH MATERIALS THEY WILL BE IN CONTACT WITH.
- E. REMOVE GLAZING MATERIALS FROM FINISH SURFACES.
- F. REMOVE LABELS AFTER WORK IS COMPLETE.
- G. CLEAN GLASS AND ADJACENT SURFACES.

MILLWORK AND FINISH CARPENTRY

PART 1 - GENERAL

- A. FURNISH AND INSTALL FINISHED TRIM, CABINETS, COUNTERS, DOORS, AND ALL FINISH ITEMS SUCH AS LAMINATES AND FINISH DOOR HARDWARE, AS INDICATED AND DETAILED ON PLANS.
 - B. SEE DRAWINGS AND RESPONSIBILITY SCHEDULE FOR DETAILS, SIZES, DIMENSIONS.
 - C. FOLLOW AIA (ARCHITECTURAL WOODWORK INSTITUTE) ARCHITECTURAL WOODWORK QUALITY STANDARDS.
- PART 2 - PREPARATION / EXECUTION
- A. DO NOT DELIVER OR INSTALL ITEMS UNTIL BUILDING AND ROOMS RECEIVING SUCH ARE COMPLETED & THOROUGHLY DRY & FREE OF EXCESS MOISTURE.
 - B. MILLWORK AND CABINETS MAY BE SHOP OR FIELD ASSEMBLED AT CONTRACTOR'S OPTION.
 - C. INSTALL ITEMS IN A RIGID, STRAIGHT, PLUMB, LEVEL MANNER ACCURATELY FITTED AND SCRIBED TO ABUTTING SURFACES.
 - D. COUNTERSINK NAILS AND SCREW HEADS AND PATCH AND SAND SMOOTH.
 - E. CUTTING AND REPAIRING OF THIS WORK FOR ACCOMMODATION OF WORK BY OTHERS SHALL BE DONE AS PART OF MILLWORK RESPONSIBILITY.
 - F. FINISH WOODWORK SHALL BE DRESSED AND BANDED, FREE FROM MACHINE AND TOOL MARKS, ABRASIONS, RAISED GRAIN OR OTHER DEFECTS.
 - G. PROTECT FINISHED WORK UNTIL ACCEPTANCE BY TENANT.

MILLWORK AND FINISH CARPENTRY

PART 1 - GENERAL

- A. INSTALL HIGH PRESSURE LAMINATES AS SPECIFIED IN FINISH SCHEDULE AND AS DETAILED IN DRAWINGS.
- PART 2 - PREPARATION / EXECUTION
- A. FOLLOW MANUFACTURERS GUIDELINES AND RECOMMENDATIONS FOR ADHESIVE AND SUBSTRATE PREPARATION.
 - B. SEE MILLWORK SECTION FOR TYPICAL NOTES AND REFERENCES.
 - C. ALL WOODWORK MILLWORK SHALL CONFORM TO THE QUALITY STANDARDS OF ARCHITECTURAL WOODWORK INSTITUTE (AIA) PREMIUM GRADE FOR ALL APPLICABLE SECTIONS. FABRICATOR SHALL BE FAMILIAR WITH AIA STANDARDS.
 - D. FABRICATE WOODWORK MILLWORK ITEMS TO ACTUAL FIELD DIMENSIONS, CONTRACTOR TO FIELD VERIFY EXISTING DIMENSIONS. CONTRACTORS SHALL SUBMIT SHOP DRAWINGS, SAMPLES OR MANUFACTURERS LITERATURE OF ALL ITEMS. SHOP DRAWINGS SHALL SHOW SUFFICIENT DETAIL TO DETERMINE COMPLIANCE WITH QUALITY STANDARDS AND DESIGN INTENT.
 - E. PROVIDE ALL NECESSARY FURRING AND FINISH ITEMS. COORDINATE LOCATION OF BLOCKING WITH PARTITIONS FOR ITEMS TO BE SECURED TO SURFACE.
 - F. CABINET INTERIORS TO BE CONSTRUCTED OF MELAMINE-FINISH HIGH DENSITY PARTICLE BOARD. CABINET DOORS TO BE FULLY FINISHED IN SPECIFIED PLASTIC LAMINATE.
 - G. ALL FASTENERS SHALL BE CONCEALED. ALL HINGES SHALL BE CONCEALED. 3-WAY ADJUSTABLE SELF CLOSING TYPE BY "STANLEY" "BLUM" "GRASS" OR "HAFELE". ALL DRAWER SLIDES SHALL BE BALL-BEARING. ALL EXTENSION TYPE BY "ACCURATE" OR "GRANT". USE LOAD RATING FOR APPLICATIONS AS RECOMMENDED BY MANUFACTURER.

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MERRILL PLACE - APARTMENTS
PHASE 1
1312 SEWARD
DETROIT, MICHIGAN

ISSUED FOR:

6 SEPT 19
CHECK SET

10 NOV 19
BID SET

15 APRIL 2020
RE-BID SET

SHEET# G1.01

DATE: 15 APRIL 2020

JOB# 13054

PROJECT DESCRIPTION

NEW 3-STORY APARTMENT BUILDING, TO BE BUILT OVER PARKING AT GRADE LEVEL

CODE SUMMARY:

REVIEW CODE 2015 MICHIGAN BUILDING CODE
 2015 MICHIGAN MECHANICAL CODE
 2015 MICHIGAN PLUMBING CODE
 2011 NEC CODE WITH MICH. AMENDMENT
 2009 ICC/ANCI A111)

USE GROUP 'S-2' OPEN PARKING & 'R-2' APARTMENTS

TYPE OF CONSTRUCTION FOR 'S-2' TYPE I-B, FOR 'R-2' TYPE V-B

SPRINKLER SYSTEM SPRINKLER SYSTEM TO BE INSTALLED

OCCUPANCY LOAD 9 APARTMENT UNITS PER FLOOR
 BUILDING TOTAL = 27 UNITS
 TYPE 'A' UNITS: REQUIRED = 1 PROVIDED = 1

EXIT ACCESS 2 EXITS REQUIRED FROM EACH FLOOR
 3 EXITS PROVIDED FROM EACH FLOOR

2015 MICHIGAN BUILDING CODE

CHAPTER 3
 SECTION 310.4 'R-2' APARTMENTS
 SECTION 311 'S-2' OPEN PARKING GARAGE

CHAPTER 4
 SECTION 406 MOTOR-VEHICLE-RELATED OCCUPANCIES
 SECTION 406.5 OPEN PARKING GARAGES
 SECT. 406.5.1 SHALL BE OF TYPE I, II, OR IV CONSTRUCTION. WE ARE TYPE I-B

SECTION 420 GROUPS I-1, R-1, R-2, R-3 AND R-4
 420.2 SEPARATION WALLS REQUIRED (PER 710)
 420.3 HORIZONTAL SEPARATION REQUIRED (PER 711)
 420.5 AUTOMATIC SPRINKLER REQUIRED (PER 903.3.1.2)
 420.6 FIRE ALARM SYSTEM & SMOKE ALARM REQUIRED (PER 907.2.11)

CHAPTER 5
 SECTION 504 (FOR V-B CONSTRUCTION)
 TABLE 504.3 ALLOWABLE FEET ABOVE GRADE
 ALLOWABLE PROVIDED
 'R' (S13R) 60' 50'-4"
 'R' (S) 60' 50'-4"

TABLE 504.4 ALLOWABLE STORIES ABOVE GRADE
 ALLOWABLE PROVIDED
 'R-2' (S) 3 3

TABLE 506.2 ALLOWABLE FLOOR AREA (PER FLOOR)
 ALLOWABLE PROVIDED
 'R-2' (S1) 21,000 SF 8,820 SF

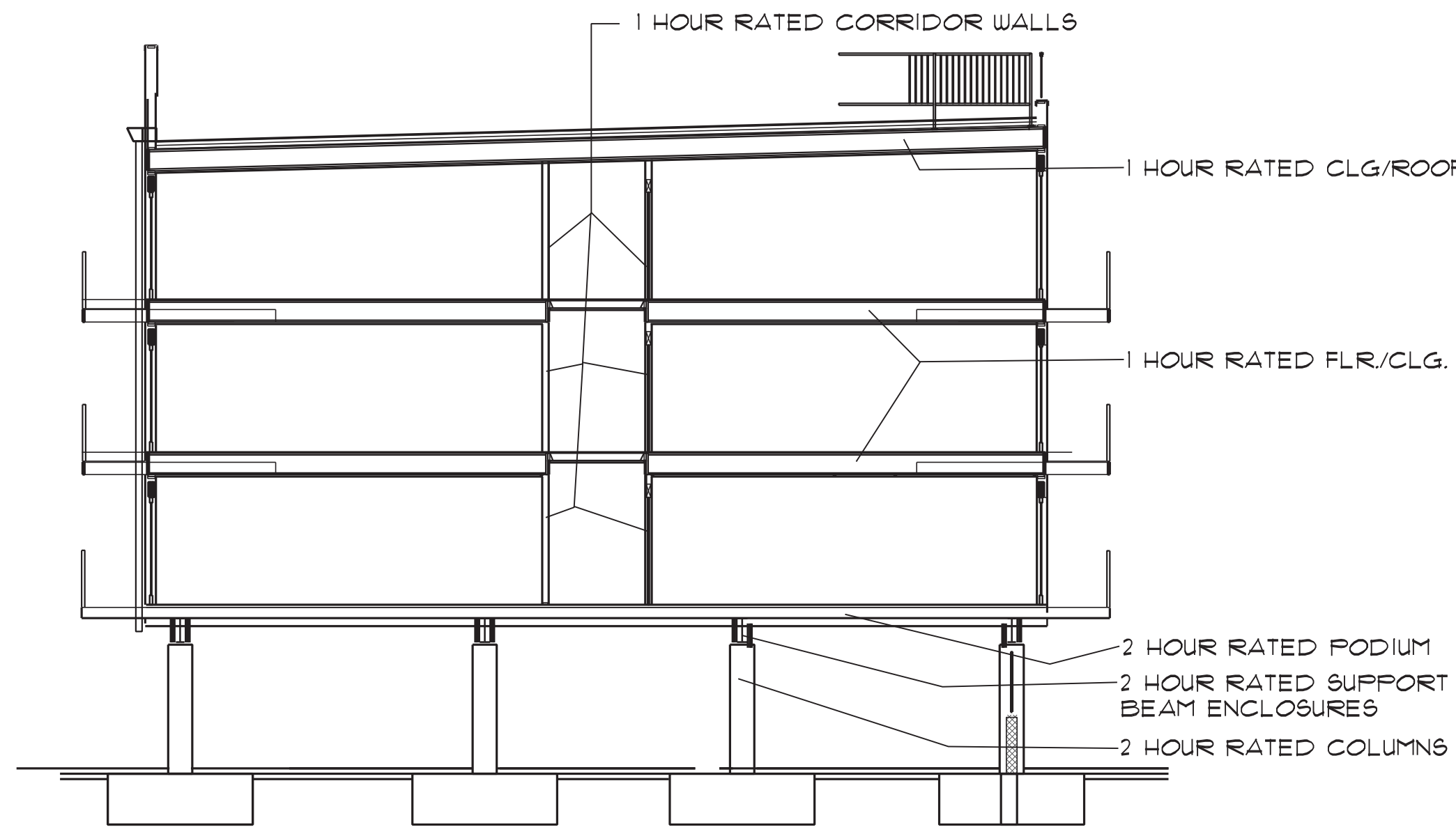
TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES
 BETWEEN 'S-2' & 'R' = 1 HOUR SEPARATION (S-SPRINKLED)

SECTION 510.4
 WHERE A MAXIMUM ONE STORY ABOVE GRADE PLANE GROUP 'S-2' PARKING GARAGE, ENCLOSED OR OPEN, OF COMBINATION THEREOF OF TYPE I CONSTRUCTION OR OPEN OF TYPE IV CONSTRUCTION WITH GRADE ENTRANCE IS PROVIDED UNDER A BUILDING OF GROUP 'R' THE NUMBER OF STORIES TO BE USED IN DETERMINING THE MINIMUM TYPE OF CONSTRUCTION SHALL BE MEASURED FROM THE FLOOR ABOVE SUCH A PARKING AREA. THE FLOOR ASSEMBLY BETWEEN THE PARKING GARAGE AND THE GROUP 'R' ABOVE SHALL COMPLY WITH THE TYPE OF CONSTRUCTION REQUIRED FOR THE PARKING GARAGE AND SHALL ALSO PROVIDE A FIRE RESISTANCE RATING NOT LESS THAN THE MIXED OCCUPANCY SEPARATION REQUIRED IN SECTION 508.4

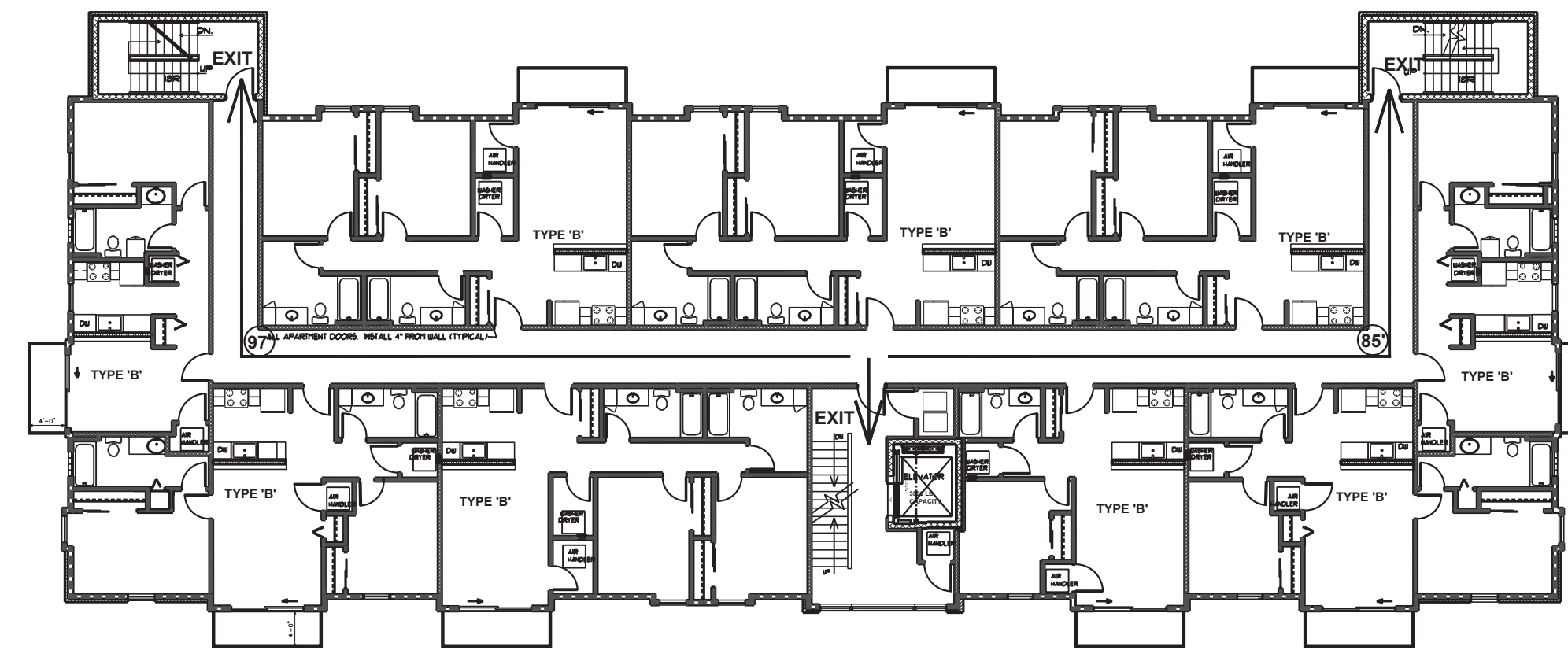
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BUILDING SECTION
 NOT TO SCALE



THIRD FLOOR PLAN
 NOT TO SCALE

CHAPTER 6
 TABLE 601 FIRE RESISTANCE RATING REQ'TS FOR BLDG ELEMENTS

	PARKING GARAGE (S-2)	APARTMENTS (R-2)
CONSTRUCTION TYPE I-B		CONSTRUCTION TYPE V-B
PRIMARY STRUCTURE	2	0
BEARING WALLS		
EXTERIOR	2	0
INTERIOR	2	0
INTERIOR PARTITION	0	0
FLOOR CONSTRUCTION	2	0
ROOF CONSTRUCTION	1	0

CHAPTER 7
 SECTION 701.3.3 ENCLOSURES FOR EXIT ACCESS STAIRWAYS ... SHALL COMPLY WITH SECTION 713.4

SECTION 701.3.10 SEE TABLE 701.3.10
 FIRE RESISTANCE RATING REQUIRED FOR HORIZONTAL ASSEMBLIES
 'R' 4 'S' = 2 HOUR FIRE RATING

SECTION 708 FIRE PARTITIONS
 SECTION 708.3 FIRE PARTITIONS SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 1 HOUR (OR NOT LESS THAN 1/2 HOUR WITH EXCEPTIONS 1 & 2)

SECTION 711 FLOOR AND ROOF ASSEMBLIES
 SECTION 711.2 HORIZONTAL ASSEMBLIES TO COMPLY WITH SECTIONS 711.2.1 THROUGH 711.2.6

SEPARATION BETWEEN S-2 & R-2 = 2 HOUR FIRE RATING REQ'D
 SEPARATION BETWEEN R-2 & R-2 = 1 HOUR FIRE RATING REQ'D

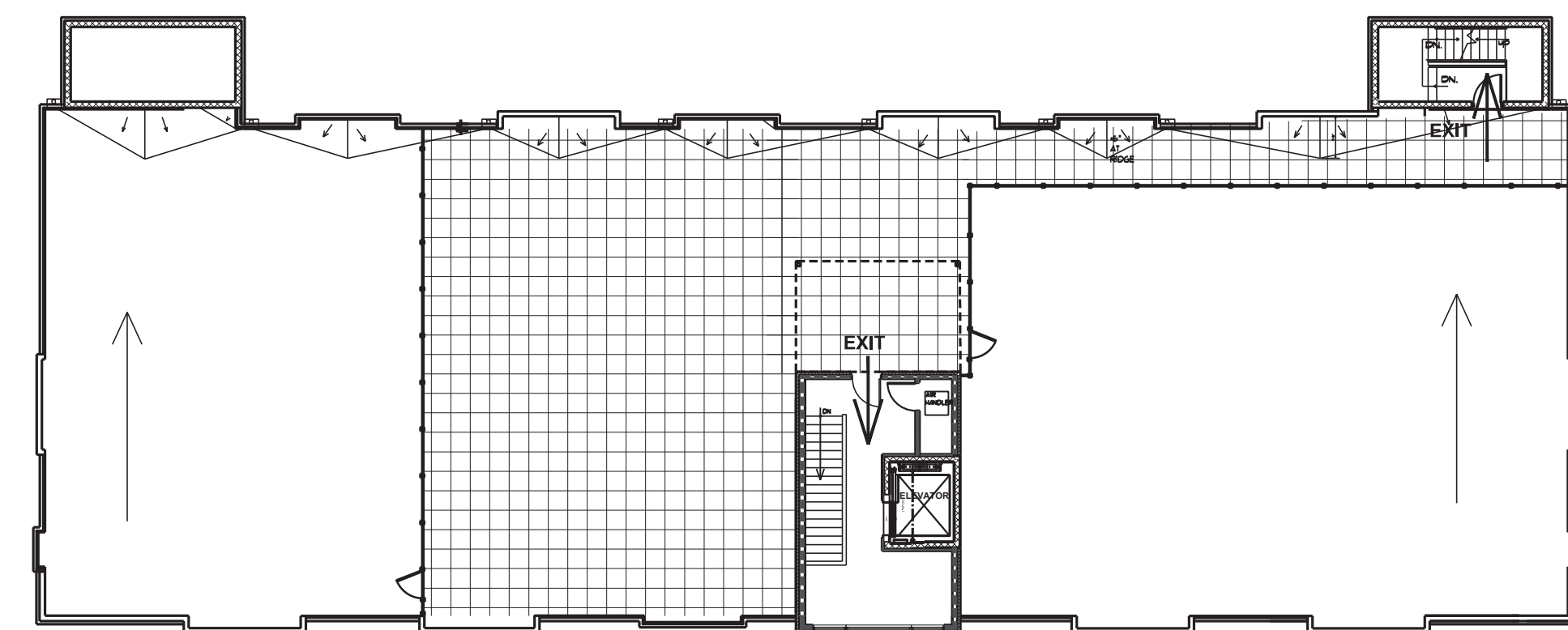
CHAPTER 9
 SECTION 903.2.8 AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDING WITH A GROUP 'R'

SECTION 907.2.9 GROUP 'R' - 2 FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE INSTALLED IN GROUP R-2 OCCUPANCIES AS REQUIRED IN SECTIONS 907.2.9.1 THROUGH 907.2.9.3

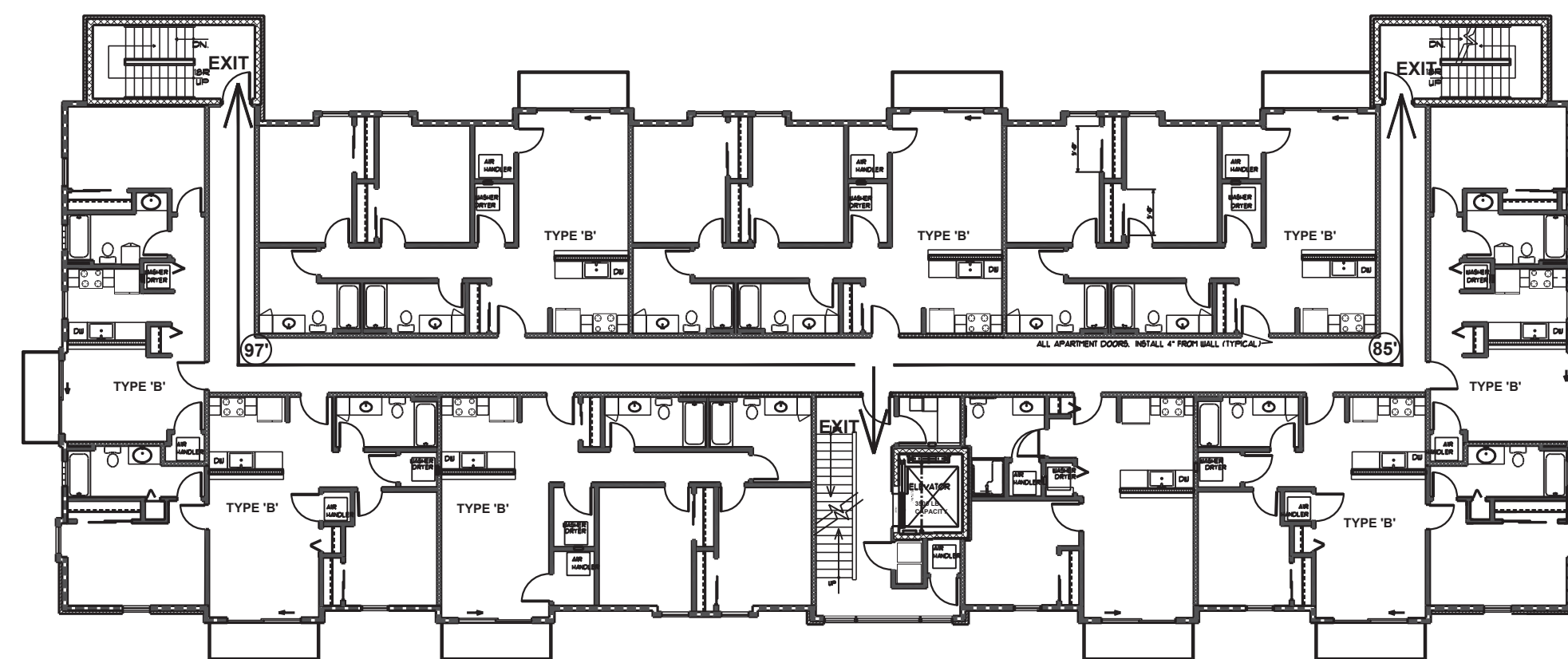
CHAPTER 10
 SECTION 1004 OCCUPANT LOAD
 TABLE 1004.1.2
 RESIDENTIAL 1/200 SFG
 APARTMENT UNITS 8,311 SFG / 200 SFG = 45 OCCUPANTS
 ASSEMBLY - UNCONCENTRATED 1/15 SF NET
 ROOF TOP TERRACE 2,083 SF / 15 SF = 139 OCCUPANTS
 TOTAL OCCUPANTS = 184 OCCUPANTS

SECTION 1005 MEANS OF EGRESS SIZING
 SECTION 1005.3.1 STAIRWAYS
 TOTAL OCCUPANT LOAD 184 = 1/2 FOR STAIR 'A' & 1/2 FOR STAIR 'B'
 STAIR 'A' 92 OCC X 2.3 = 21.6" WIDE STAIR REQUIRED.
 STAIR 'B' 92 OCC X 2.3 = 21.6" WIDE STAIR REQUIRED.
 48" WIDE STAIR PROVIDED.

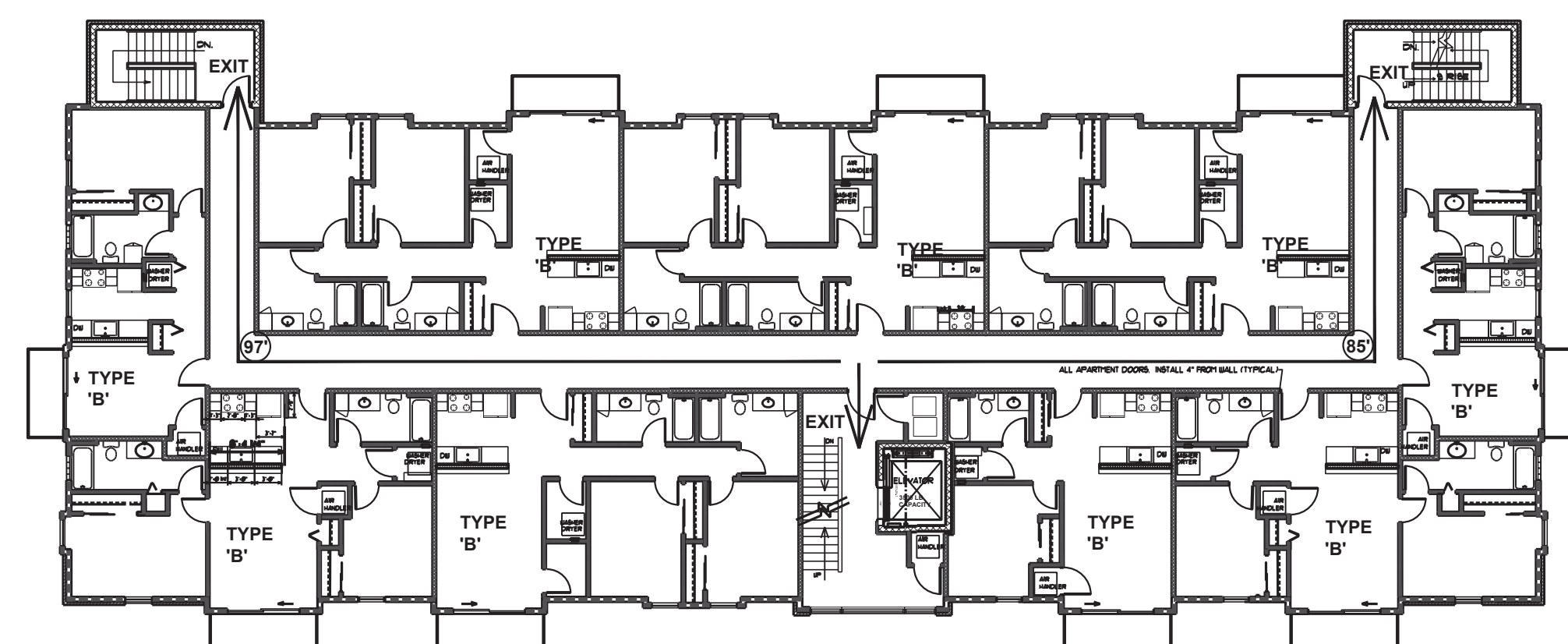
SECTION 1006 NUMBER OF EXITS AND EXIT ACCESS DOORWAYS
 1006.2.1 EGRESSES BASED ON OCCUPANT LOAD AND COMMON PATH OF EGRESSES TRAVEL DISTANCE FROM APARTMENT FLOORS
 2 MEANS OF EGRESSES REQUIRED
 3 MEANS OF EGRESSES PROVIDED
 1006.3 EGRESSES FROM STORIES OR OCCUPIED ROOFS
 2 MEANS OF EGRESSES REQUIRED
 2 MEANS OF EGRESSES PROVIDED



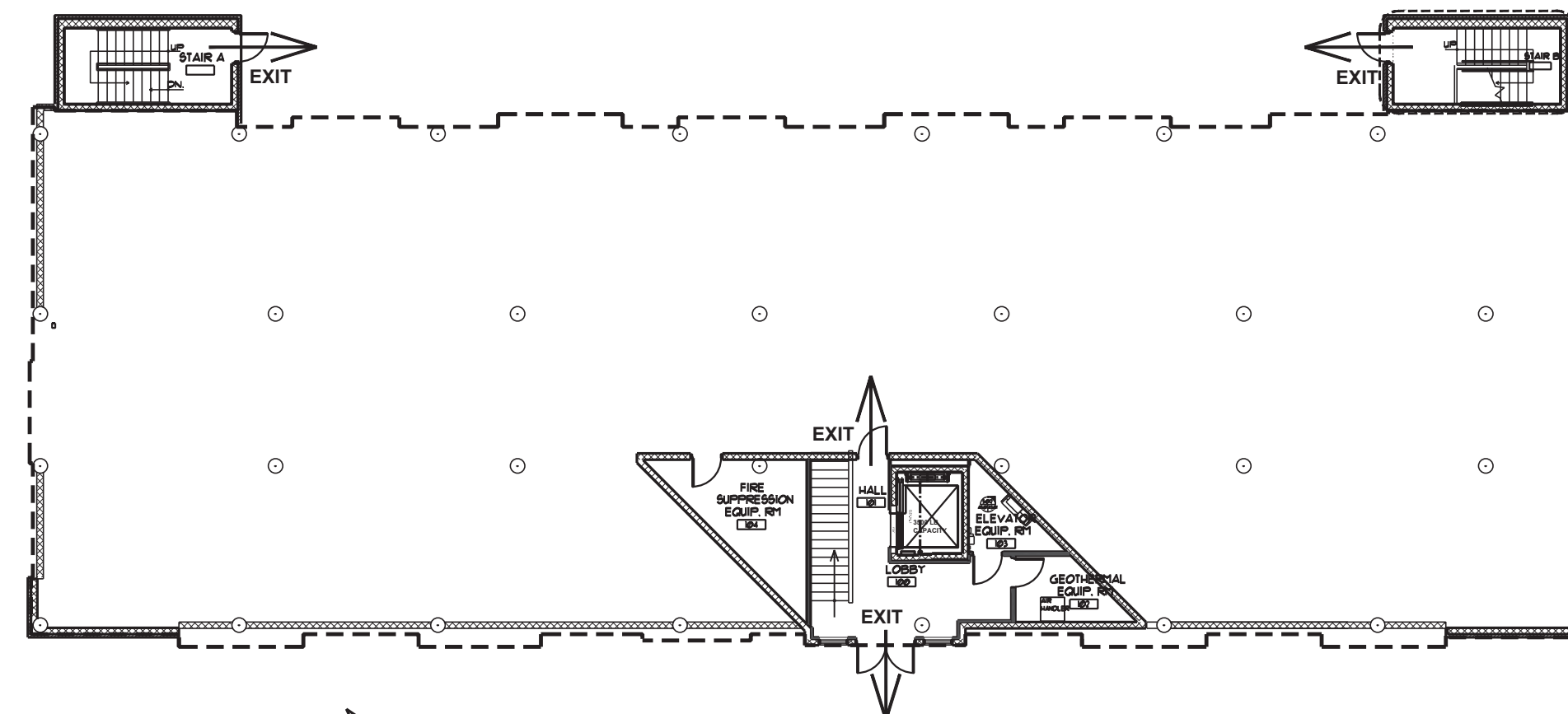
ROOF (TERRACE) PLAN
 NOT TO SCALE



SECOND FLOOR PLAN
 NOT TO SCALE



FOURTH FLOOR PLAN
 NOT TO SCALE

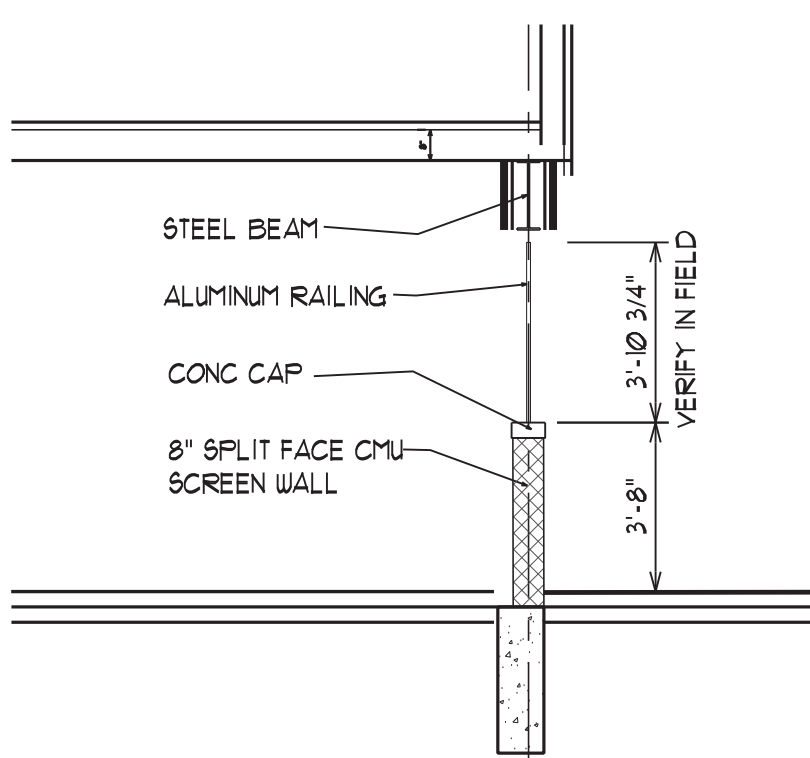


FIRST (GROUND) FLOOR PLAN
 NOT TO SCALE

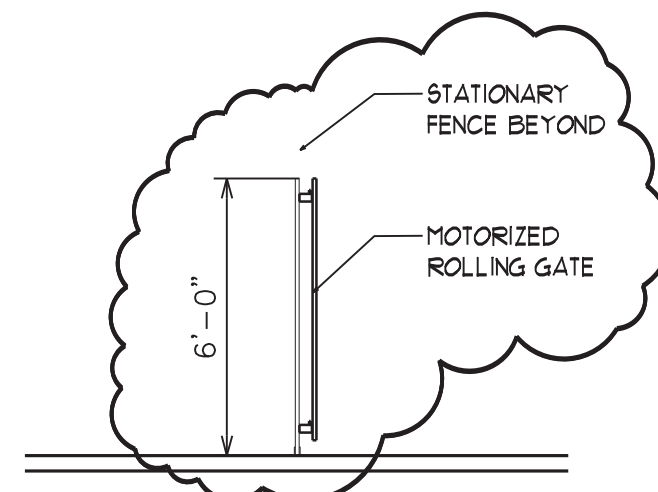
MERRILL PLACE - APARTMENTS
PHASE 1
1312 SEWARD
DETROIT, MICHIGAN

ISSUED FOR:
 6 SEPT 19 CHECK SET
 10 NOV 19 BID SET
 15 APRIL 2020 RE-BID SET

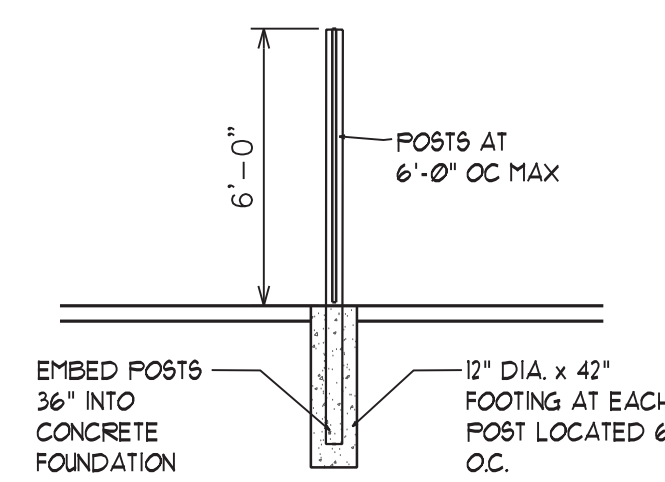
SHEET# G1.03
 DATE: 15 APRIL 2020
 JOB# 13054



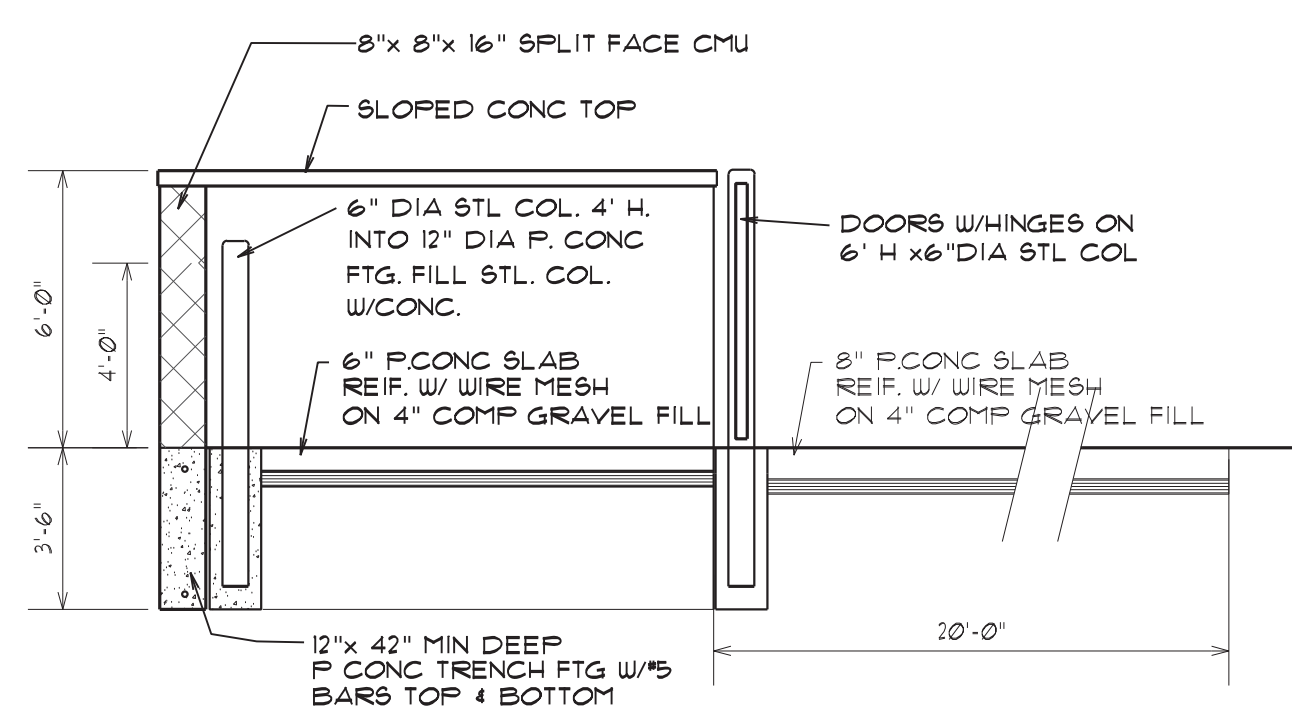
3 SCREEN WALL SECTION
1/4" = 1'-0"



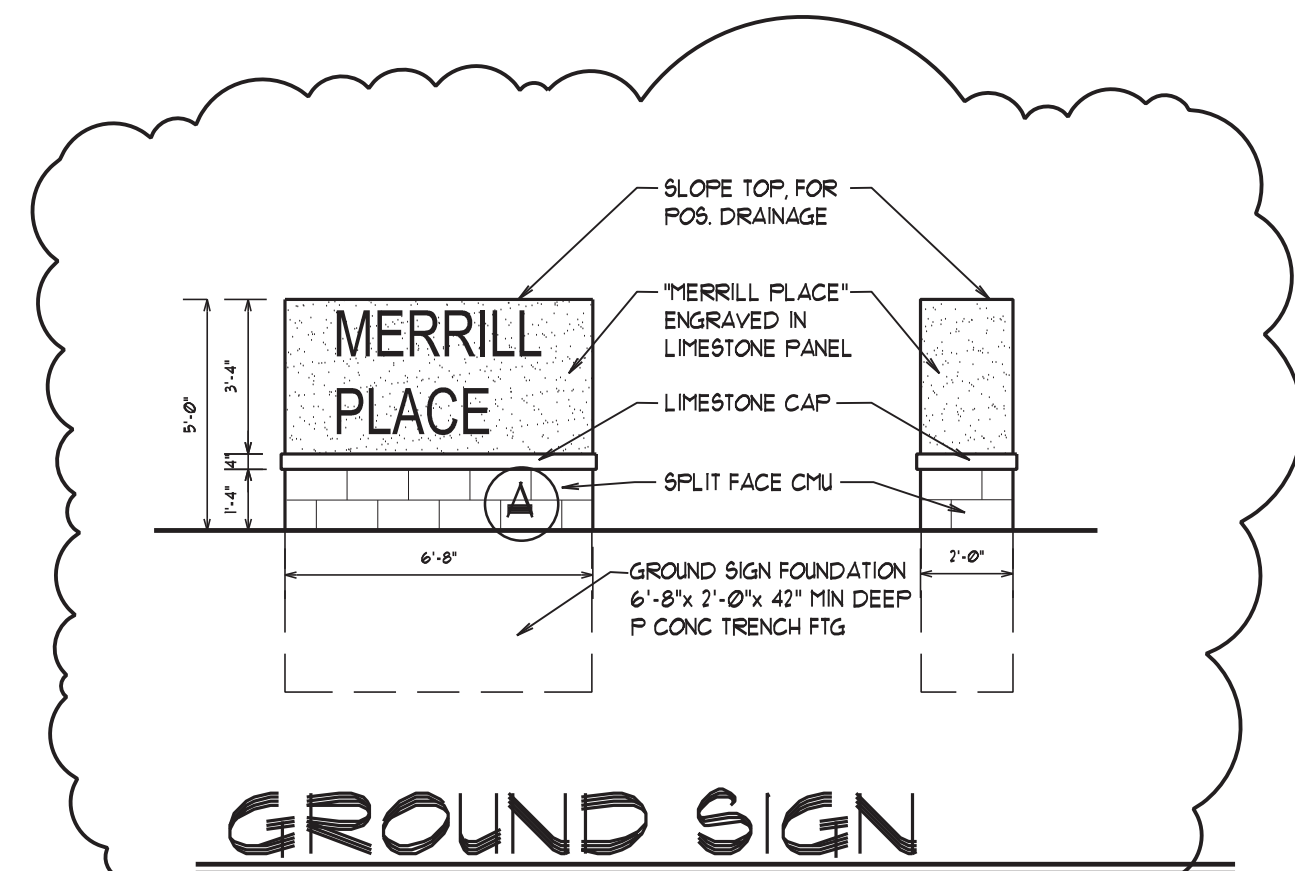
2 GATE SECTION
1/4" = 1'-0"



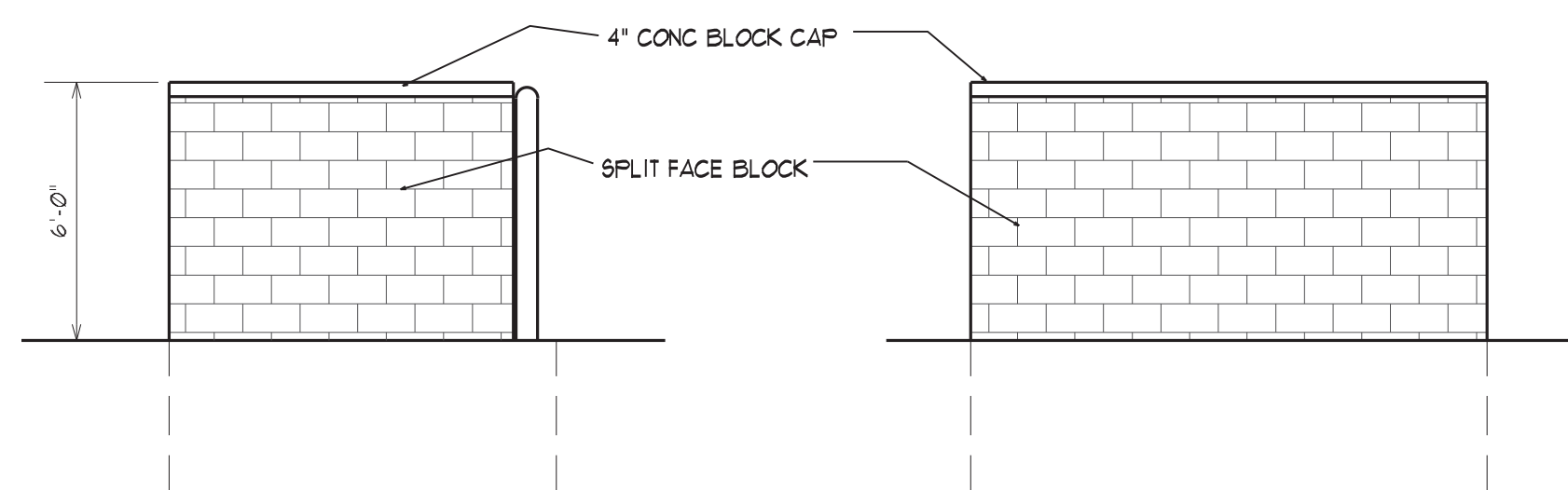
1 FENCE SECTION
1/4" = 1'-0"



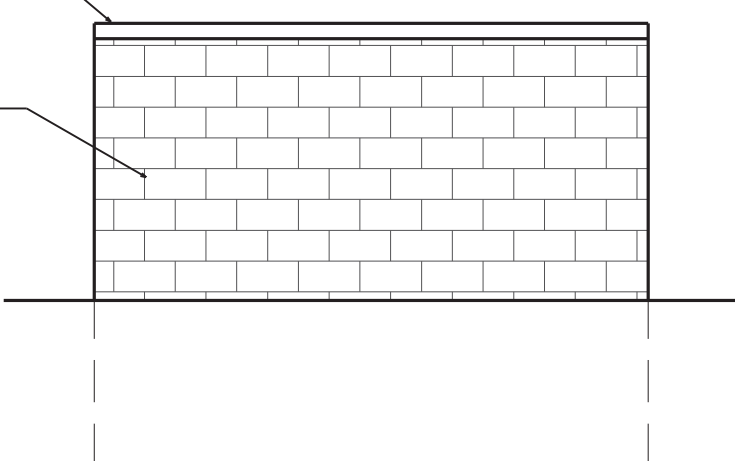
DUMPSTER ENCLOSURE SECTION
1/4" = 1'-0"



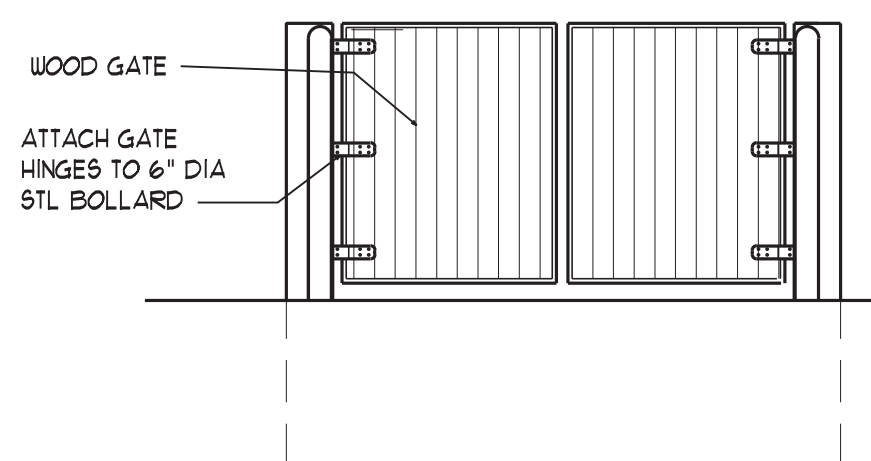
GROUND SIGN
1/4" = 1'-0"



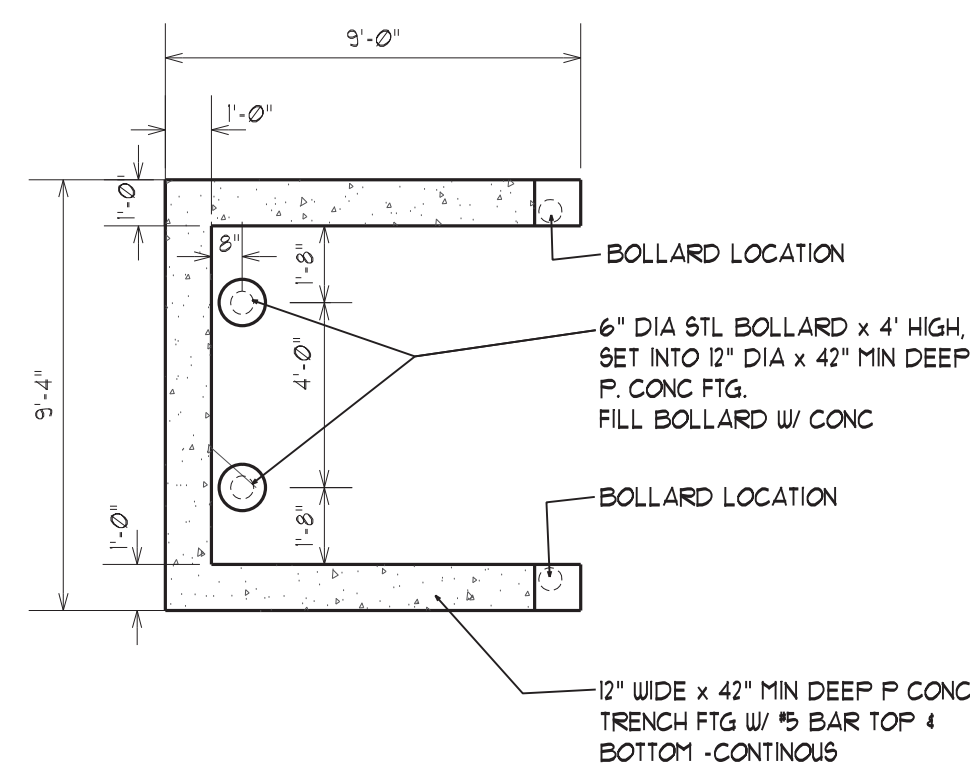
SIDE ELEVATION
1/4" = 1'-0"



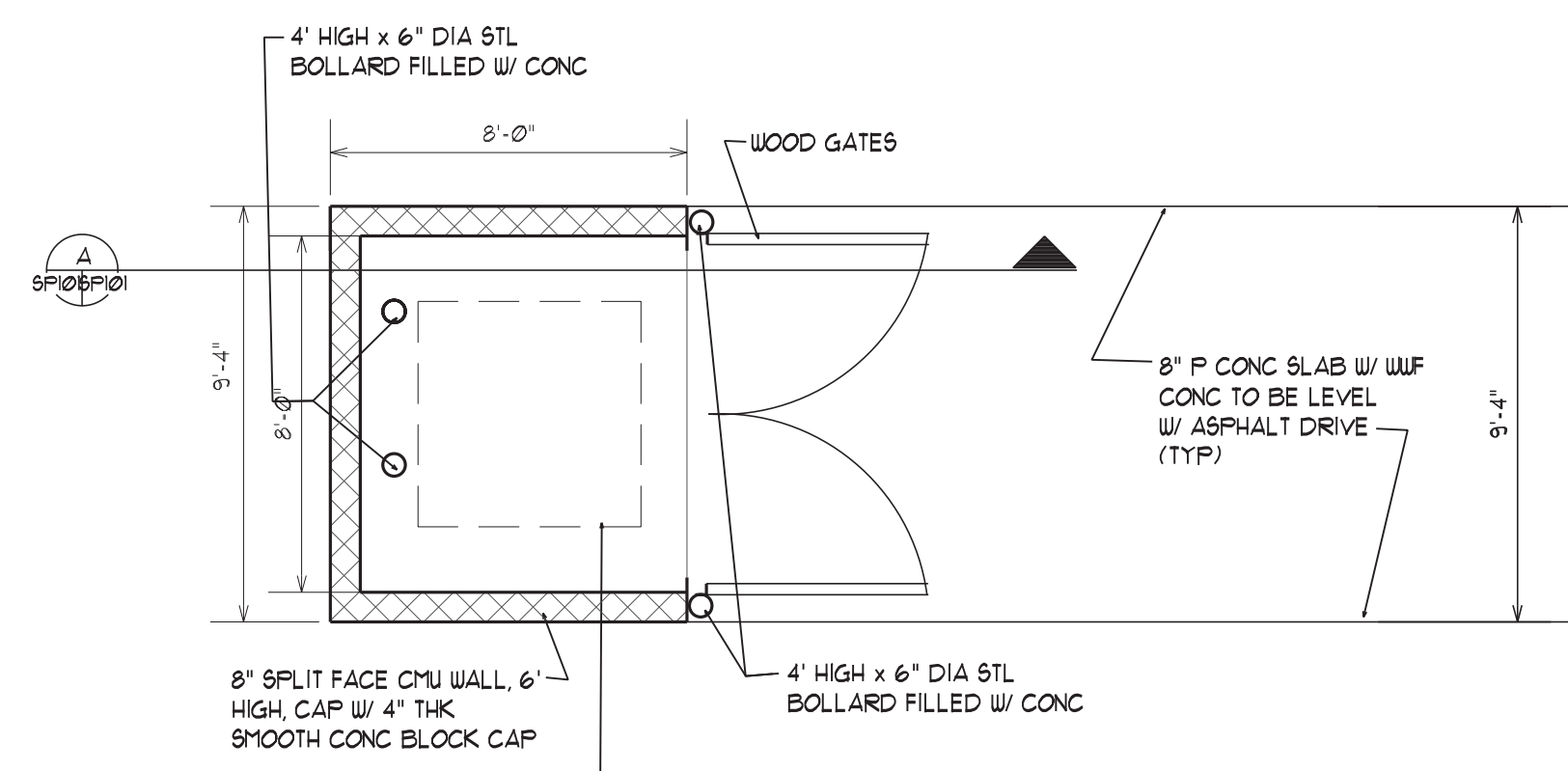
REAR ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"



DUMPSTER FOUNDATION PLAN
1/4" = 1'-0"



DUMPSTER FLOOR PLAN
1/4" = 1'-0"

PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS:

PARCEL 1:
THE NORTH 169 FEET OF LOT 24, BLOCK 12 AND THE WEST 6.8 FEET OF VACATED MERRILL STREET LYING EAST OF AND ADJACENT TO LOT 24, BECK'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 4 OF PLATS, PAGE 59, WAYNE COUNTY RECORDS.

PARCEL 2:
LOTS 1 AND 2 AND THE EAST 3 FEET OF LOT 3, BLOCK 13, BECK'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 4 OF PLATS, PAGE 59, WAYNE COUNTY RECORDS.

PARCEL 3:
THE NORTH 169 FEET OF LOT 23, BLOCK 12, BECK'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 4 OF PLATS, PAGE 59, WAYNE COUNTY RECORDS.

PARCEL 4:
THE NORTH 169 FEET OF LOT 22, BLOCK 12, BECK'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 4 OF PLATS, PAGE 59, WAYNE COUNTY RECORDS.

LAND - BUILDING - PARKING DATA

LAND AREA "A"
SITE "A"
47-16,909 SQ. FT. GROSS = 47-0.39 ACRES

BUILDING AREA
EACH BUILDING AREA 8,974 SFG

PARKING DATA
PARKING REQUIRED
125 SPACE / DWELLING
9 DWELLINGS PER FLOOR X 3 FLOORS = 27 DWELLING UNITS
27 X 125 = 34 SPACES

PROVIDED PARKING
TOTAL PARKING PROVIDED = 30 SPACES (INCLUDES 2 BF SPACE)

RECREATIONAL SPACE REQUIREMENTS
(0.12 X 8,974 SF = 1,077 SF REQUIRED, 2,892 PROVIDED)
(BALCONIES AND ROOF TOP TERRACE USED FOR MEETING S.R.S. REQUIREMENTS)

SITE PLAN -GENERAL NOTES:

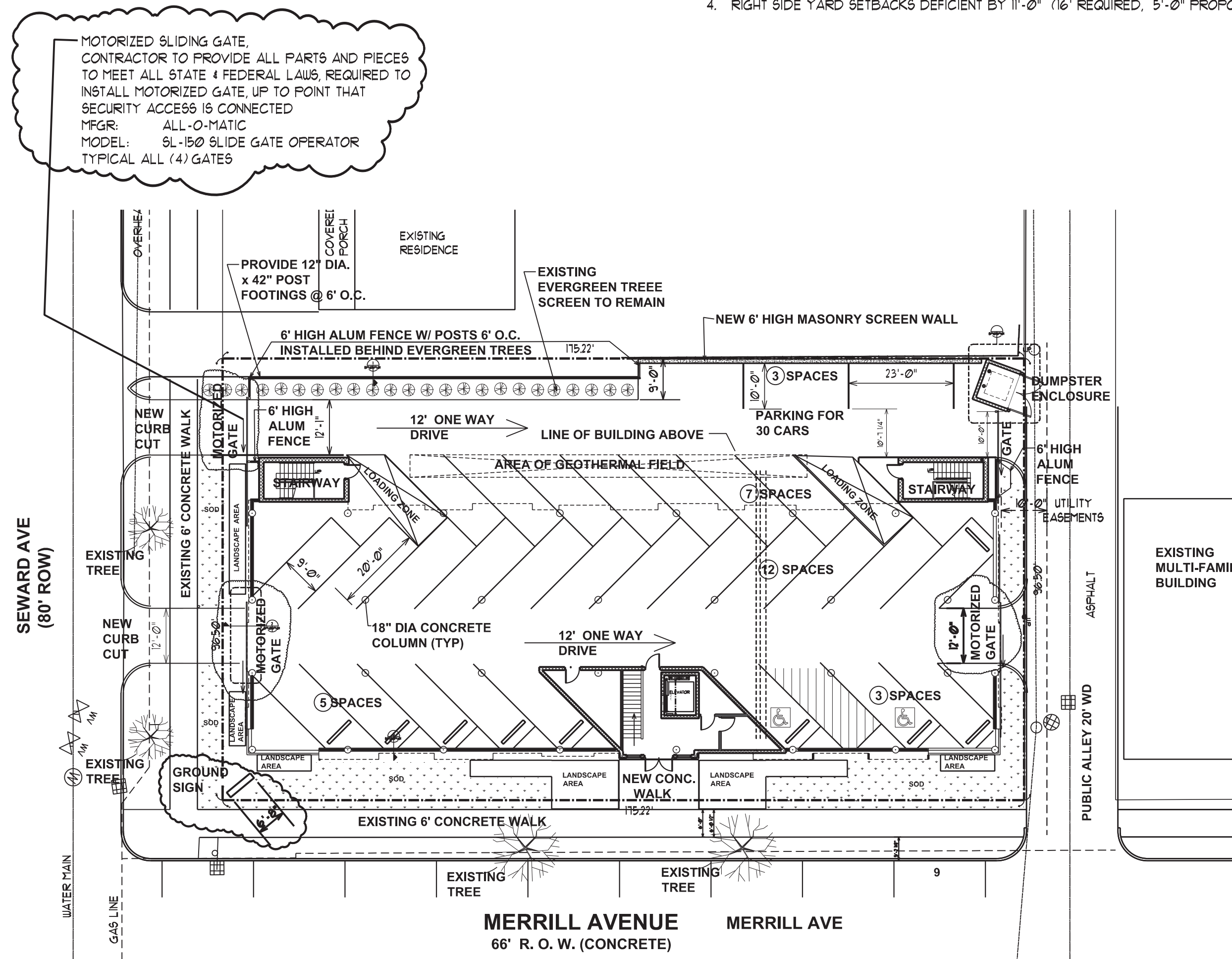
ZONED: R-3 LOW DENSITY RESIDENTIAL DISTRICT

1. SETBACKS:	REQUIRED	PROVIDED
FRONT	20 FEET	8'-11"
REAR	30 FEET	30'-0"
SIDE	3'-4" (2 1/2' / 5')	5'-0"

BUILDING HEIGHT: NONE REQUIRED 48'-4" PROPOSED

VARIANCE GRANTED BY BZA

- ITEMS APPROVED BY BZA
1. PARKING VARIANCE: DEFICIENT BY 4 SPACES
 2. FRONT YARD SETBACK, DEFICIENT BY 11'-1" (20' REQUIRED, 8'-11" PROPOSED)
 3. LEFT SIDE YARD SETBACKS DEFICIENT BY 11'-0" (16' REQUIRED, 5'-0" PROPOSED)
 4. RIGHT SIDE YARD SETBACKS DEFICIENT BY 11'-0" (16' REQUIRED, 5'-0" PROPOSED)



SITE PLAN
1" = 20'-0"

SITE SECURITY CAMERA SYSTEM
MFR: RICO SECURITY, INC.
MODEL: JOE RICCOBONO
DESCRIPTION: 1-586-803-0003

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TROY, MICHIGAN 48064

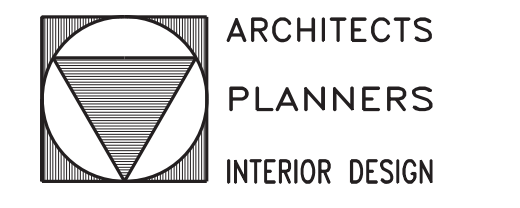
TEL: 248-654-1010
FAX: 248-654-3002

SCOTT@SMAARCH.COM

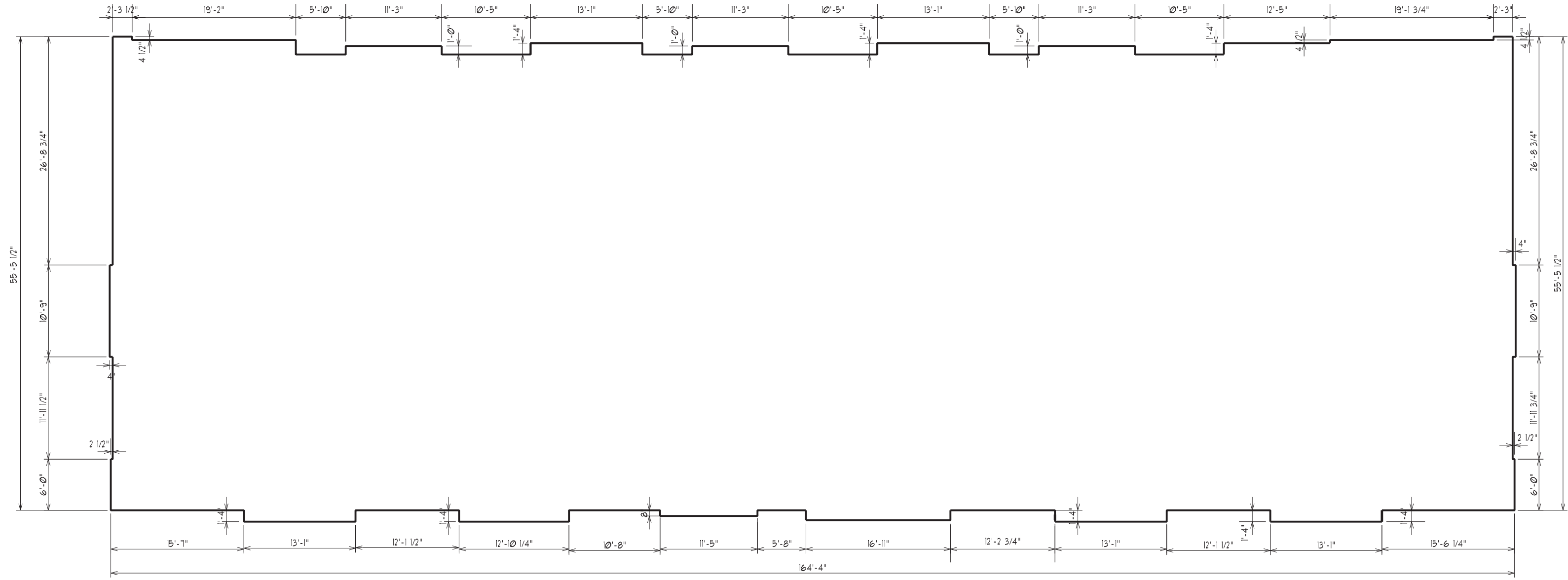
MERRILL PLACE - APARTMENTS
PHASE I
1312 SEWARD
DETROIT, MICHIGAN

ISSUED FOR:
6 SEPT 19 CHECK SET
10 NOV 19 BID SET
15 APRIL 2020 RE-BID SET

SHEET# SP1.01
DATE: 15 APRIL 2020
JOB# 13054

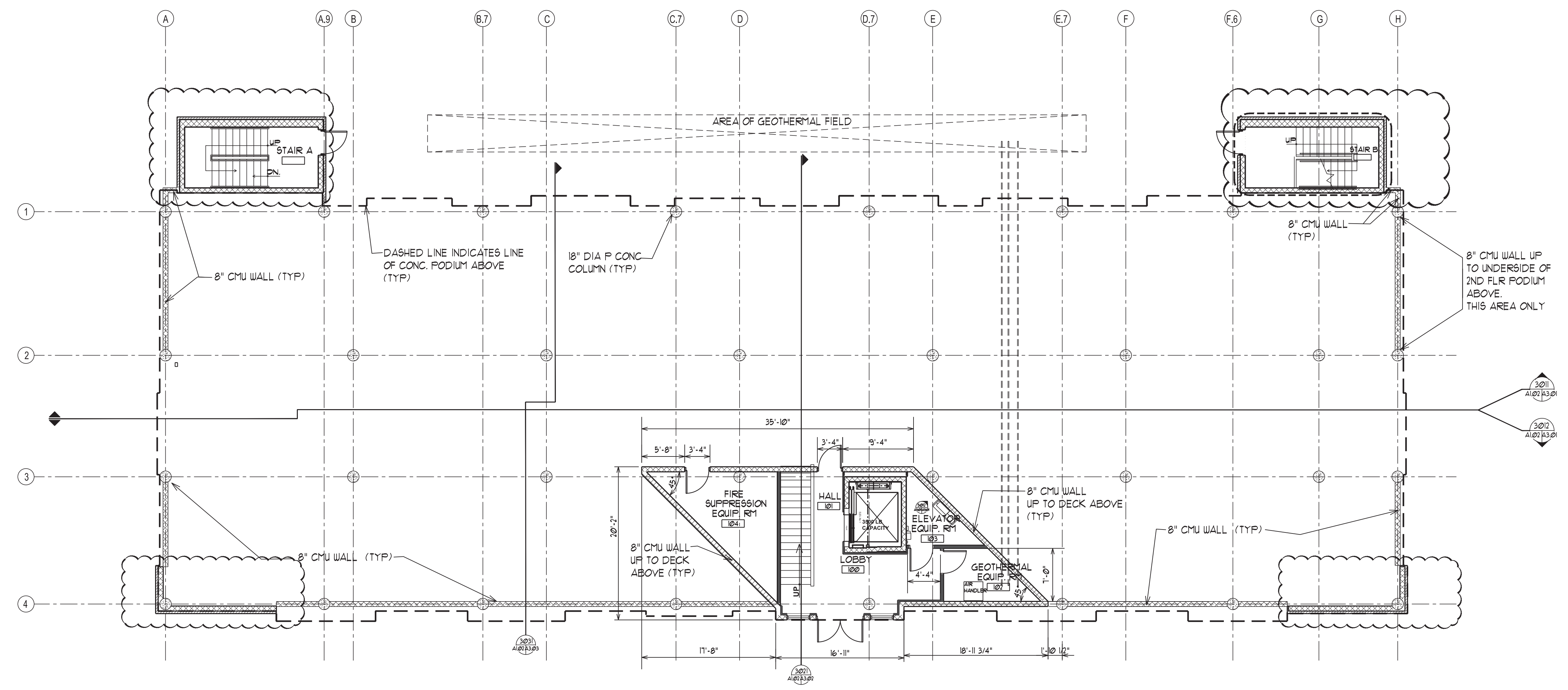


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 SCOTT@SMAARCH.COM



PODIUM PROFILE PLAN
 NO SCALE

PARTITION LEGEND	
A	EXTERIOR WALL - FULL BRICK ON MTL BRICK TRACK ON TYVEK WRAP ON 1/2 OSB WALL SHEATHING ON 2x6 WOOD STUDS @ 16" OC. W/ 5 1/2" BATT INSULATION & 1/2" GYP. BOARD.
B	EXTERIOR WALL - FIBER CEMENT PANEL SIDING ON 1/4 WOOD FURRING ON TYVEK WRAP ON 1/2 OSB WALL SHEATHING ON 2x6 WOOD STUDS @ 16" OC. W/ 5 1/2" BATT INSULATION & 1/2" GYP. BOARD.
C	EXTERIOR WALL - HORIZONTAL RED CEDAR CHANNEL SIDING - SMOOTH GRADE, 5/16" GRADE ON 1/4 WOOD FURRING INSTALLED VERTICALLY ON TYVEK WRAP ON 1/2 OSB WALL SHEATHING ON 2x6 WOOD STUDS @ 16" OC. W/ 5 1/2" BATT INSULATION & 1/2" GYP. BOARD.
D	EXTERIOR WALL - STAIRWAY (FLOORS 2-4) FULL BRICK W/ 1" AIR GAP ON TYVEK WRAP ON 1/2 OSB WALL SHEATHING ON 1 1/2" MTL HAT CHANNELS AT 24" OC ATTACHED TO 8" CMU (SMOOTH FACE) W/ 1/2" RIGID INSULATION BTWN HAT CHANNELS
E	EXTERIOR WALL - STAIRWAY (9th FLOOR) 12" CMU - SPLIT FACE
F	INTERIOR PARTITION - 1 HOUR FIRE RATED UL U418 5/8" FIRE RATED TYPE 'X' GYP. BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" OC. W/ 3 1/2" BATT INSULATION. SEALED TIGHT TO UNDERSIDE OF FRAMING ABOVE
G	INTERIOR PARTITION - 1/2" GYP. BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" OC. W/ 3 1/2" BATT INSULATION.
H	INTERIOR PARTITION - HALF HEIGHT WALL (34" HIGH) 1/2" GYP. BD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" OC.
J	INTERIOR PARTITION - STAIRWAY 1/2" GYP. BOARD ON MTL HAT CHANNEL FURRING AT 24" OC ON 8" CMU (SMOOTH BLOCK)

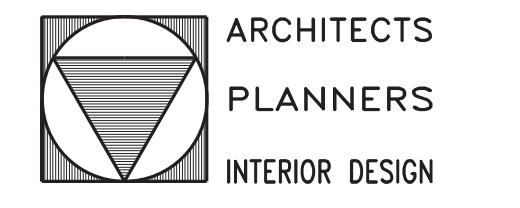


FIRST FLOOR GROUND LEVEL (PARKING)
 1/8" = 1'-0"

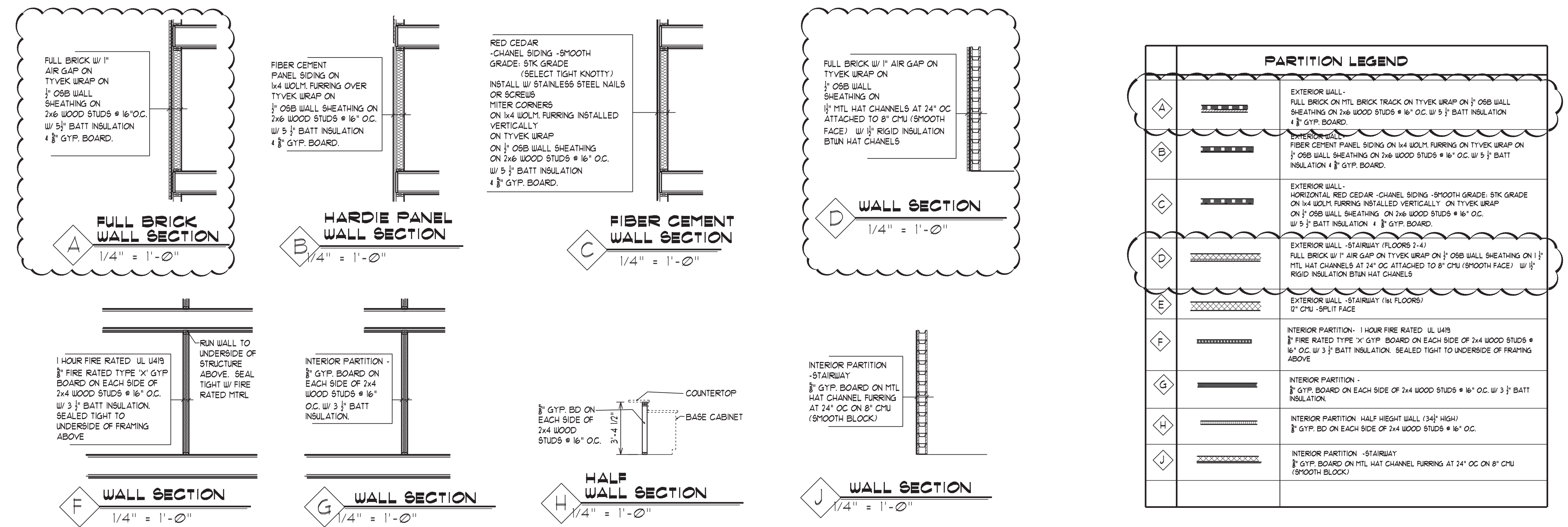
MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN

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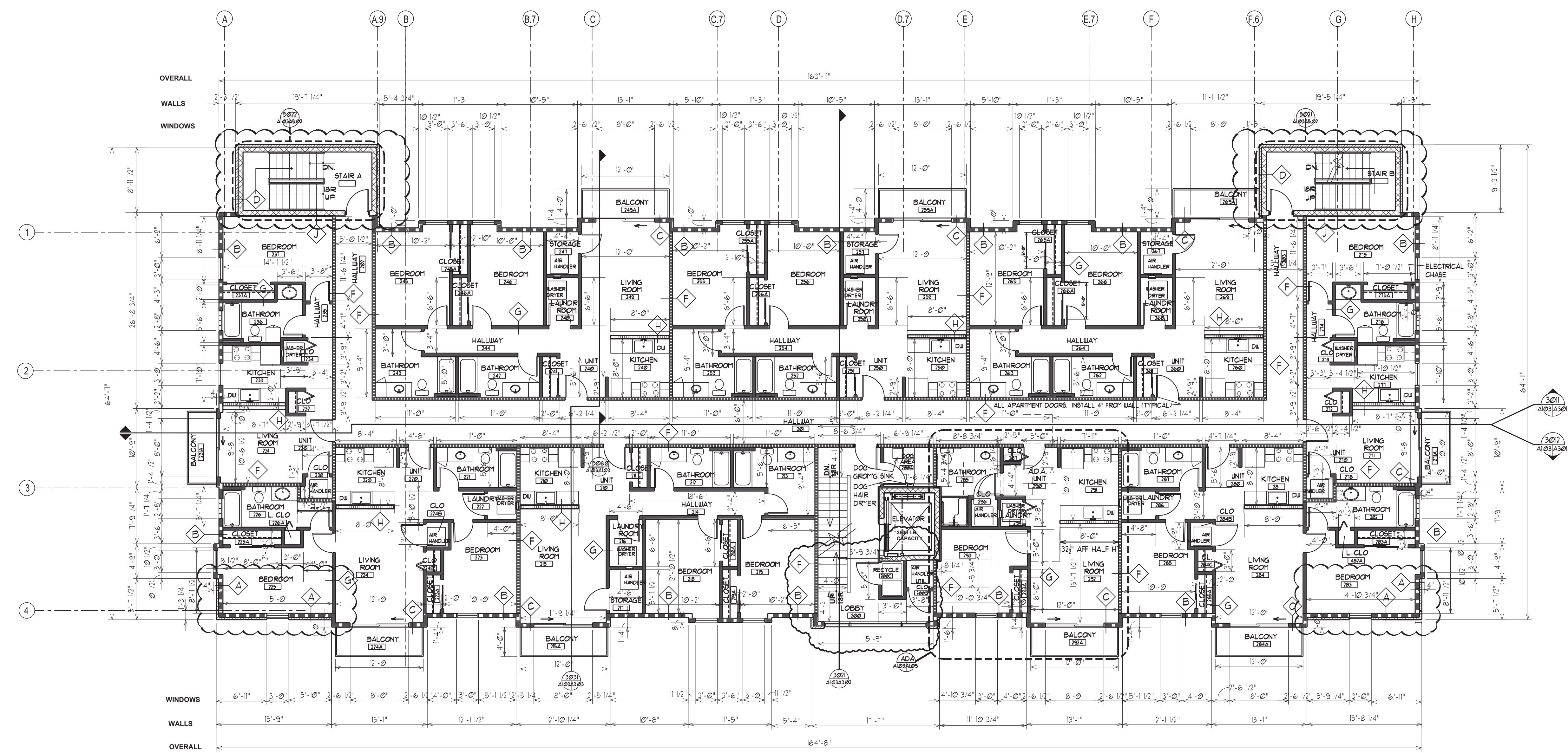
SHEET# A1.02
 DATE: 15 APRIL 2020
 JOB# 13054



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 FAX: 248-654-3002
 SCOTT@SMAARCH.COM



PARTITION LEGEND	
A	EXTERIOR WALL - FULL BRICK ON MTL BRICK TRACK ON TYVEK WRAP ON 1/2" OSB WALL SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" BATT INSULATION & 1/2" GYP. BOARD.
B	EXTERIOR WALL - FIBER CEMENT PANEL SIDING ON 1/4" WOLM FURRING OVER TYVEK WRAP ON 1/2" OSB WALL SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" BATT INSULATION & 1/2" GYP. BOARD.
C	EXTERIOR WALL - HORIZONTAL RED CEDAR - CHANNEL SIDING - SMOOTH GRADE, 5/16" GRADE ON 1/4" WOLM FURRING INSTALLED VERTICALLY ON TYVEK WRAP ON 1/2" OSB WALL SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" BATT INSULATION & 1/2" GYP. BOARD.
D	EXTERIOR WALL - STAIRWAY (FLOORS 2-4) FULL BRICK W/ 1" AIR GAP ON TYVEK WRAP ON 1/2" OSB WALL SHEATHING ON 1" MTL HAT CHANNELS AT 24" OC ATTACHED TO 8" CMU (SMOOTH FACE) W/ 1" RIGID INSULATION BTWN HAT CHANNELS
E	EXTERIOR WALL - STAIRWAY (1st FLOORS) 1" CMU - SPLIT FACE
F	INTERIOR PARTITION - 1 HOUR FIRE RATED UL U419 1/2" FIRE RATED TYPE 'X' GYP. BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. W/ 3/8" BATT INSULATION. SEALED TIGHT TO UNDERSIDE OF FRAMING ABOVE
G	INTERIOR PARTITION - 1/2" GYP. BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. W/ 3/8" BATT INSULATION.
H	INTERIOR PARTITION - HALF HEIGHT WALL (34" HIGH) 1/2" GYP. BD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C.
J	INTERIOR PARTITION - STAIRWAY 1/2" GYP. BOARD ON MTL HAT CHANNEL FURRING AT 24" OC ON 8" CMU (SMOOTH BLOCK)



SECOND FLOOR PLAN
 1/8" = 1'-0"

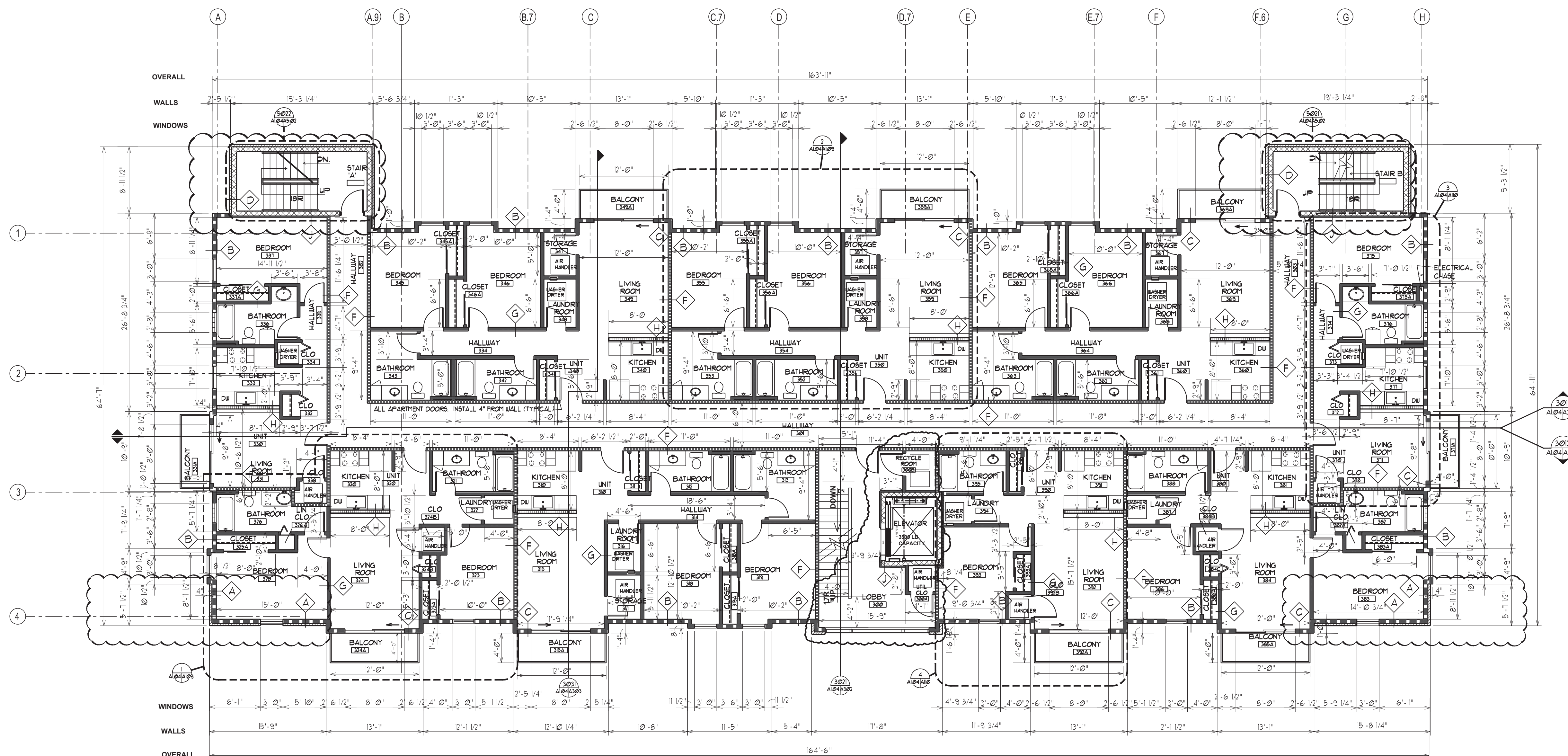
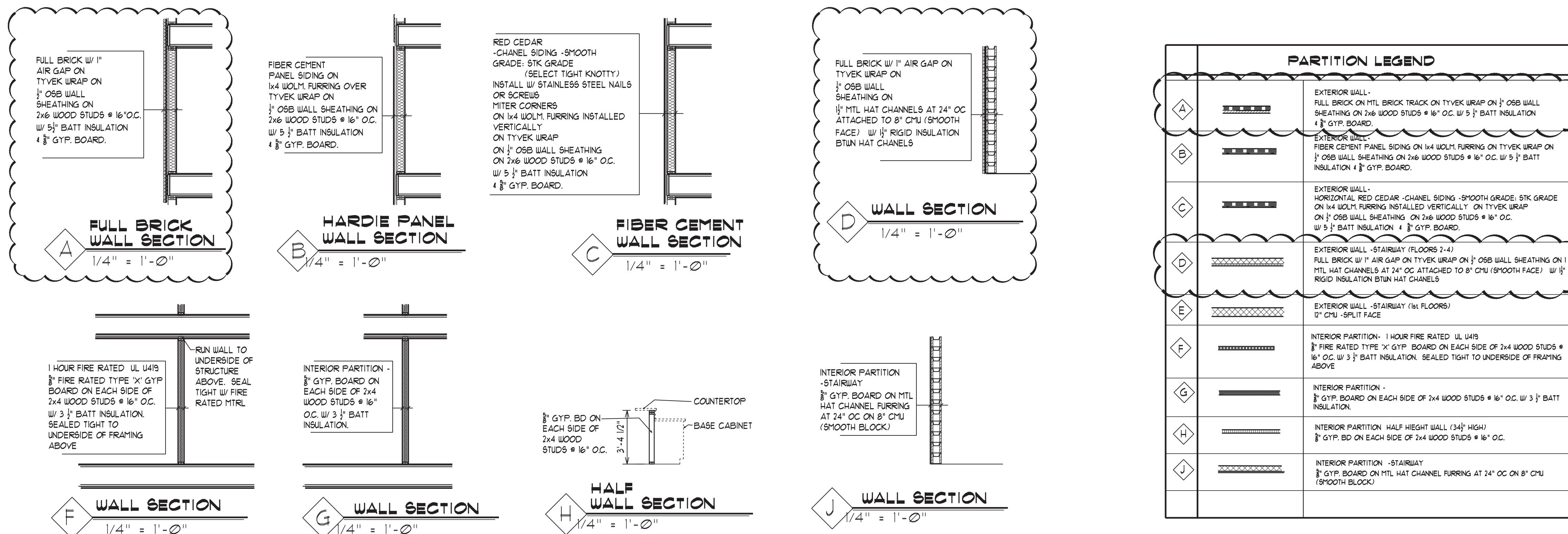
MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN

ISSUED FOR:
 6 SEPT 19 CHECK SET
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 15 APRIL 2020 RE-BID SET

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**ARCHITECTS
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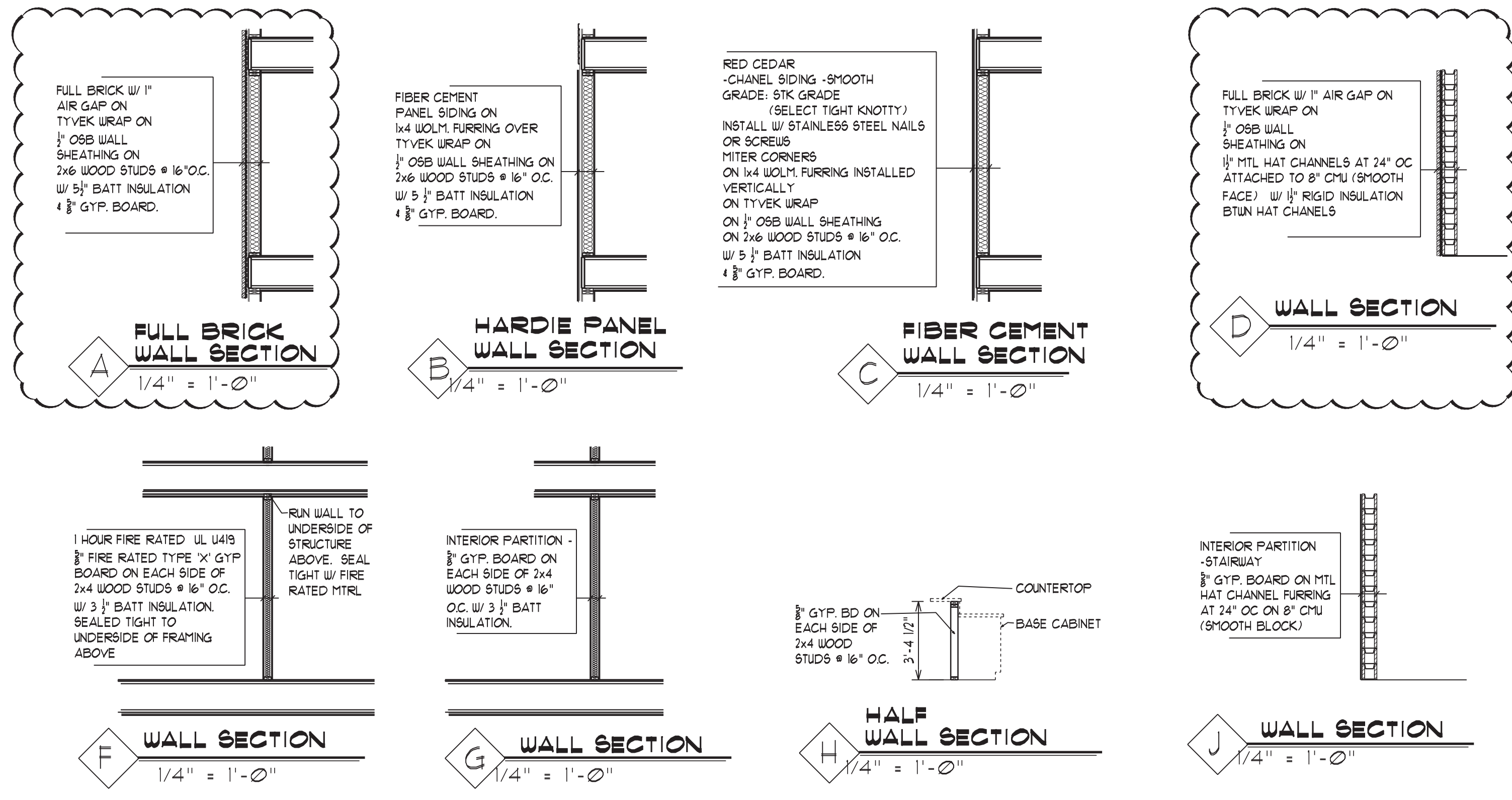


THIRD FLOOR PLAN
 1/2" = 1'-0"

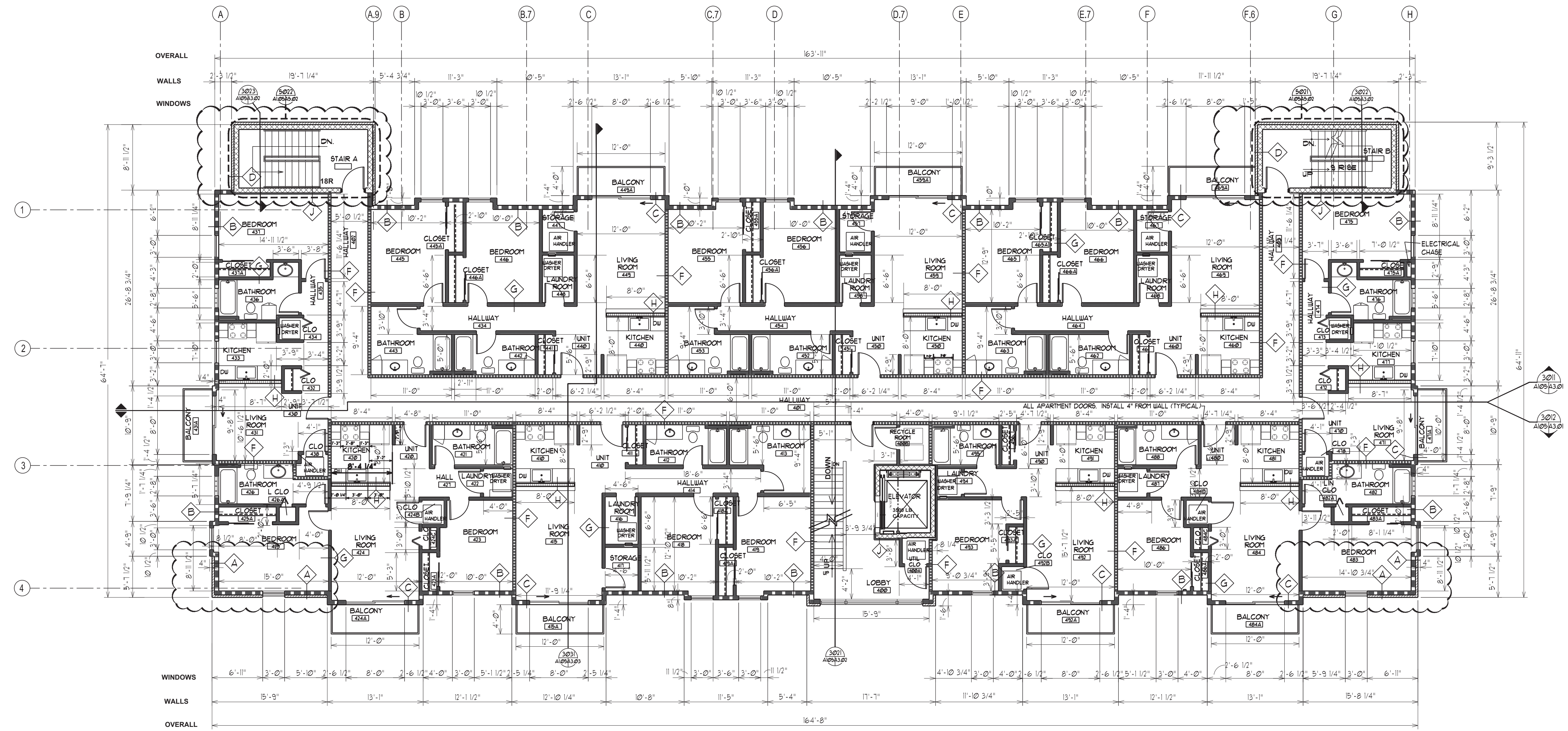
**MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN**

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 CHECK SET
 10 NOV 19
 BID SET
 15 APRIL 2020
 RE-BID SET

SHEET# A1.04
 DATE: 15 APRIL 2020
 JOB# 13054



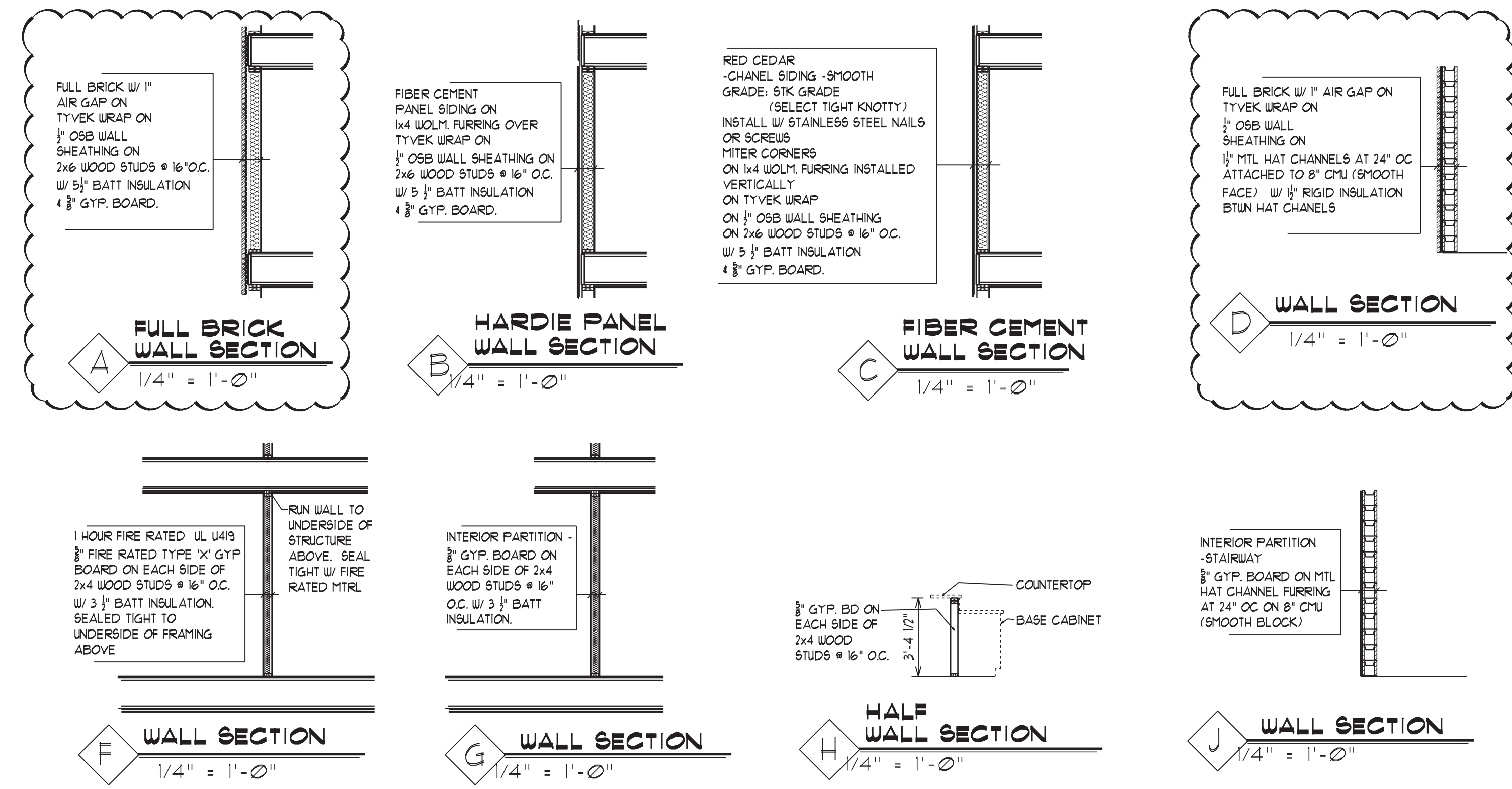
PARTITION LEGEND	
A	EXTERIOR WALL - FULL BRICK ON MTL BRICK TRACK ON TYVEK WRAP ON 1/2" OSB WALL SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" BATT INSULATION & 1/2" GYP. BOARD.
B	EXTERIOR WALL - FIBER CEMENT PANEL SIDING ON 1x4 WOLM. FURRING ON TYVEK WRAP ON 1/2" OSB WALL SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" BATT INSULATION & 1/2" GYP. BOARD.
C	EXTERIOR WALL - HORIZONTAL RED CEDAR CHANNEL SIDING - 8" SMOOTH GRADE, 5/16" GRADE ON 1x4 WOLM. FURRING INSTALLED VERTICALLY ON TYVEK WRAP ON 1/2" OSB WALL SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" BATT INSULATION & 1/2" GYP. BOARD.
D	EXTERIOR WALL - STAIRWAY (FLOORS 2-4) FULL BRICK 3/4" AIR GAP ON TYVEK WRAP ON 1/2" OSB WALL SHEATHING ON 1/2" MTL HAT CHANNELS AT 24" OC ATTACHED TO 8" CMU (SMOOTH FACE) W/ 1/2" RIGID INSULATION BTUN HAT CHANNELS.
E	EXTERIOR WALL - STAIRWAY (6th FLOORS) 1" CMU - SPLIT FACE.
F	INTERIOR PARTITION - 1 HOUR FIRE RATED UL U415 1/2" FIRE RATED TYPE 'X' GYP. BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. W/ 3/8" BATT INSULATION. SEALED TIGHT TO UNDERSIDE OF FRAMING ABOVE.
G	INTERIOR PARTITION - 1/2" GYP. BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. W/ 3/8" BATT INSULATION.
H	INTERIOR PARTITION - HALF HEIGHT WALL (34" HIGH) 1/2" GYP. BD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C.
I	INTERIOR PARTITION - STAIRWAY 1/2" GYP. BOARD ON MTL HAT CHANNEL FURRING AT 24" OC ON 8" CMU (SMOOTH BLOCK).



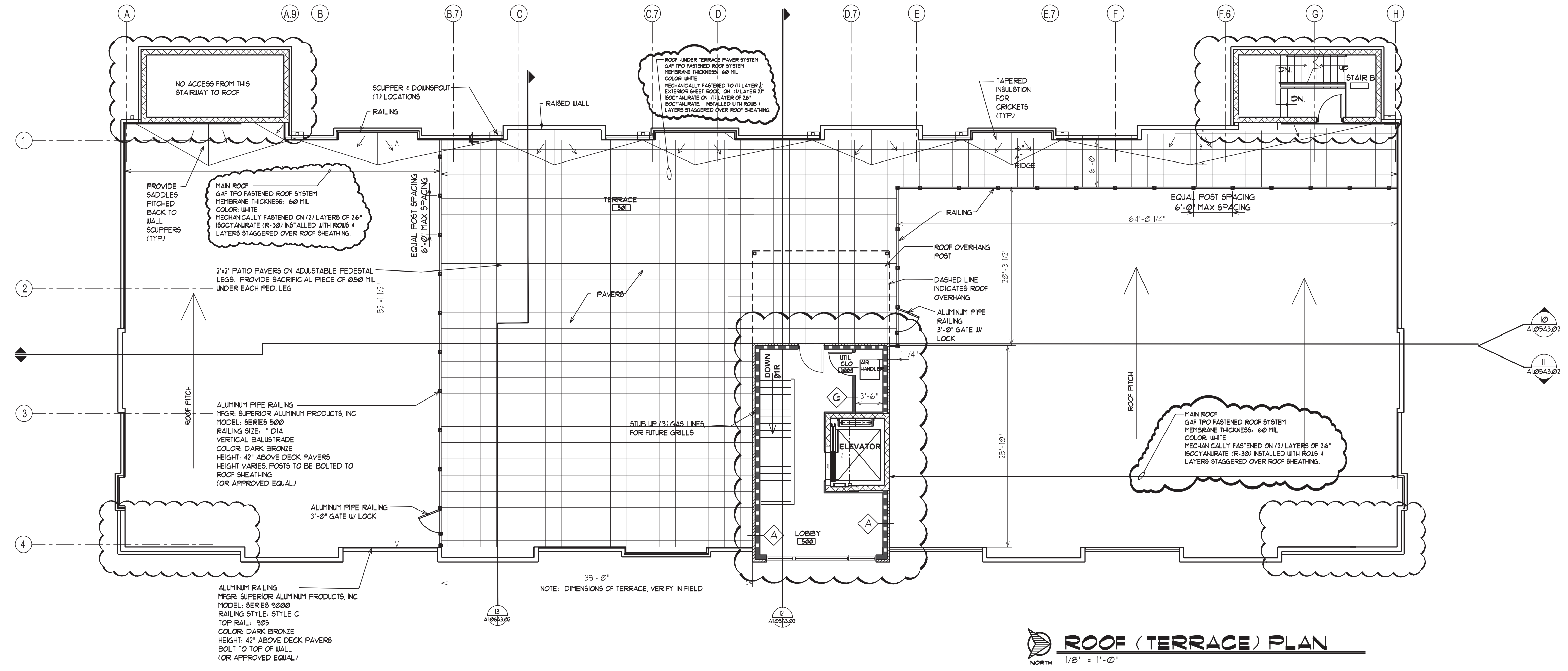
MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN

ISSUED FOR:
 6 SEPT 19 CHECK SET
 10 NOV 19 BID SET
 15 APRIL 2020 RE-BID SET

SHEET# A1.05
 DATE: 15 APRIL 2020
 JOB# 13054



PARTITION LEGEND	
A	EXTERIOR WALL - FULL BRICK ON MTL BRICK TRACK ON TYVEK WRAP ON 1/2" OSB WALL SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" BATT INSULATION & 1/2" GYP. BOARD.
B	EXTERIOR WALL - FIBER CEMENT PANEL SIDING ON 1x4 WOLM FURRING ON TYVEK WRAP ON 1/2" OSB WALL SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" BATT INSULATION & 1/2" GYP. BOARD.
C	EXTERIOR WALL - HORIZONTAL RED CEDAR -CHANEL SIDING -SMOOTH GRADE, 5TK GRADE ON 1x4 WOLM FURRING INSTALLED VERTICALLY ON TYVEK WRAP ON 1/2" OSB WALL SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" BATT INSULATION & 1/2" GYP. BOARD.
D	EXTERIOR WALL - STAIRWAY (FLOORS 2-4) FULL BRICK W/ 1" AIR GAP ON TYVEK WRAP ON 1/2" OSB WALL SHEATHING ON 1/2" MTL HAT CHANNELS AT 24" OC ATTACHED TO 8" CMU (SMOOTH FACE) W/ 1/2" RIGID INSULATION BTWN HAT CHANNELS.
E	EXTERIOR WALL - STAIRWAY (1st FLOORS) 12" CMU - SPLIT FACE
F	INTERIOR PARTITION - 1 HOUR FIRE RATED UL U419 1/2" FIRE RATED TYPE 'X' GYP BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. W/ 3/8" BATT INSULATION. SEALED TIGHT TO UNDERSIDE OF FRAMING ABOVE.
G	INTERIOR PARTITION - 1/2" GYP BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. W/ 3/8" BATT INSULATION.
H	INTERIOR PARTITION - HALF HEIGHT WALL (34" HIGH) 1/2" GYP. BD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C.
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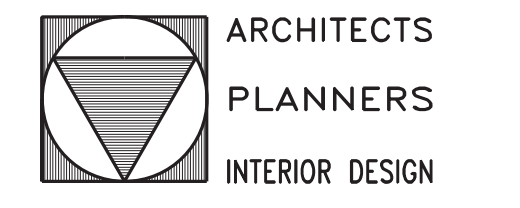


MERRILL PLACE - APARTMENTS
 PHASE I
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 DETROIT, MICHIGAN

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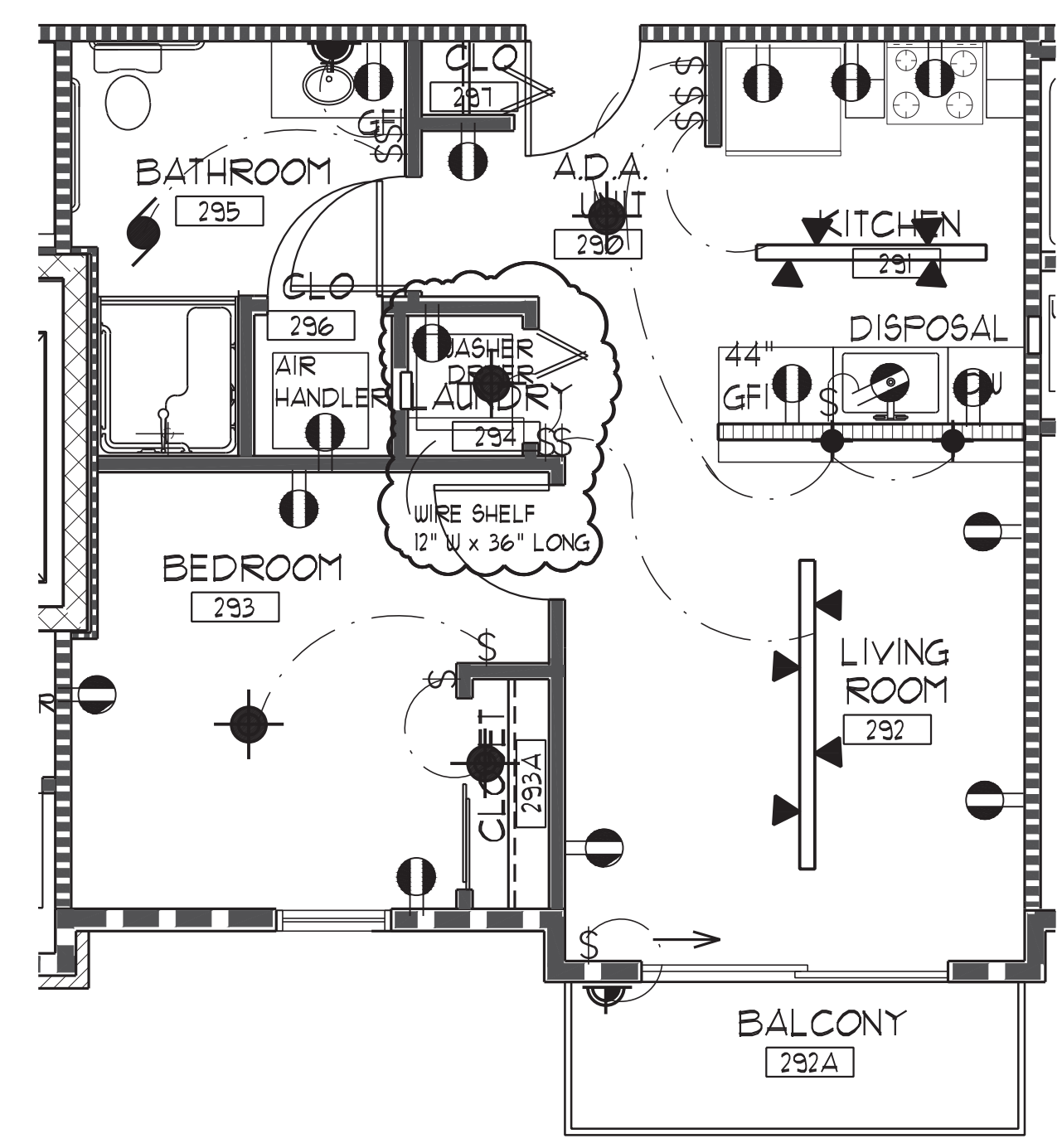
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 DATE: 15 APRIL 2020
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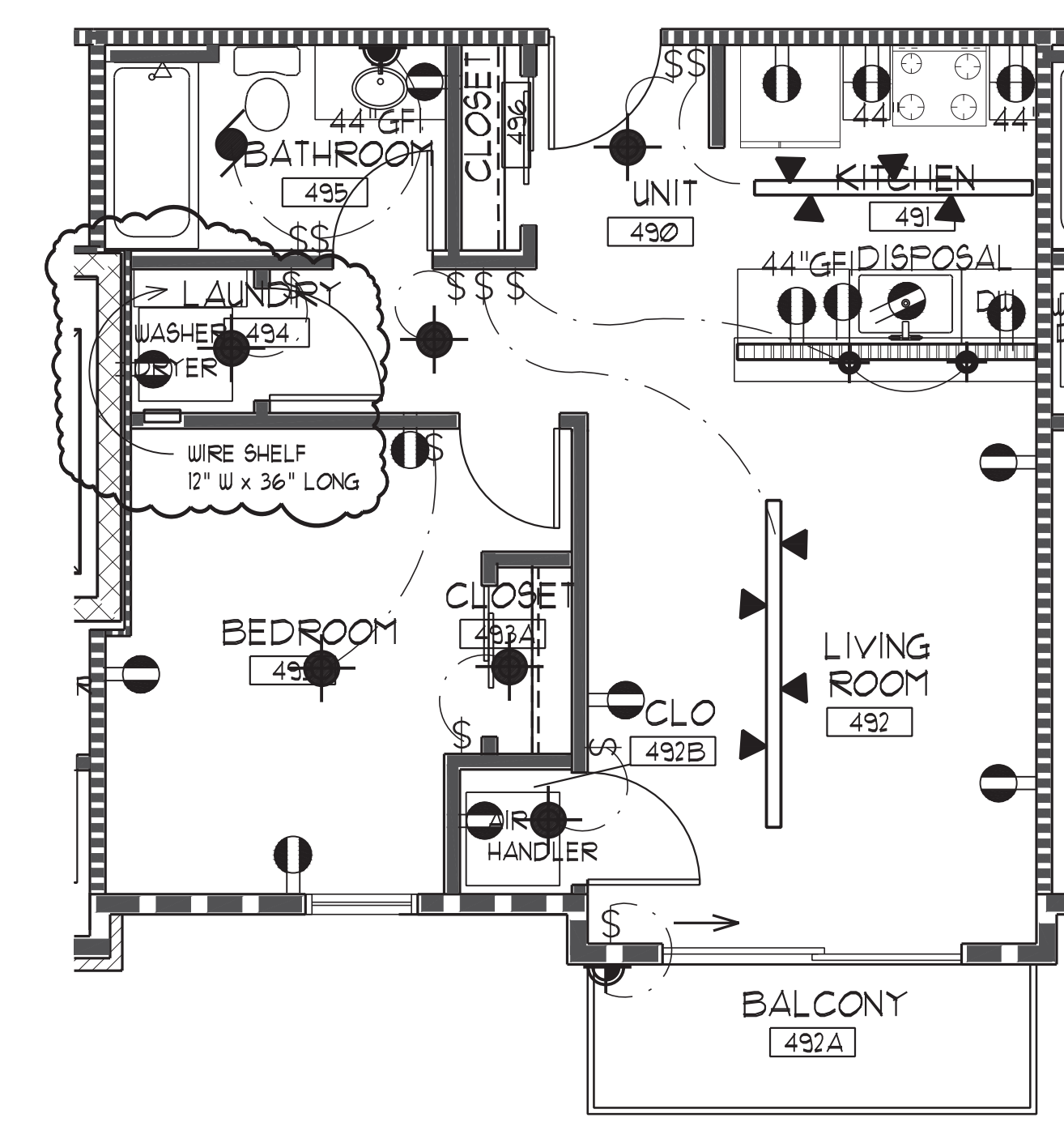


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 1700 STUTZ DRIVE
 SUITE 104-B
 TROY, MICHIGAN 48064
 TEL: 248-654-1010
 FAX: 248-654-3002
 SCOTT@SMAARCH.COM

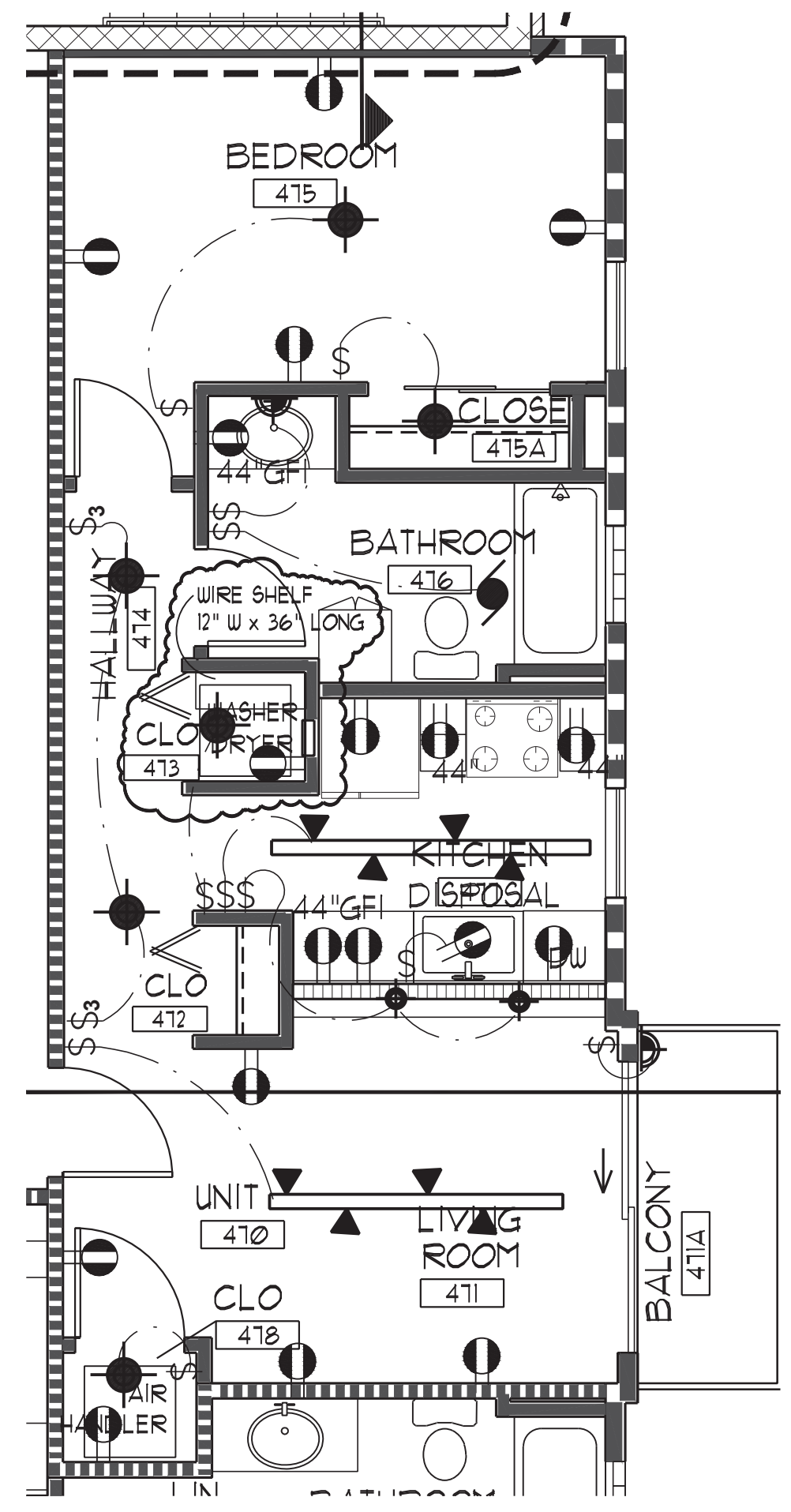
POWER & LIGHTING LEGEND	
⊕	NEW DUPLEX ELECTRICAL OUTLET
⊖	NEW SWITCHED DUPLEX ELECTRICAL OUTLET
\$	NEW LIGHT SWITCH
\$₃	NEW 3-WAY LIGHT SWITCH
◆	NEW SURFACE MTD LIGHT FIXTURE
—▲—	NEW SURFACE MTD TRACK LIGHT FIXTURE AND TRACK HEADS
—▲—	NEW SURFACE MTD VANITY LIGHT FIXTURE
—▲—	NEW SURFACE MTD EXTERIOR WALL SCONCE LIGHT FIXTURE
⚡	NEW SURFACE MTD BATHROOM FAN FIXTURE
◆	NEW SURFACE MTD PENDANT LIGHT FIXTURE



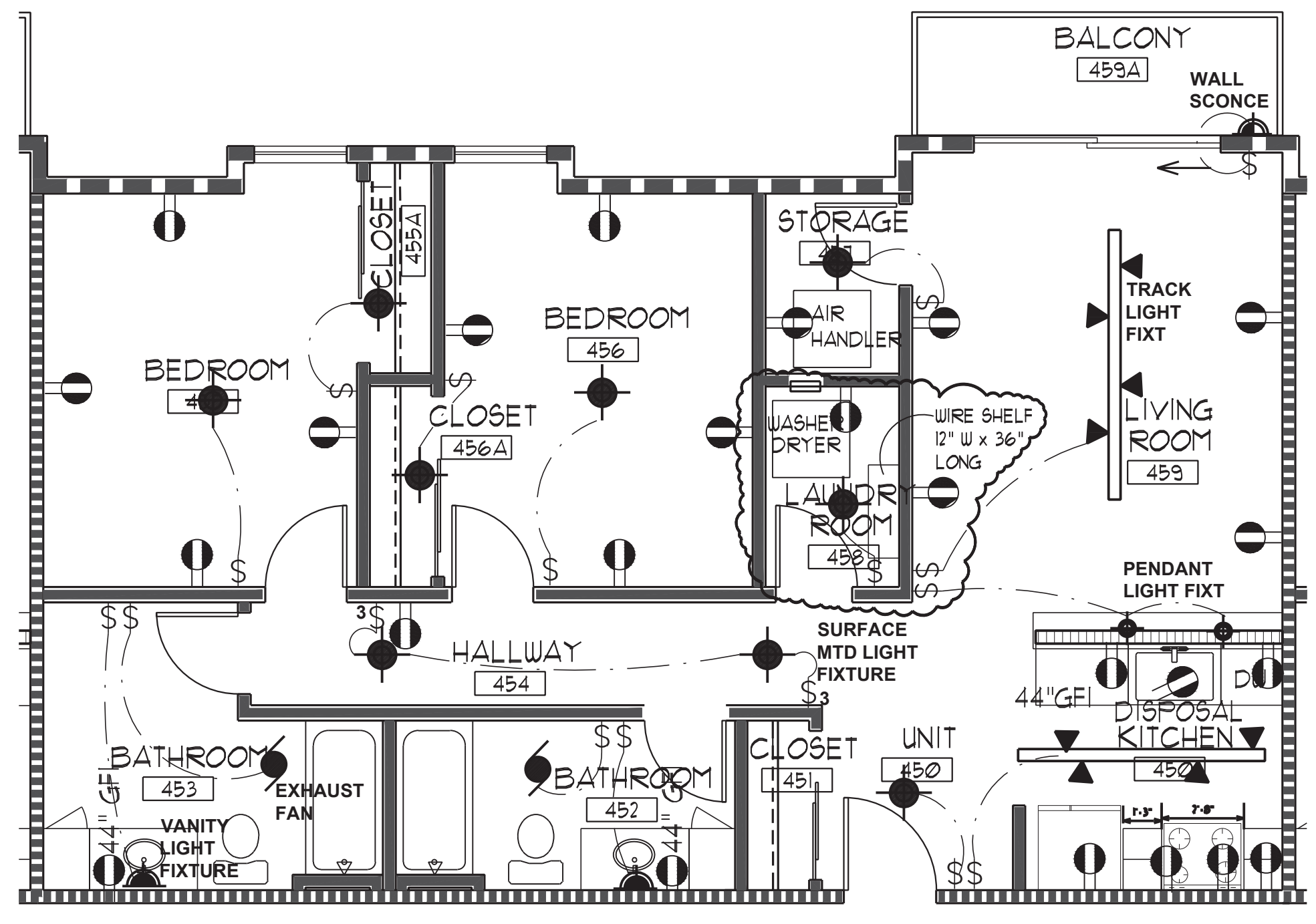
ADA UNIT 290
 1/4" = 1'-0"



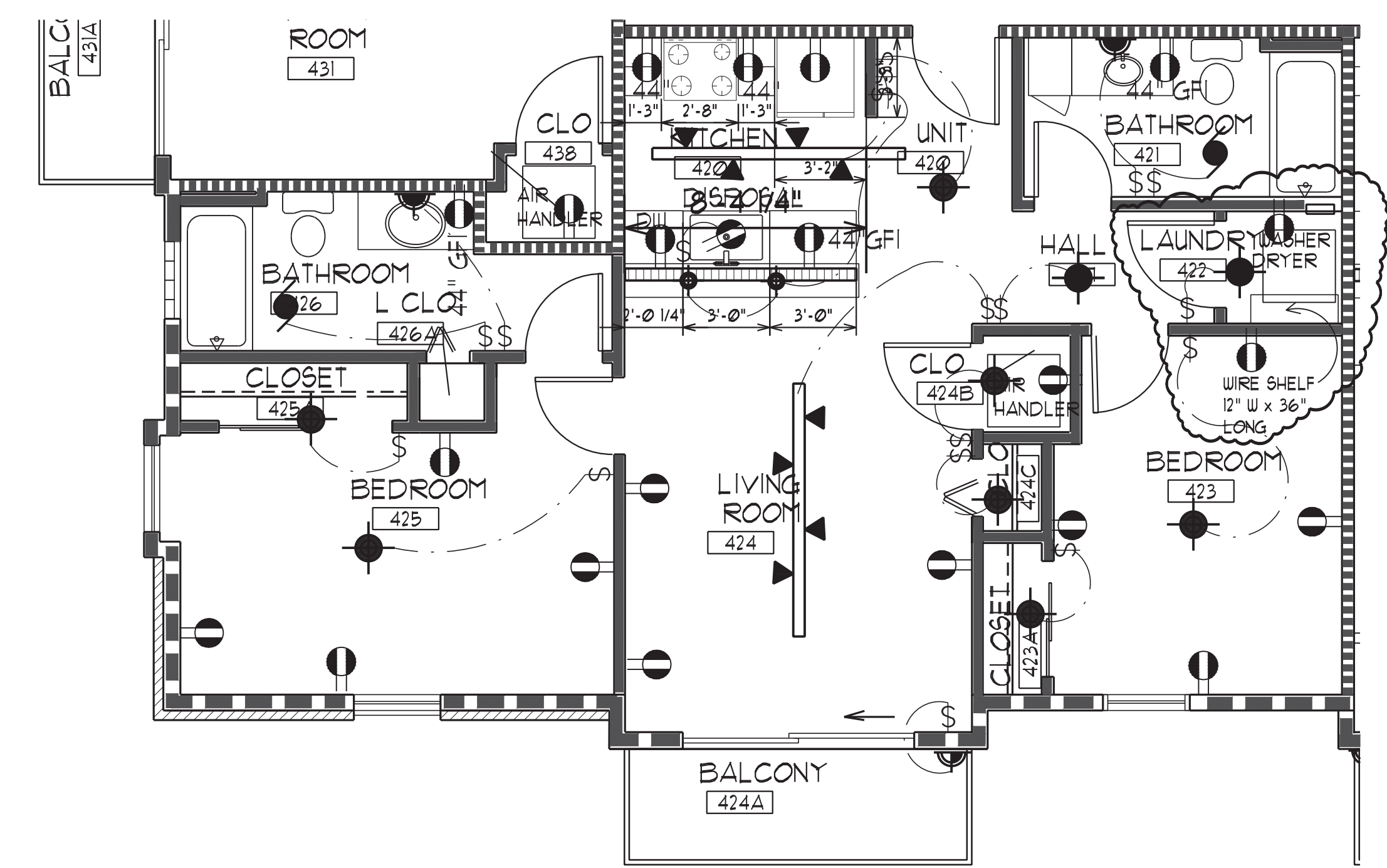
UNIT TYPE '4' UNITS: 390, 490
 1/4" = 1'-0"



UNIT TYPE '3' UNITS: 230, 270, 330, 370, 430, 470
 1/4" = 1'-0"



UNIT TYPE '2' UNITS: 210, 240, 250, 260, 310, 340, 350, 360, 410, 440, 450, 460
 1/4" = 1'-0"



UNIT TYPE '1' UNITS: 220, 280, 320, 380, 420, 480
 1/4" = 1'-0"

MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN

ISSUED FOR:
 6 SEPT 19 CHECK SET
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 15 APRIL 2020 RE-BID SET

SCHEMATIC POWER & LIGHTING PLANS
 SEE ELECTRICAL ENGINEERING PLANS

SHEET# A1.07
 DATE: 15 APRIL 2020
 JOB# 13054

INTERIOR FINISH MATERIAL SPECIFICATIONS:

FLOORING

CPT-1 CARPET
24"x24" TILES
HALLWAYS
MFR: SHAW CONTRACT
REP: PATRICK IMESCH 313-300-0219
STYLE: 5T291 STRUCTURE STRATAWORX
COLOR: 94161 SHINY PEBBLE
INSTALL: ASHLAR

CPT-2 CARPET
BEDROOMS
MFR: SHAW CONTRACT
REP: PATRICK IMESCH 313-300-0219
STYLE: 60114 HOMESTEAD CLASSICBAC
COLOR: 02520 SILVER CLOUD

CPT-3 CARPET
LOBBY STAIRS
MFR: PATCRAFT
REP: TINA KATIKOS 248-444-8894
STYLE: 10367 SHAKE ON IT
COLOR: 02180 INVESTMENT

LVT-1 VINYL PLANK
6"x48"
LOBBY
MFR: EF CONTRACT
REP: ANN WILKINSON 248-961-3159
STYLE: 0453V TERRAIN II
COLOR: 00564 SHADE
INSTALL: IN THIRDS

LVT-2 VINYL PLANK
6"x48"
APARTMENTS
MFR: PATCRAFT
REP: TINA KATIKOS 248-444-8894
STYLE: 1420V TIMBER GROVE II
COLOR: 05202 SHADY GROVE-V3
INSTALL: IN THIRDS

LVT-3 VINYL PLANK
6"x48"
APT BATHROOMS
MFR: PATCRAFT
REP: TINA KATIKOS 248-444-8894
STYLE: 1420V TIMBER GROVE II
COLOR: 00559 JUNIPER-V2
INSTALL: IN THIRDS

RT-1 RUBBER TILES
RUBBER TREADS
STAIRWAYS
MFR: ROPPE
REP: SCOTT GREINER 513-316-9800
STYLE: ***
COLOR: 114 SMOKE

BATHROOM ACCESSORIES

TB-1 24" TOWEL
BAR
MFR: FRANKLIN BRASS
MODEL: D2424W
REP: HOME DEPOT
STYLE: FUTURA 24IN. TOWEL BAR
COLOR: WHITE

TFH-1 TOILET PAPER
HOLDER
MFR: FRANKLIN BRASS
MODEL: HD14003
REP: HOME DEPOT
STYLE: FUTURA TOILET PAPER HOLDER
COLOR: WHITE

TR-1 TOWEL RING
MFR: FRANKLIN BRASS
MODEL: D2446W
REP: HOME DEPOT
STYLE: FUTURA TOWEL RING
COLOR: WHITE

BTH-1 DOUBLE TOWEL
HOOK
MFR: FRANKLIN BRASS
MODEL: D2402W
REP: HOME DEPOT
STYLE: FUTURA DOUBLE TOWEL HOOK
COLOR: WHITE

T&R-1 TENSION
SHOWER ROD
MFR: GLACIER BAY
MODEL: HD14003
REP: HOME DEPOT
STYLE: CARBON STEEL TENSION SHOWER ROD
COLOR: WHITE

FVM-1 FRAMED
VANITY MIRROR
MFR: GLACIER BAY
MODEL: MS2431-WHT
REP: HOME DEPOT
STYLE: FRAMED VANITY MIRROR
COLOR: WHITE

BASE

WB-1 4" WOOD BASE
MODEL: RC TRIM
COLOR: PAINT P-4

RB-1 4" RUBBER BASE
MFR: ROPPE
REP: SCOTT GREINER 513-316-9800
STYLE: ***
COLOR: 114 SMOKE

TRIM

WT-1 4" WOOD TRIM
(DOORS)
(WINDOWS)
MODEL: RC TRIM
COLOR: PAINT P-4

MILLWORK

ST-1 STONE COUNTERTOP
MFR: DUVER MARBLE & STONE
REP: MEG NICHOLS (248-416-4944)
STYLE: POLISHED GRANITE
COLOR: WHITE RADIANCE

PL-1 PLASTIC LAMINATE
VERTICAL CABINETRY
MFR: WILSONART
REP: KIMBERLY PATRICO (941-711-4229)
STYLE: 8200K-16
COLOR: WHITE DRIFTWOOD

PAINT

P-1 PAINT
MAIN
MFR: SHERWIN WILLIAMS
REP: MADELINE KING 248-930-9492
MODEL: SW1020
COLOR: WINDFRESH WHITE
FINISH: EGG SHELL

P-2 PAINT
LOBBY ACCENT
MFR: SHERWIN WILLIAMS
REP: MADELINE KING 248-930-9492
MODEL: SW1634
COLOR: LUXURIOUS RED
FINISH: SATIN

P-3 PAINT
APARTMENT ACCENT WALL
MFR: SHERWIN WILLIAMS
REP: MADELINE KING 248-930-9492
MODEL: SW1642
COLOR: PAVEMENT
FINISH: EGG SHELL

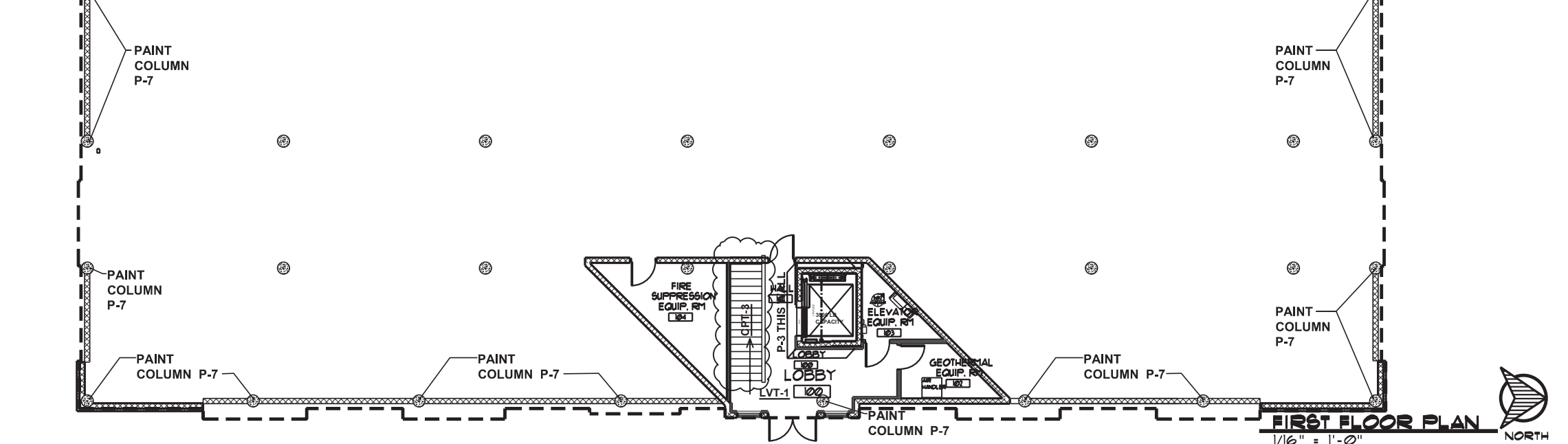
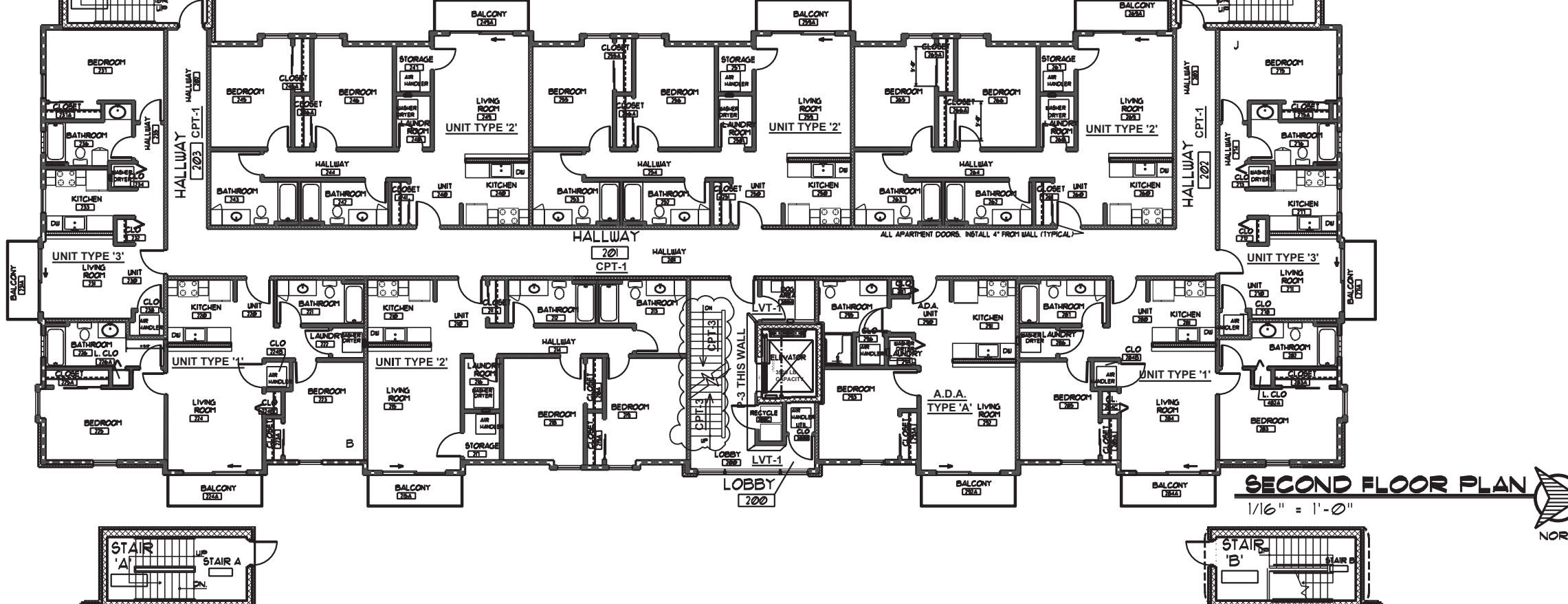
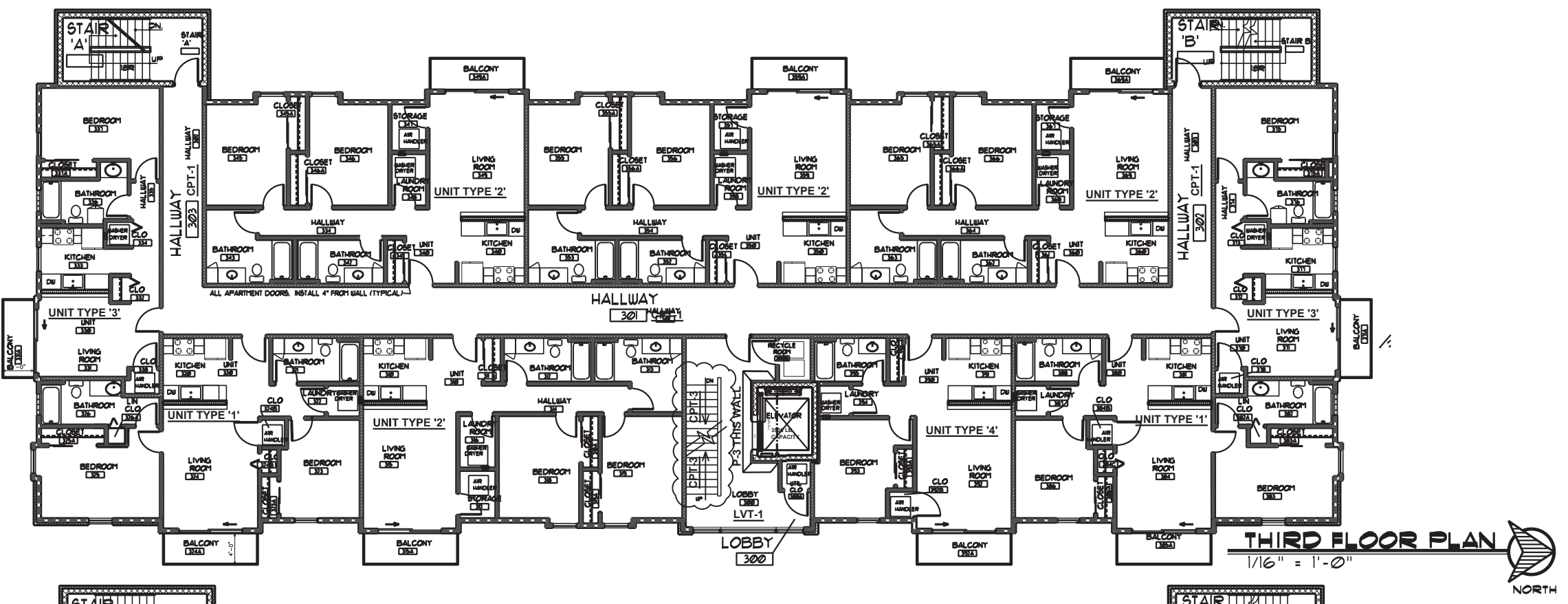
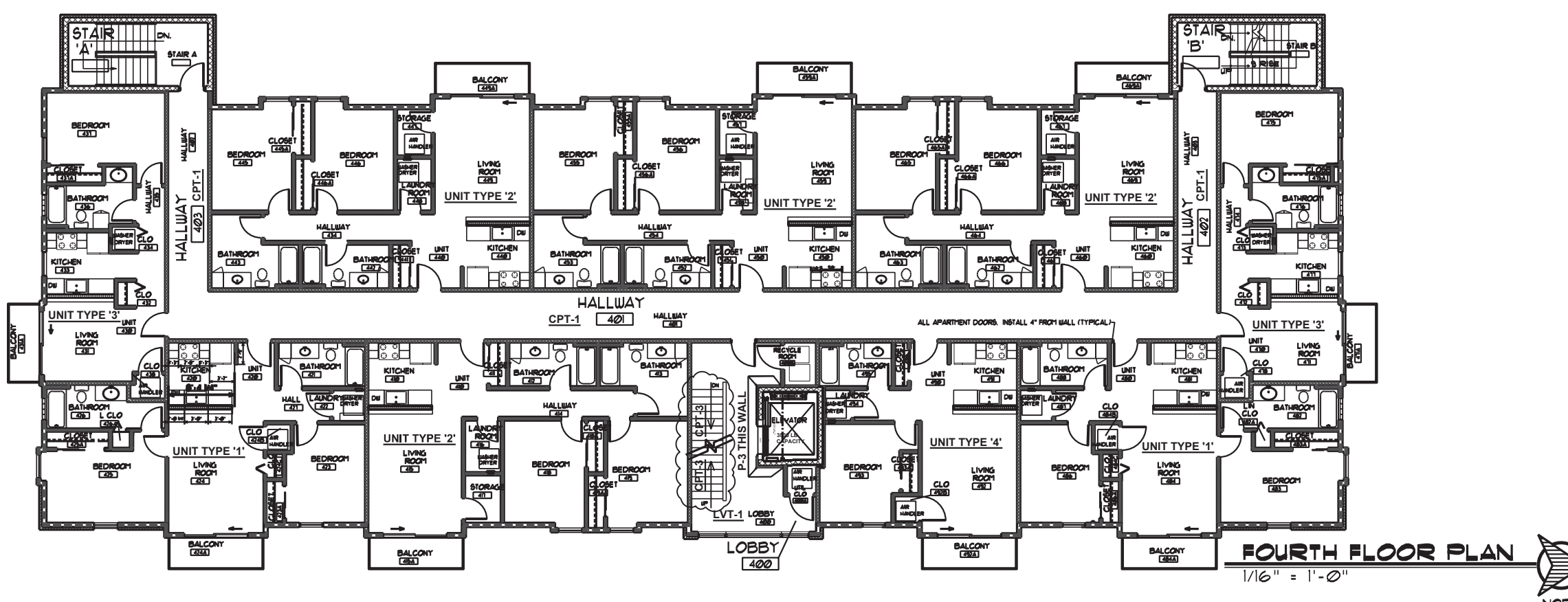
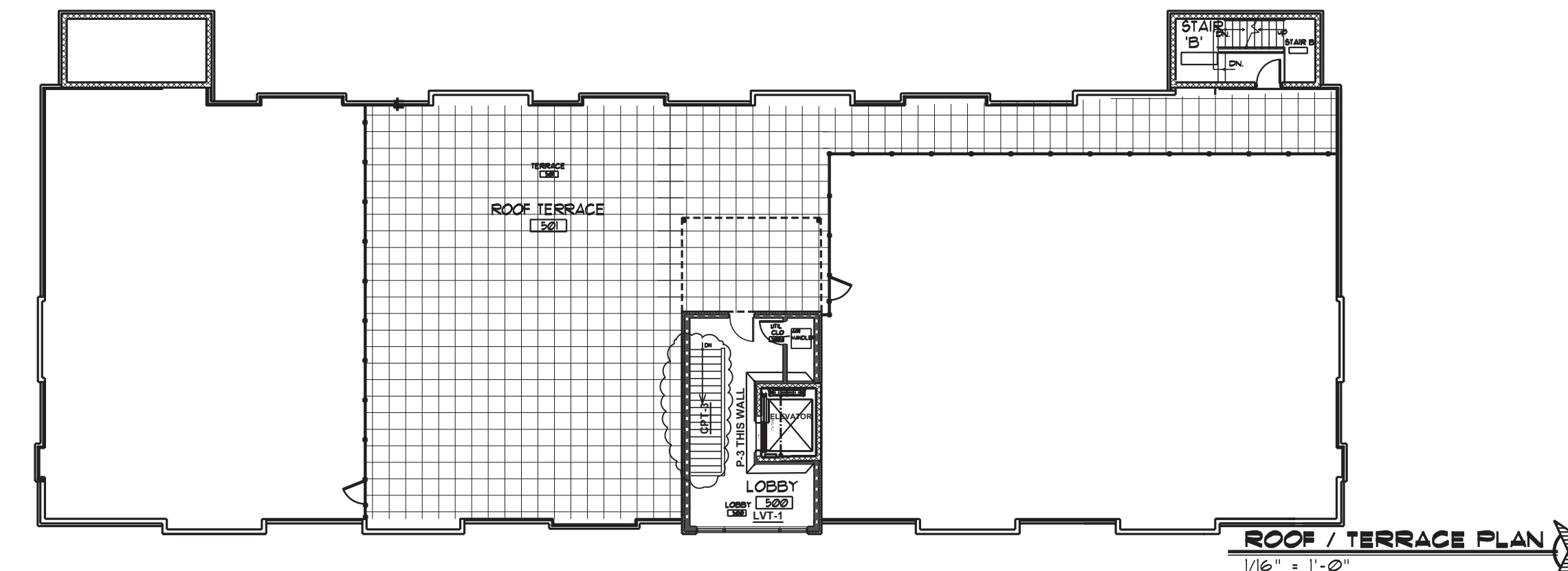
P-4 PAINT
TRIM DOOR & WINDOWS
MFR: SHERWIN WILLIAMS
REP: MADELINE KING 248-930-9492
MODEL: SW1005
COLOR: PURE WHITE
FINISH: GLOSS

P-5 PAINT
CEILING
MFR: SHERWIN WILLIAMS
REP: MADELINE KING 248-930-9492
MODEL: SW1001
COLOR: CEILING BRIGHT WHITE
FINISH: FLAT

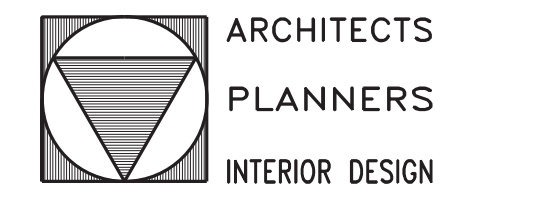
P-6 PAINT
DOOR TO APT
MFR: SHERWIN WILLIAMS
REP: MADELINE KING 248-930-9492
MODEL: CUSTOM COLOR
COLOR: MATCH DRK BRNZ DR FRAME
FINISH: GLOSS

ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	PLASTIC LAMINATE	COUNTERTOP	NOTES
				NORTH	EAST	SOUTH	WEST				
100	LOBBY	LVT-1	RB-1	P-1	P-1	P-1	P-1/P-2	P-5			
101	HALLWAY	LVT-1	RB-1	P-1/P-2	---	P-1	P-1	P-5			
102	GEO EQUIP ROOM	CONCRETE	RB-1	P-1	P-1	P-1	P-1	P-5			
103	ELEVATOR EQUIP RM	CONCRETE	RB-1	P-1	P-1	P-1	P-1	P-5			
104	FIRE SUPPRES. RM	CONCRETE	RB-1	P-1	P-1	P-1	P-1	P-5			
200	LOBBY	LVT-1	RB-1	P-1/P-2	P-1	P-1	P-1/P-2	P-5			
200A	DOG ROOM	LVT-1	RB-1	P-1	P-1/P-2	P-1	P-1	P-5			
200B	UTILITY CLO	LVT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
200C	RECYCLE ROOM	LVT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
201	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
202	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
203	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
300	LOBBY	LVT-1	RB-1	P-1/P-2	P-1	P-1	P-1/P-2	P-5			
300A	UTILITY CLO	LVT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
300B	RECYCLE ROOM	LVT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
301	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
302	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
303	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
400	LOBBY	LVT-1	RB-1	P-1/P-2	P-1	P-1	P-1/P-2	P-5			
400A	UTILITY CLO	LVT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
400B	RECYCLE ROOM	LVT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
401	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
402	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
403	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
500	LOBBY	LVT-1	RB-1	P-1/P-2	P-1	P-1	P-1/P-2	P-5			
500A	UTILITY CLO	LVT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
501	TERRACE	STONE PAVERS									
	STAIR A - ALL FLOORS	RT-1	RB-1	P-1	P-1	P-1	P-1	P-5			
	STAIR B - ALL FLOORS	RT-1	RB-1	P-1	P-1	P-1	P-1	P-5			



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TROY, MICHIGAN 48064
TEL: 248-654-1010
FAX: 248-654-3002
SCOTT@SMAARCH.COM

MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN

ISSUED FOR:
6 SEPT 19
CHECK SET
10 NOV 19
BID SET
15 APRIL 2020
RE-BID SET

SHEET# A1.08
DATE: 15 APRIL 2020
JOB# 13054



SCOTT MONCHNIK & ASSOCIATES, INC.
1700 STUTZ DRIVE
SUITE 104-B
TROY, MICHIGAN 48064
TEL: 248-654-1010
FAX: 248-654-3002
SCOTT@SMAARCH.COM

BATHROOM ACCESSORIES

TB-1	24" TOWEL BAR	FRANKLIN BRASS D2424WJ HOME DEPOT FUTURA 24IN. TOWEL BAR WHITE
TPH-1	TOILET PAPER HOLDER	FRANKLIN BRASS HD14203 HOME DEPOT FUTURA TOILET PAPER HOLDER WHITE
TR-1	TOWEL RING	FRANKLIN BRASS D2416WJ HOME DEPOT FUTURA TOWEL RING WHITE
BTH-1	DOUBLE TOWEL HOOK	FRANKLIN BRASS D2402W HOME DEPOT FUTURA DOUBLE TOWEL HOOK WHITE
T&R-1	TENSION SHOWER ROD	GLACIER BAY HD14203 HOME DEPOT CARBON STEEL TENSION SHOWER ROD WHITE
FVM-1	FRAMED VANITY MIRROR	GLACIER BAY MS2431-WHT HOME DEPOT FRAMED VANITY MIRROR WHITE

INTERIOR FINISH MATERIAL SPECIFICATIONS:

FLOORING			BASE			PAINT		
CPT-1	CARPET 24"x24" TILES HALLWAYS	FRANKLIN BRASS D2424WJ HOME DEPOT FUTURA 24IN. TOWEL BAR WHITE	WB-1	4" WOOD BASE	MODEL: RC TRIM COLOR: PAINT P-4	P-1	PAINT MAIN	FRANKLIN BRASS D2424WJ HOME DEPOT FUTURA 24IN. TOWEL BAR WHITE
CPT-2	CARPET BEDROOMS	FRANKLIN BRASS HD14203 HOME DEPOT FUTURA TOILET PAPER HOLDER WHITE	RB-1	4" RUBBER BASE	FRANKLIN BRASS D2424WJ HOME DEPOT FUTURA 24IN. TOWEL BAR WHITE	P-2	PAINT LOBBY ACCENT	FRANKLIN BRASS HD14203 HOME DEPOT FUTURA TOILET PAPER HOLDER WHITE
CPT-3	CARPET LOBBY STAIRS	FRANKLIN BRASS D2416WJ HOME DEPOT FUTURA TOWEL RING WHITE				P-3	PAINT APARTMENT ACCENT WALL	FRANKLIN BRASS D2416WJ HOME DEPOT FUTURA TOWEL RING WHITE
LVT-1	VINYL PLANK 6"x48" LOBBY	FRANKLIN BRASS D2402W HOME DEPOT FUTURA DOUBLE TOWEL HOOK WHITE				P-4	PAINT TRIM DOOR & WINDOWS	FRANKLIN BRASS D2402W HOME DEPOT FUTURA DOUBLE TOWEL HOOK WHITE
LVT-2	VINYL PLANK 6"x48" APARTMENTS	GLACIER BAY HD14203 HOME DEPOT CARBON STEEL TENSION SHOWER ROD WHITE				P-5	PAINT CEILING	GLACIER BAY HD14203 HOME DEPOT CARBON STEEL TENSION SHOWER ROD WHITE
LVT-3	VINYL PLANK 6"x48" APT BATHROOMS	GLACIER BAY MS2431-WHT HOME DEPOT FRAMED VANITY MIRROR WHITE				P-6	PAINT DOOR TO APT	GLACIER BAY MS2431-WHT HOME DEPOT FRAMED VANITY MIRROR WHITE
RT-1	RUBBER TILES RUBBER TREADS STAIRWAYS	FRANKLIN BRASS D2416WJ HOME DEPOT FUTURA TOWEL RING WHITE						FRANKLIN BRASS D2416WJ HOME DEPOT FUTURA TOWEL RING WHITE

ROOM FINISH SCHEDULE UNIT TYPE '2'

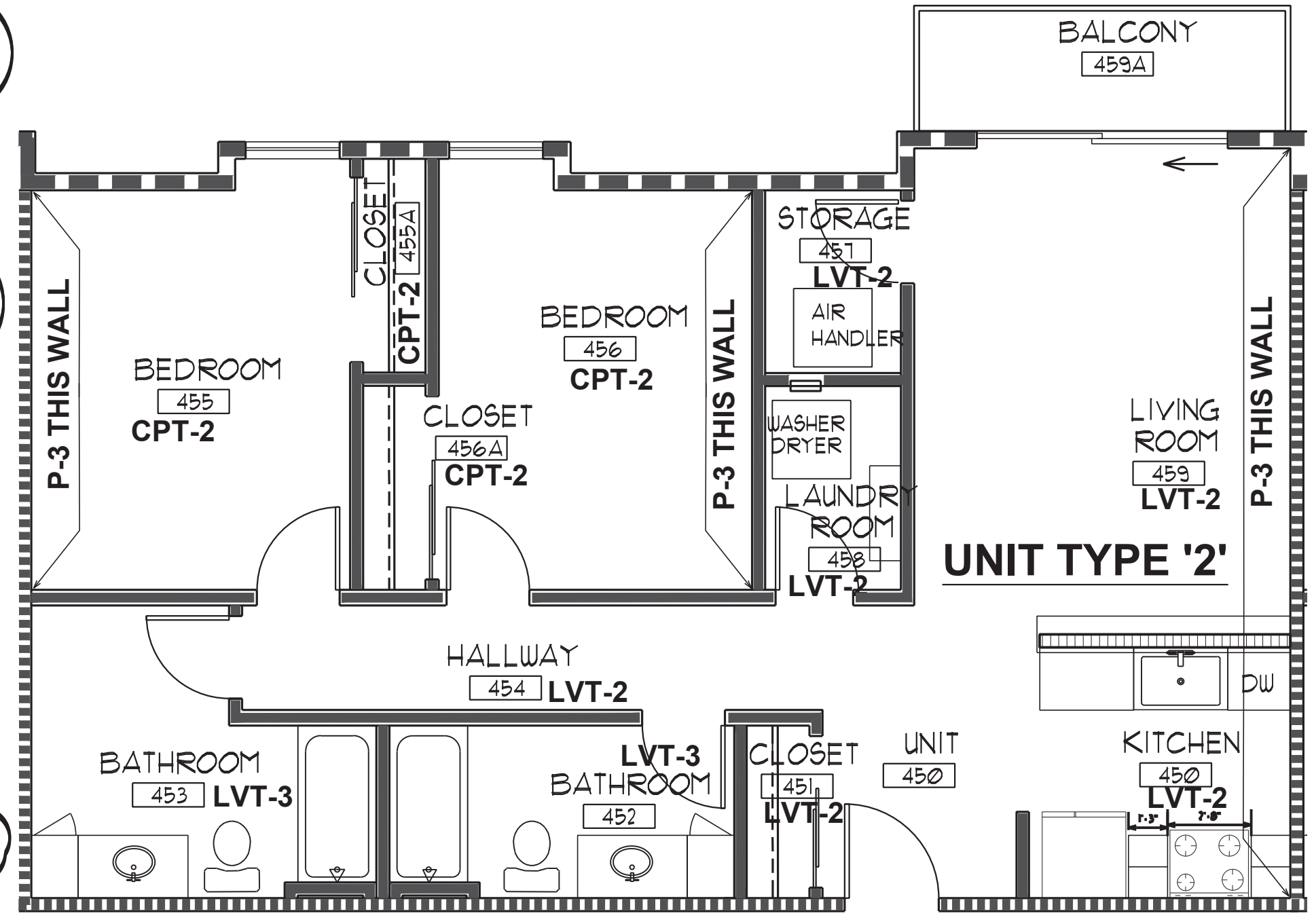
REF. NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	PLASTIC LAMINATE	COUNTER TOP	NOTES
				NORTH	EAST	SOUTH	WEST				
450	KITCHEN	LVT-2	WB-1	P-3	P-1	P-1	P-1	P-5	PL-1	ST-1	1
451	CLOSET	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
452	BATHROOM	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	
453	BATHROOM	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	
454	HALLWAY	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
455	BEDROOM	CPT-2	WB-1	P-1	P-1	P-3	P-1	P-5			
455A	CLOSET	CPT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
456	BEDROOM	CPT-2	WB-1	P-3	P-1	P-1	P-1	P-5			
456A	CLOSET	CPT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
457	STORAGE	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
458	LAUNDRY	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
459	LIVING ROOM	LVT-2	WB-1	P-3	P-1	P-1	P-1	P-5			
459A	BALCONY	WOLM WD									

ROOM FINISH SCHEDULE UNIT TYPE '1'

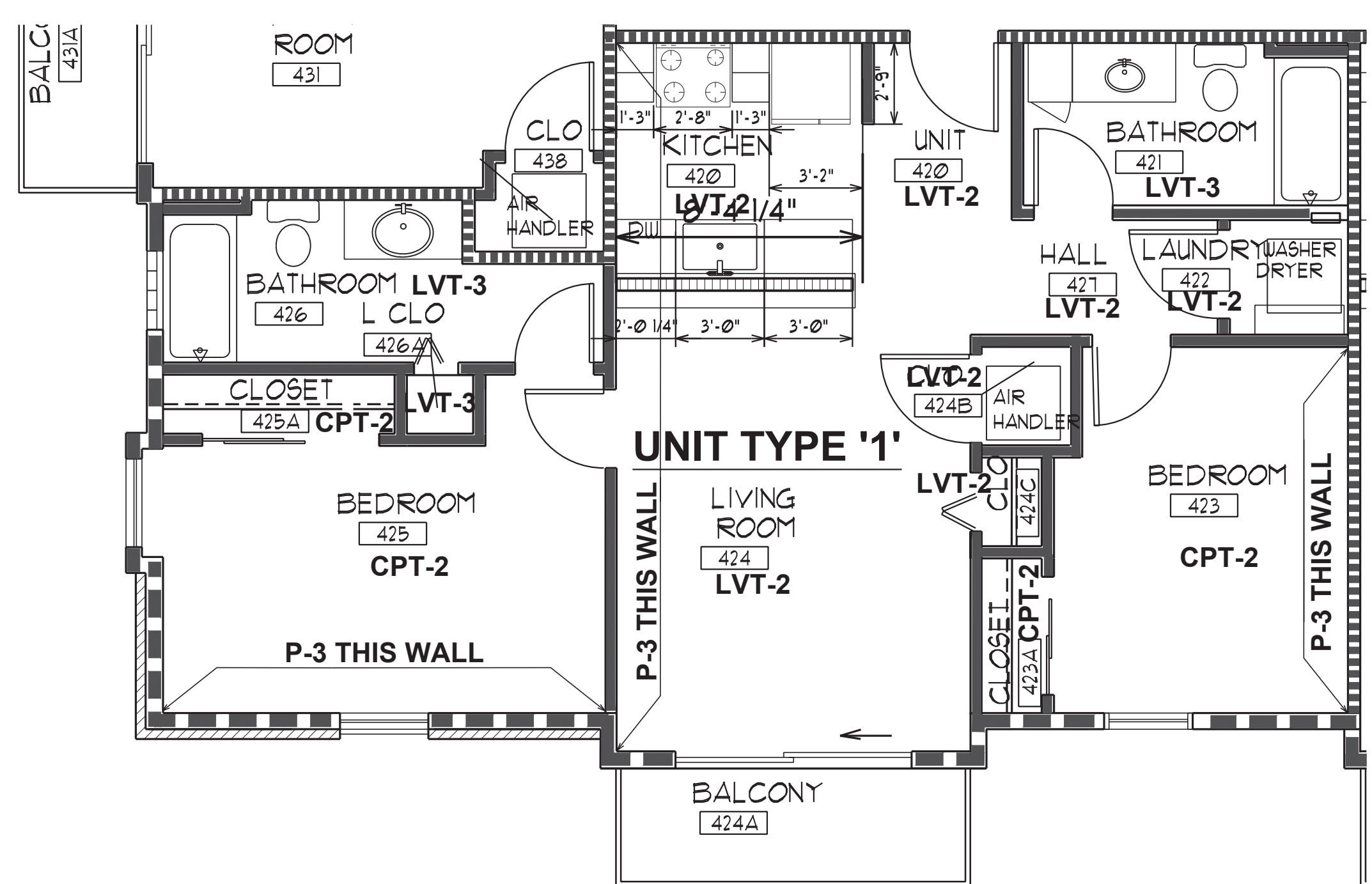
REF. NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	PLASTIC LAMINATE	COUNTER TOP	NOTES
				NORTH	EAST	SOUTH	WEST				
420	KITCHEN	LVT-2	WB-1	P-1	P-1	P-3	P-1	P-5	PL-1	ST-1	1
421	BATHROOM	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	
422	LAUNDRY	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
423	BEDROOM	CPT-2	WB-1	P-3	P-1	P-1	P-1	P-5			
423A	CLOSET	CPT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
424	LIVING ROOM	LVT-2	WB-1	P-1	P-1	P-3	P-1	P-5			
424A	BALCONY	WOLM WD									
424B	CLOSET	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
424C	CLOSET	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
425	BEDROOM	CPT-2	WB-1	P-1	P-3	P-1	P-1	P-5			
425A	CLOSET	CPT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
426	BATHROOM	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	
426A	LIN CLOSET	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-5			
427	HALL	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			

APPLIANCES LEGEND

Item	Model	QTY
GE® 25.3 Cu. Ft. Side-By-Side Refrigerator, Fresh food multilevel drawers, Arctica Icemaker, Advanced Water Filtrations, LED Lighting.	Model# GSS25GGHSS	26
GE® ENERGY STAR® 27.8 Cu. Ft. French-Door Refrigerator, ADA Compliant, Energy Star, Turbo cool and Turbo Freeze, Space-saving Icemaker	Model# GNE27ESMSS	1
GE® 30" Free-Standing Electric Range, Sensi-Temp Technology, Removable Full-Width Drawer, Front Controls, 5.0 Cu Ft. Oven Capacity, Dual-Element Bake	Model# JBS30RMSS	27
GE® 1.9 Cu. Ft. Over-the-Range Sensor Microwave Oven with Recirculating Venting, Weight and Time Defrost, Upfront charcoal filter, Four-speed, 400-CFM venting fan system, Easy clean Enamel interior with Steam Clean	Model# JNM7196SKSS	26
GE® 1.6 Cu. Ft. Countertop Microwave Oven, ADA Compliant	Model# JES1657SMSS	1
GE® Non-Vented Standard Range Hood, Variable 2 Speed Fan Control, Cooktop Light, Removable Grease Filter.	Model# JN328KSA	1
GE® 4.5 DOE cu. ft. Capacity Front Load ENERGY STAR® Washer with Steam, ADA Compliant, Tumble Care, Energy Star, Stackable (With Kit).	Model# GFW4505SMWW	27
GE® 7.5 Cu. Ft. Capacity, Front Load, Electric Dryer, Steam Refresh, Energy Star, HE Sensor Dry, Stainless Steel Drum, ADA Compliant, Quick Dry.	Model# GFD45ESSMWW	27
GE® Built-In Dishwasher, Estar, Autosense Cycle, Sanitize Option, Piranha Disposer.	Model# GDT2255SLSS	27
GE Washer/Dryer Stack Bracket Kit	Model# GEFSTACK	27
GE range cord, 4 wire, 4ft, 40 amp	Model# WX9X35	27
GE Dishwasher Power Cord 5' 4"	Model# GPFPCORD	27
GE Side Mounting Dishwasher Bracket for Non-Wood Countertop	Model# GPF65	27
GE® 1/2 HP CONTINUOUS FEED GARBAGE DISPOSER - CORDED	Model# GFC525N	27



UNIT TYPE '2' UNITS: 210, 240, 250, 260, 310, 340, 350, 360, 410, 440, 450, 460



UNIT TYPE '1' UNITS: 220, 280, 320, 380, 420, 480

MERRILL PLACE - APARTMENTS
PHASE 1
1312 SEWARD
DETROIT, MICHIGAN

ISSUED FOR:
6 SEPT 19
CHECK SET
10 NOV 19
BID SET
15 APRIL 2020
RE-BID SET

SHEET# A1.09
DATE: 15 APRIL 2020
JOB# 13054

APPLIANCES LEGEND

Item	Model	QTY
GE® 25.3 Cu. Ft. Side-By-Side Refrigerator, Fresh food multilevel drawers, Arctica Icemaker, Advanced Water Filtrations, LED Lighting.	Model# G5S25GGHSS	26
GE® ENERGY STAR® 27.8 Cu. Ft. French-Door Refrigerator, ADA Compliant, Energy Star, Turbo cool and Turbo Freeze, Space-saving Icemaker	Model# GNE27ESMSS	1
GE® 30" Free-Standing Electric Range, Sensi-Temp Technology, Removable Full-Width Drawer, Front Controls, 5.0 Cu Ft. Oven Capacity, Dual-Element Bake	Model# JBS360RMSS	27
GE® 1.9 Cu. Ft. Over-the-Range Sensor Microwave Oven with Recirculating Venting, Weight and Time Defrost, Upfront charcoal filter, Four-speed, 400-CFM venting fan system, Easy clean Enamel Interior with Steam Clean	Model# JNM7196SKSS	26
GE® 1.6 Cu. Ft. Countertop Microwave Oven, ADA Compliant	Model# JES1657SMSS	1
GE® Non-Vented Standard Range Hood, Variable 2 Speed Fan Control, Cooktop Light, Removable Grease Filter.	Model# JN328KSA	1
GE® 4.5 DOE cu. ft. Capacity Front Load ENERGY STAR® Washer with Steam, ADA Compliant, Tumble Care, Energy Star, Stackable (With Kit).	Model# GFW4505SMWW	27
GE 7.5 Cu. Ft. Capacity, Front Load, Electric Dryer, Steam Refresh, Energy Star, HE Sensor Dry, Stainless Steel Drum, ADA Compliant, Quick Dry.	Model# GFD45E5SMWW	27
GE® Built-In Dishwasher, Estar, Autosee Cycle, Sanitize Option, Piranha Disposer.	Model# GDT255SLSS	27
GE Washer/Dryer Stack Bracket Kit	Model# GEFLSTACK	27
GE range cord, 4 wire, 4ft, 40 amp	Model# WX9X35	27
GE Dishwasher Power Cord 5' 4"	Model# GPFCORD	27
GE Side Mounting Dishwasher Bracket for Non-Wood Countertop	Model# GPF65	27
GE® 1/2 HP CONTINUOUS FEED GARBAGE DISPOSER - CORDED	Model# GFC525N	27

INTERIOR FINISH MATERIAL SPECIFICATIONS:

FLOORING		BASE		PAINT	
CPT-1	CARPET 24"x24" TILES HALLWAYS	MFGR: SHAW CONTRACT REP: PATRICK IMESCH 313-300-0219 STYLE: 51291 STRUCTURE STRATAWORX COLOR: 94761 SHINY PEBBLE INSTALL: ASHLAR	WB-1	4" WOOD BASE	MODEL: RC TRIM COLOR: PAINT P-4
CPT-2	CARPET BEDROOMS	MFGR: SHAW CONTRACT REP: PATRICK IMESCH 313-300-0219 STYLE: 6014 HOMESTEAD CLASSICBAC COLOR: 00510 SILVER CLOUD	RB-1	4" RUBBER BASE	MFGR: ROPPE REP: SCOTT GREINER 513-316-9800 STYLE: ---- COLOR: 114 SMOKE
CPT-3	CARPET LOBBY STAIRS	MFGR: PATCRAFT REP: TINA KATIKOS 248-444-8894 STYLE: 10367 SHAKE ON IT COLOR: 00180 INVESTMENT	TRIM		
LVT-1	VINYL FLANK 6"x48" LOBBY	MFGR: EF CONTRACT REP: ANN WILKINSON 248-961-3159 STYLE: 0453V TERRAIN II COLOR: 00564 SHADE INSTALL: IN THIRDS	WT-1	4" WOOD TRIM (DOORS) (WINDOWS)	MODEL: RC TRIM COLOR: PAINT P-4
LVT-2	VINYL FLANK 6"x48" APARTMENTS	MFGR: PATCRAFT REP: TINA KATIKOS 248-444-8894 STYLE: 1420V TIMBER GROVE II COLOR: 05902 SHADY GROVE-V3 INSTALL: IN THIRDS	MILLWORK		
LVT-3	VINYL FLANK 6"x48" APT BATHROOMS	MFGR: PATCRAFT REP: TINA KATIKOS 248-444-8894 STYLE: 1420V TIMBER GROVE II COLOR: 00599 JUNIPER -V2 INSTALL: IN THIRDS	ST-1	STONE COUNTERTOP	MFGR: DUZER MARBLE & STONE REP: MEG NICHOLS (248-416-4944) STYLE: POLISHED GRANITE COLOR: WHITE RADIANCE
RT-1	RUBBER TILES RUBBER TREADS STAIRWAYS	MFGR: ROPPE REP: SCOTT GREINER 513-316-9800 STYLE: ---- COLOR: 114 SMOKE	PL-1	PLASTIC LAMINATE VERTICAL CABINETRY	MFGR: WILSONART REP: KIMBERLY PATRICO (941-711-4229) STYLE: 8200K-16 COLOR: WHITE DRIFTWOOD

BATHROOM ACCESSORIES

TB-1	24" TOWEL BAR	MFGR: FRANKLIN BRASS MODEL: D2424W REP: HOME DEPOT STYLE: FUTURA 24IN. TOWEL BAR COLOR: WHITE
TPH-1	TOILET PAPER HOLDER	MFGR: FRANKLIN BRASS MODEL: H04003 REP: HOME DEPOT STYLE: FUTURA TOILET PAPER HOLDER COLOR: WHITE
TR-1	TOWEL RING	MFGR: FRANKLIN BRASS MODEL: D2416W REP: HOME DEPOT STYLE: FUTURA TOWEL RING COLOR: WHITE
BTH-1	DOUBLE TOWEL HOOK	MFGR: FRANKLIN BRASS MODEL: D2402W REP: HOME DEPOT STYLE: FUTURA DOUBLE TOWEL HOOK COLOR: WHITE
TSR-1	TENSION SHOWER ROD	MFGR: GLACIER BAY MODEL: H044003 REP: HOME DEPOT STYLE: CARBON STEEL TENSION SHOWER ROD COLOR: WHITE
FVM-1	FRAMED VANITY MIRROR	MFGR: GLACIER BAY MODEL: M52431WHT REP: HOME DEPOT STYLE: FRAMED VANITY MIRROR COLOR: WHITE

ROOM FINISH SCHEDULE A.D.A. UNIT

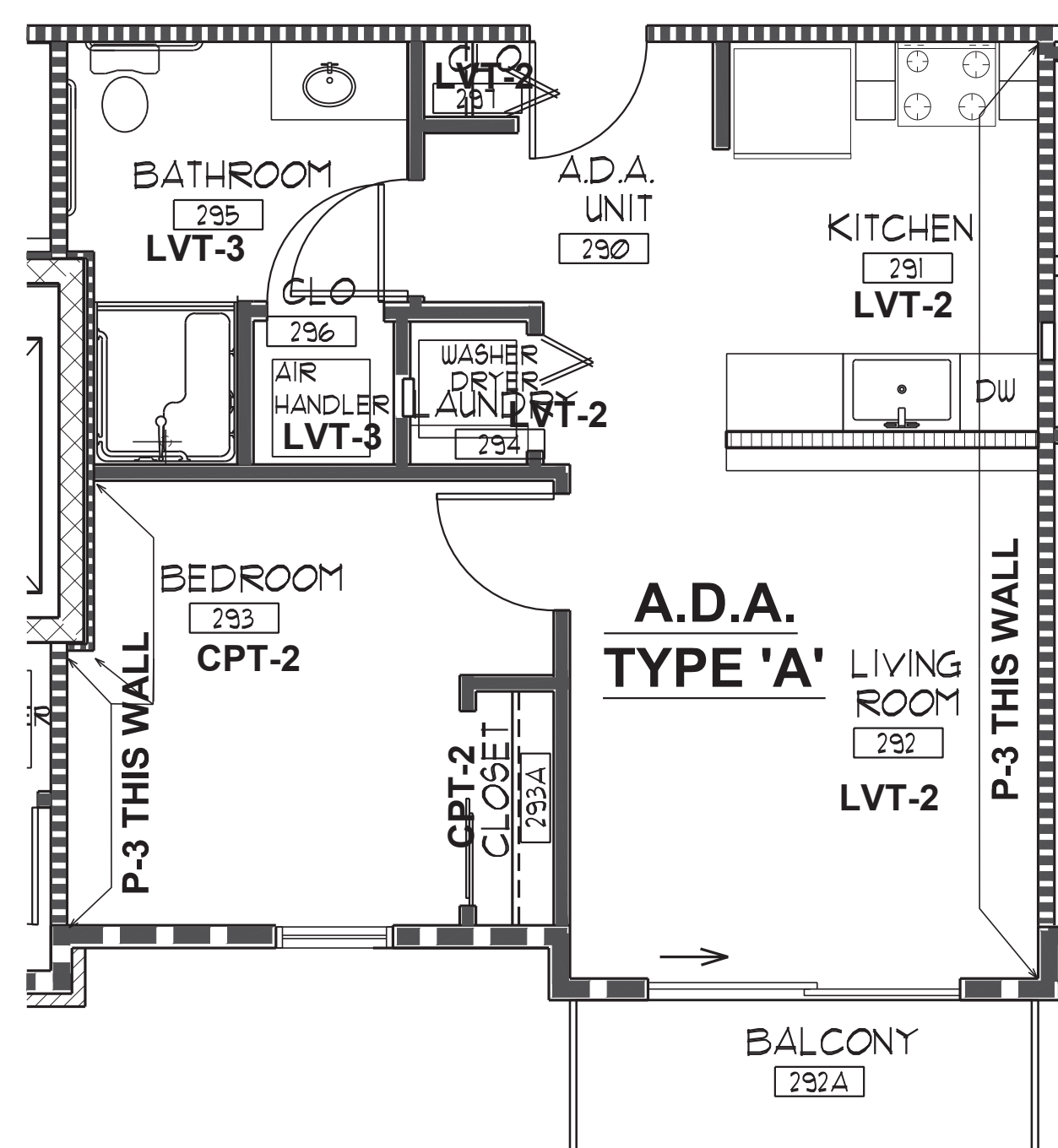
REF. NO.	ROOM NAME	FLOOR	BASE	NORTH	WALLS EAST	SOUTH	WEST	CEILING	PLASTIC LAMINATE	COUNTER TOP	NOTES
491	KITCHEN	LVT-2	WB-1	P-3	P-1	P-1	P-1	P-5	PL-1	ST-1	1
492	LIVING ROOM	LVT-2	WB-1	P-3	P-1	P-1	P-1	P-5			
492A	BALCONY	WOLM WD									
493	BEDROOM	CPT-2	WB-1	P-1	P-1	P-3	P-1	P-5			
493A	CLOSET	CPT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
494	LAUNDRY	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
495	BATHROOM	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	
496	HVAC CLOSET	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-5			
497	CLOSET	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			

ROOM FINISH SCHEDULE UNIT TYPE '4'

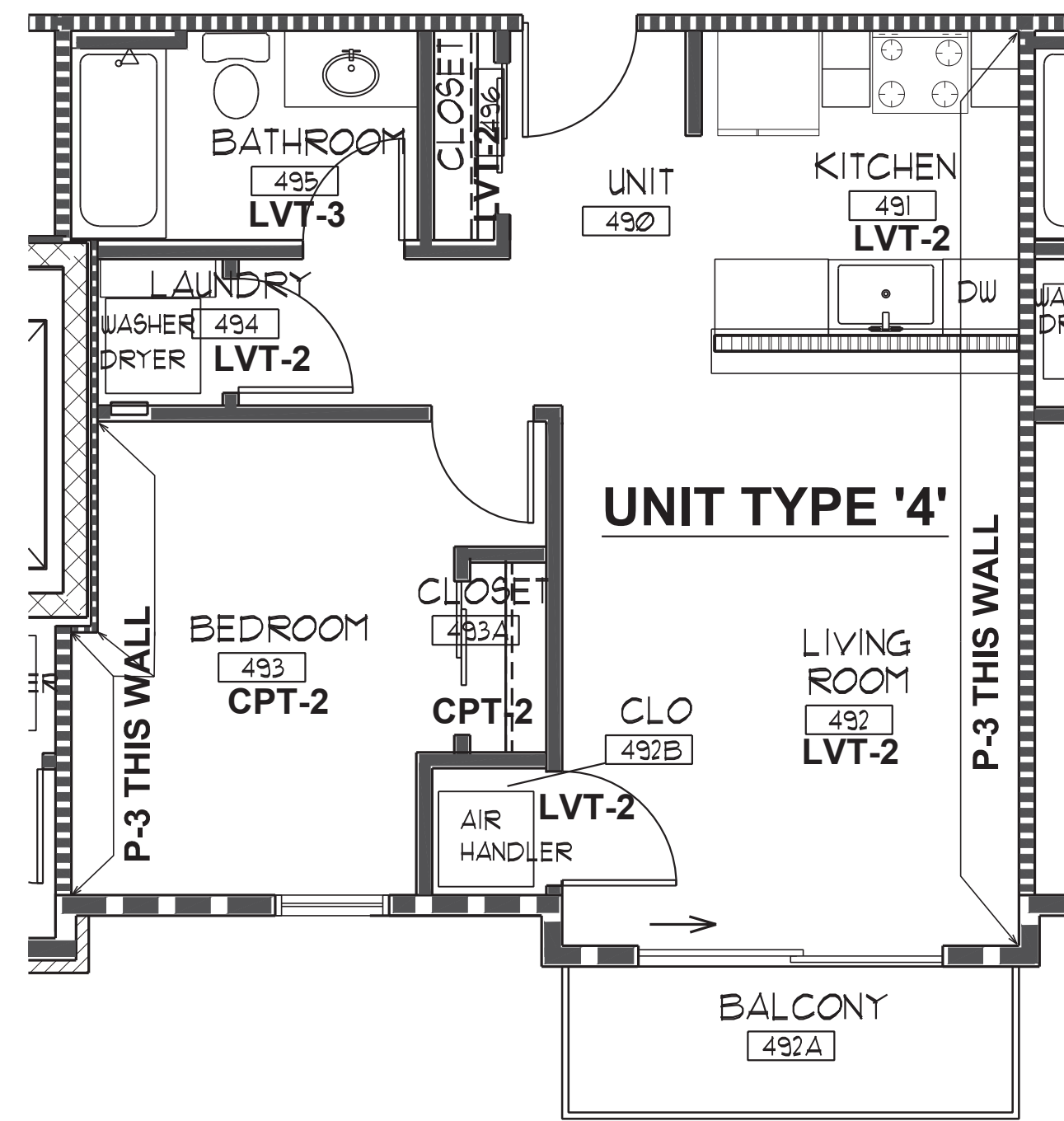
REF. NO.	ROOM NAME	FLOOR	BASE	NORTH	WALLS EAST	SOUTH	WEST	CEILING	PLASTIC LAMINATE	COUNTER TOP	NOTES
491	KITCHEN	LVT-2	WB-1	P-3	P-1	P-1	P-1	P-5	PL-1	ST-1	1
492	LIVING ROOM	LVT-2	WB-1	P-3	P-1	P-1	P-1	P-5			
492A	BALCONY	WOLM WD									
492B	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-5			
493	BEDROOM	CPT-2	WB-1	P-1	P-1	P-3	P-1	P-5			
493A	CLOSET	CPT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
494	LAUNDRY	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
495	BATHROOM	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	

ROOM FINISH SCHEDULE UNIT TYPE '3'

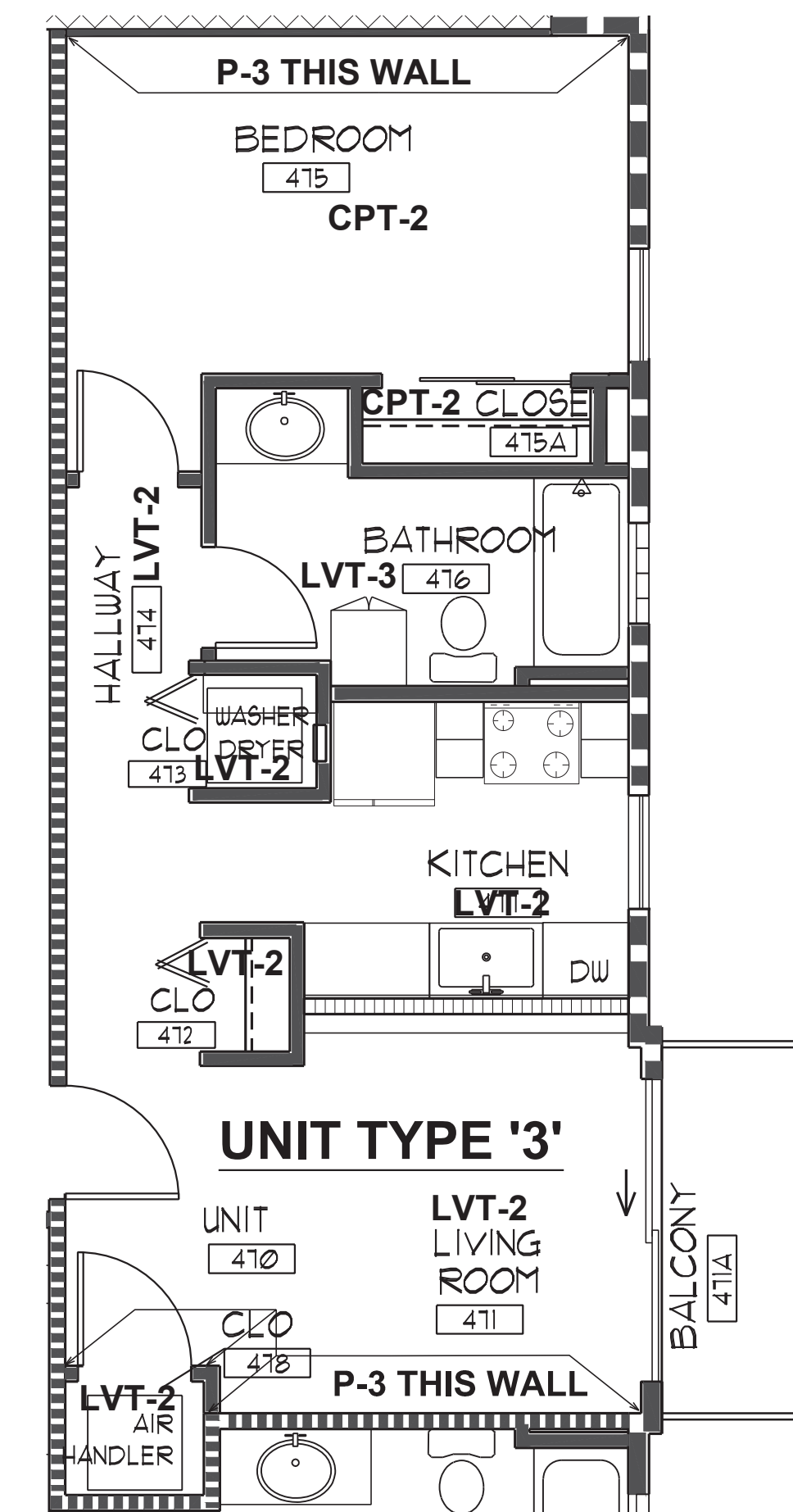
REF. NO.	ROOM NAME	FLOOR	BASE	NORTH	WALLS EAST	SOUTH	WEST	CEILING	PLASTIC LAMINATE	COUNTER TOP	NOTES
471	LIVING ROOM	LVT-2	WB-1	P-1	P-3	P-1	P-1	P-5			1
471A	BALCONY	WOLM WD									
472	CLOSET	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
473	LAUNDRY	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
474	HALLWAY	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
475	BEDROOM	CPT-2	WB-1	P-1	P-1	P-3	P-1	P-5			
475A	CLOSET	CPT-2	WB-1	P-1	P-1	P-1	P-1	P-5			
476	BATHROOM	LVT-3	WB-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	
477	KITCHEN	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5	PL-1	ST-1	
478	CLOSET	LVT-2	WB-1	P-1	P-1	P-1	P-1	P-5			



UNIT TYPE 'A.D.A.' UNIT 290
1/4" = 1'-0"

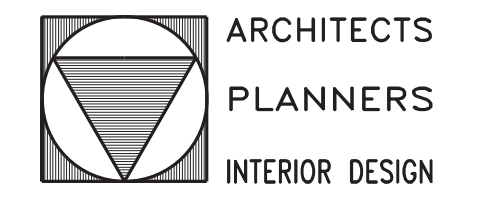


UNIT TYPE '4' UNITS: 390, 490
1/4" = 1'-0"



UNIT TYPE '3' UNITS: 230, 270
330, 370
430, 470
1/4" = 1'-0"

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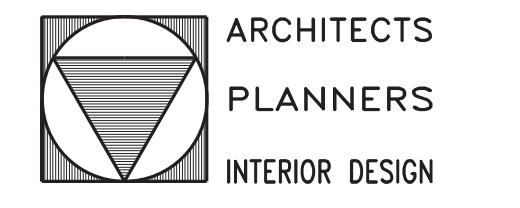


SCOTT MONCHNIK & ASSOCIATES, INC.
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TROY, MICHIGAN 48064
TEL: 248-654-1010
FAX: 248-654-3002
SCOTT@SMAARCH.COM

MERRILL PLACE - APARTMENTS
PHASE 1
1312 SEWARD
DETROIT, MICHIGAN

ISSUED FOR:
6 SEPT 19
CHECK SET
10 NOV 19
BID SET
15 APRIL 2020
RE-BID SET

SHEET# A1.10
DATE: 15 APRIL 2020
JOB# 13054



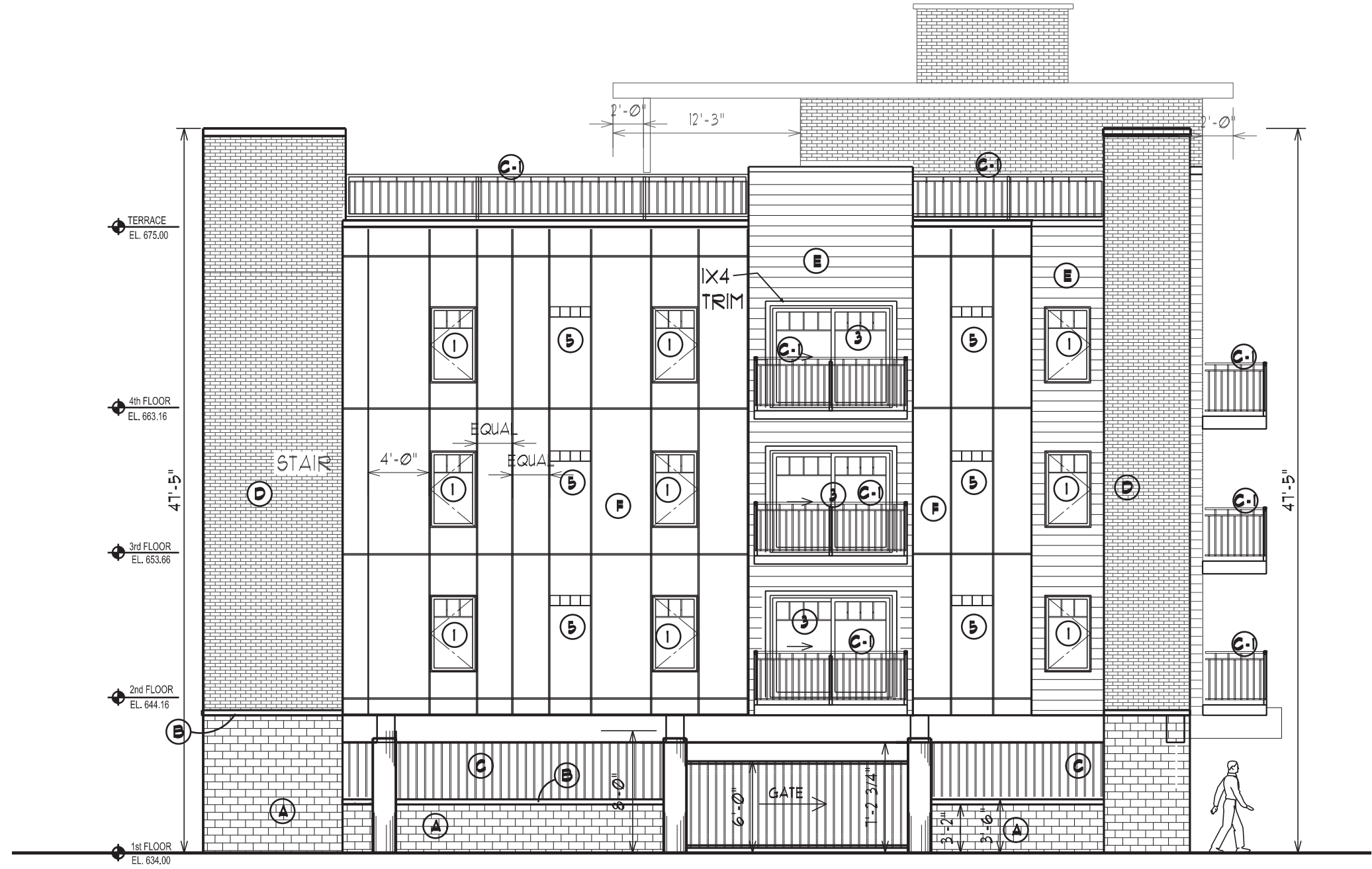
SCOTT MONCHNIK & ASSOCIATES, INC.
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 TROY, MICHIGAN 48064
 TEL: 248-654-1010
 FAX: 248-654-3002
 SCOTT@SMAARCH.COM

EXTERIOR FINISH SCHEDULE								
MARK	MATERIAL	LOCATION	MANUFACTURER	MODEL	COLOR	FINISH	REMARKS / NOTES	MFGR REP
(A)	8" CMU BLOCK	BASE OF STAIRWAY & PARKING SCREEN WALL	EP HENRY	EARTH-TONE LINE	#31-B	SPLIT FACE		ANDY HALSTED 248-156-0441
(A-1)	MORTAR FOR CMU							
(B)	4" PRECAST CONCRETE CAP	ON TOP OF (CMU) BLOCK WALL						
(C)	ALUMINUM FENCING	PARKING SCREEN WALL & ALONG PROPERTY LINE	SUPERIOR ALUMINUM PRODUCTS, INC	SERIES 9000 RAILING STYLE: STYLE 'B'	DARK BRONZE		6' HIGH FENCE AT PROPERTY LINE SEE SECTIONS FOR FENCE HT AT SCREEN WALL	
(C-1)	ALUMINUM RAILING	BALCONIES & TOP OF ROOF WALLS	SUPERIOR ALUMINUM PRODUCTS, INC	SERIES 9000 RAILING STYLE: STYLE C TOP RAIL: 905	DARK BRONZE		4" ABOVE DECK PAVERS BOLT TO TOP OF WALL	
(C-2)	ALUMINUM RAILING	EDGE OF TERRACE	SUPERIOR ALUMINUM PRODUCTS, INC	SERIES 500 VERTICAL BALUSTRADE	DARK BRONZE		4" ABOVE DECK PAVERS HEIGHT VARIES; POSTS TO BE BOLTED TO ROOF SHEATHING	
(D)	FULL BRICK	CORNERS OF BUILDING & CENTER ENTRANCE	GLEN-GERY	MODULAR	TAUNY BEIGE (#9-33)			ANDY HALSTED 248-156-0441
(D-1)	MORTAR FOR BRICK							
(E)	HORIZONTAL SIDING	PROJECTED BAYS WITH DOORWALLS	RED CEDAR	CHANEL SIDING - SMOOTH FINISH		PAINT		
(F)	FIBER CEMENT PANEL BOARD SIDING	SEE EXTERIOR ELEVATIONS	JAMES HARDIE			PAINT		

EXTERIOR FINISH MATERIAL SPECIFICATIONS:

PAINT					
P-E1	PAINT EXTERIOR FIBER CEMENT PANELS	MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW6089 COLOR: SIMPLIFY BEIGE FINISH: EGGSHELL	P-E3	PAINT EXTERIOR CONCRETE COLUMNS	MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW1038 COLOR: TONY TAUPE FINISH: EGGSHELL
P-E2	PAINT EXTERIOR HORIZONTAL SIDING	MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW6089 COLOR: NUTTATCH FINISH: EGGSHELL	P-E4	PAINT EXTERIOR ENTRANCE CANOPY	MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW6314 COLOR: LUXURIOUS RED FINISH: SEMI-GLOSS

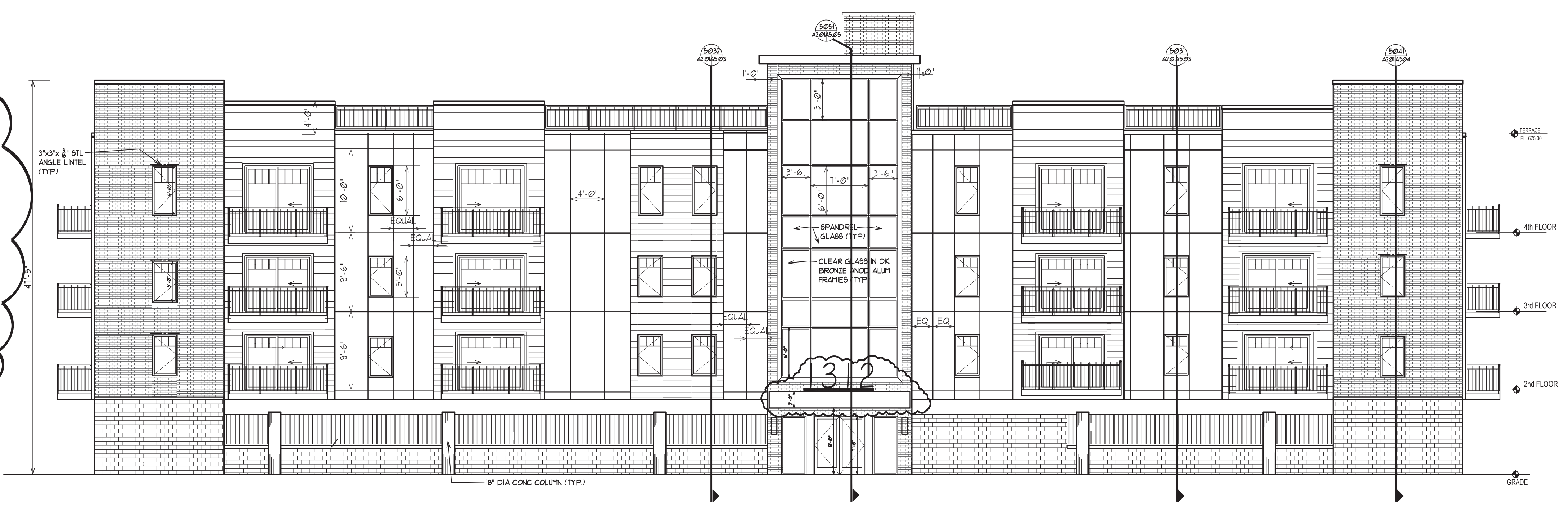
WINDOW SCHEDULE											
SYMBOL	MANUFACTURER	PRODUCT NAME	PRODUCT ID #	ROUGH OPENING SIZE	INTERIOR COLOR	EXTERIOR COLOR	GLASS	HARDWARE	GRILLE PATTERN	LOCATION	REMARKS
(1)	ANDERSEN	100 SERIES CASEMENT	100C53050	36" X 60"	WHITE	DARK BRONZE	LOW-E GLASS	FLOODING LOCK & KEEPER WHITE	SHORT FRACTIONAL	BEDROOM	OR APPROVED EQUAL
(2)	ANDERSEN	100 SERIES CASEMENT	100C53060	36" X 12"	WHITE	DARK BRONZE	LOW-E GLASS	FLOODING LOCK & KEEPER WHITE	SHORT FRACTIONAL	BEDROOM 4TH FLOOR - FRONT ELEVATION - ONLY	OR APPROVED EQUAL
(3)	ANDERSEN	100 SERIES GLIDING PATIO DOOR	100GD2P608	8'-0" X 6'-8"	WHITE	DARK BRONZE	LOW-E GLASS	TULSA WHITE	SHORT FRACTIONAL	LIVING ROOM	OR APPROVED EQUAL
(4)	ANDERSEN	100 SERIES GLIDING PATIO DOOR	100GD2P8080	8'-0" X 8'-0"	WHITE	DARK BRONZE	LOW-E GLASS	TULSA WHITE	SHORT FRACTIONAL	LIVING ROOM	OR APPROVED EQUAL
(5)		8x8 GLASS BLOCK		2'-8" X 8"			WAVEY GLASS			BATHROOM	
(6)	KAIWEER	1600 WALL SYSTEM I 6" DEEP		3'-6" X 6'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
(7)	KAIWEER	1600 WALL SYSTEM I 6" DEEP		1'-0" X 6'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
(8)	KAIWEER	1600 WALL SYSTEM I 6" DEEP		3'-6" X 5'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
(9)	KAIWEER	1600 WALL SYSTEM I 6" DEEP		1'-0" X 5'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
(10)	KAIWEER	1600 WALL SYSTEM I 6" DEEP				DARK BRONZE	SPANDREL GLASS			LOBBY	OR APPROVED EQUAL



LEFT SIDE (SOUTH) ELEVATION
 1/8" = 1'-0"



CANOPY ADDRESS SIGNAGE
 3/8" = 1'-0"

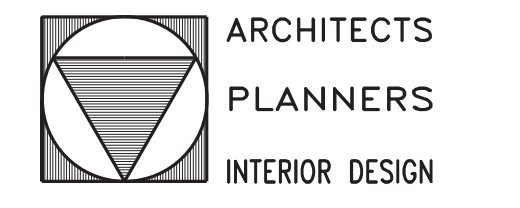


FRONT (EAST) ELEVATION
 1/8" = 1'-0"

MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN

ISSUED FOR:
 6 SEPT 19 CHECK SET
 10 NOV 19 BID SET
 15 APRIL 2020 RE-BID SET

SHEET# A2.01
 DATE: 15 APRIL 2020
 JOB# 13054



SCOTT MONCHNIK & ASSOCIATES, INC.
1700 STUTZ DRIVE
SUITE 104-B
TROY, MICHIGAN 48064
TEL: 248-654-1010
FAX: 248-654-3002
SCOTT@SMAARCH.COM

EXTERIOR FINISH SCHEDULE								
MARK	MATERIAL	LOCATION	MANUFACTURER	MODEL	COLOR	FINISH	REMARKS / NOTES	MFGR REP
(A)	8" CMU BLOCK	BASE OF STAIRWAY & PARKING SCREEN WALL	EP HENRY	EARTH-TONE LINE	#31-B	SPLIT FACE		ANDY HALSTED 248-156-0441
(A-1)	MORTAR FOR CMU							
(B)	4" PRECAST CONCRETE CAP	ON TOP OF (CMU) BLOCK WALL						
(C)	ALUMINUM FENCING	PARKING SCREEN WALL & ALONG PROPERTY LINE	SUPERIOR ALUMINUM PRODUCTS, INC.	SERIES 9000 RAILING STYLE: STYLE 'B'	DARK BRONZE		6' HIGH FENCE AT PROPERTY LINE SEE SECTIONS FOR FENCE HT AT SCREEN WALL	
(C-1)	ALUMINUM RAILING	BALCONIES & TOP OF ROOF WALLS	SUPERIOR ALUMINUM PRODUCTS, INC.	SERIES 9000 RAILING STYLE: STYLE C TOP RAIL: 905	DARK BRONZE		4" ABOVE DECK PAVERS BOLT TO TOP OF WALL	
(C-2)	ALUMINUM RAILING	EDGE OF TERRACE	SUPERIOR ALUMINUM PRODUCTS, INC.	SERIES 500 VERTICAL BALUSTRADE	DARK BRONZE		4" ABOVE DECK PAVERS HEIGHT VARIES; POSTS TO BE BOLTED TO ROOF SHEATHING	
(D)	FULL BRICK	CORNERS OF BUILDING & CENTER ENTRANCE	GLEN-GERY	MODULAR	TAUPE BEIGE (91-31)			ANDY HALSTED 248-156-0441
(D-1)	MORTAR FOR BRICK							
(E)	HORIZONTAL SIDING	PROJECTED BAYS WITH DOORWALLS	RED CEDAR	CHANEL SIDING -SMOOTH FINISH		PAINT		
(F)	FIBER CEMENT PANEL BOARD SIDING	SEE EXTERIOR ELEVATIONS	JAMES HARDIE			PAINT		

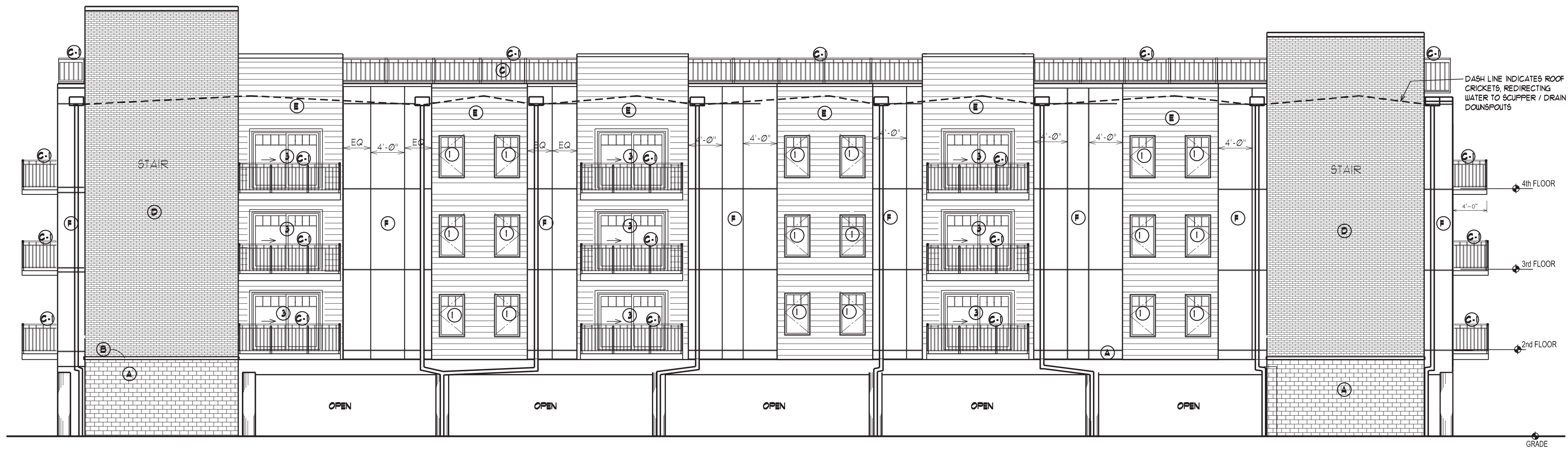
EXTERIOR FINISH MATERIAL SPECIFICATIONS:

PAINT			
P-E1 PAINT EXTERIOR FIBER CEMENT PANELS	MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW6089 COLOR: SIMPLIFY BEIGE FINISH: EGGSHELL	P-E3 PAINT EXTERIOR CONCRETE COLUMNS	MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW1038 COLOR: TONY TAUPE FINISH: EGGSHELL
P-E2 PAINT EXTERIOR HORIZONTAL SIDING	MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW6089 COLOR: NUTTATCH FINISH: EGGSHELL	P-E4 PAINT EXTERIOR ENTRANCE CANOPY	MFGR: SHERWIN WILLIAMS REP: MADELINE KING (248-930-9492) MODEL: SW6314 COLOR: LUXURIOUS RED FINISH: SEMI-GLOSS

WINDOW SCHEDULE											
SYMBOL	MANUFACTURER	PRODUCT NAME	PRODUCT ID *	ROUGH OPENING SIZE	INTERIOR COLOR	EXTERIOR COLOR	GLASS	HARDWARE	GRILLE PATTERN	LOCATION	REMARKS
1	ANDERSEN	100 SERIES CASEMENT	100C53050	36" X 60"	WHITE	DARK BRONZE	LOW-E GLASS	FLOODING LOCK & KEEPER WHITE	SHORT FRACTIONAL	BEDROOM	OR APPROVED EQUAL
2	ANDERSEN	100 SERIES CASEMENT	100C53060	36" X 12"	WHITE	DARK BRONZE	LOW-E GLASS	FLOODING LOCK & KEEPER WHITE	SHORT FRACTIONAL	BEDROOM 4TH FLOOR -FRONT ELEVATION -ONLY	OR APPROVED EQUAL
3	ANDERSEN	100 SERIES GLIDING PATIO DOOR	100GD2P6068	8'-0" X 6'-8"	WHITE	DARK BRONZE	LOW-E GLASS	TULSA WHITE	SHORT FRACTIONAL	LIVING ROOM	OR APPROVED EQUAL
4	ANDERSEN	100 SERIES GLIDING PATIO DOOR	100GD2P8080	8'-0" X 8'-0"	WHITE	DARK BRONZE	LOW-E GLASS	TULSA WHITE	SHORT FRACTIONAL	LIVING ROOM	OR APPROVED EQUAL
5		8x8 GLASS BLOCK		2'-8" X 8"			WAVEY GLASS			BATHROOM	
6	KAIWEER	1600 WALL SYSTEM I 6" DEEP		3'-6" X 6'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
7	KAIWEER	1600 WALL SYSTEM I 6" DEEP		1'-0" X 6'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
8	KAIWEER	1600 WALL SYSTEM I 6" DEEP		3'-6" X 5'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
9	KAIWEER	1600 WALL SYSTEM I 6" DEEP		1'-0" X 5'-0"		DARK BRONZE	LOW-E GLASS			LOBBY	OR APPROVED EQUAL
10	KAIWEER	1600 WALL SYSTEM I 6" DEEP				DARK BRONZE	SPANDREL GLASS			LOBBY	OR APPROVED EQUAL



RIGHT SIDE (NORTH) ELEVATION
1/8" = 1'-0"



REAR (WEST) ELEVATION
1/8" = 1'-0"

MERRILL PLACE - APARTMENTS
PHASE I
1312 SEWARD
DETROIT, MICHIGAN

ISSUED FOR:
6 SEPT 19
CHECK SET
10 NOV 19
BID SET
15 APRIL 2020
RE-BID SET

SHEET# A2.02
DATE: 15 APRIL 2020
JOB# 13054

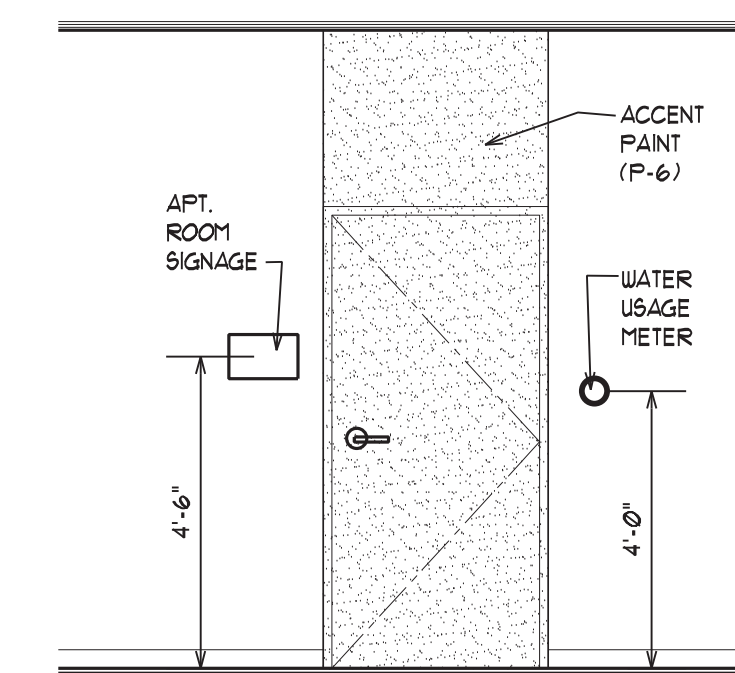


**ARCHITECTS
 PLANNERS
 INTERIOR DESIGN**

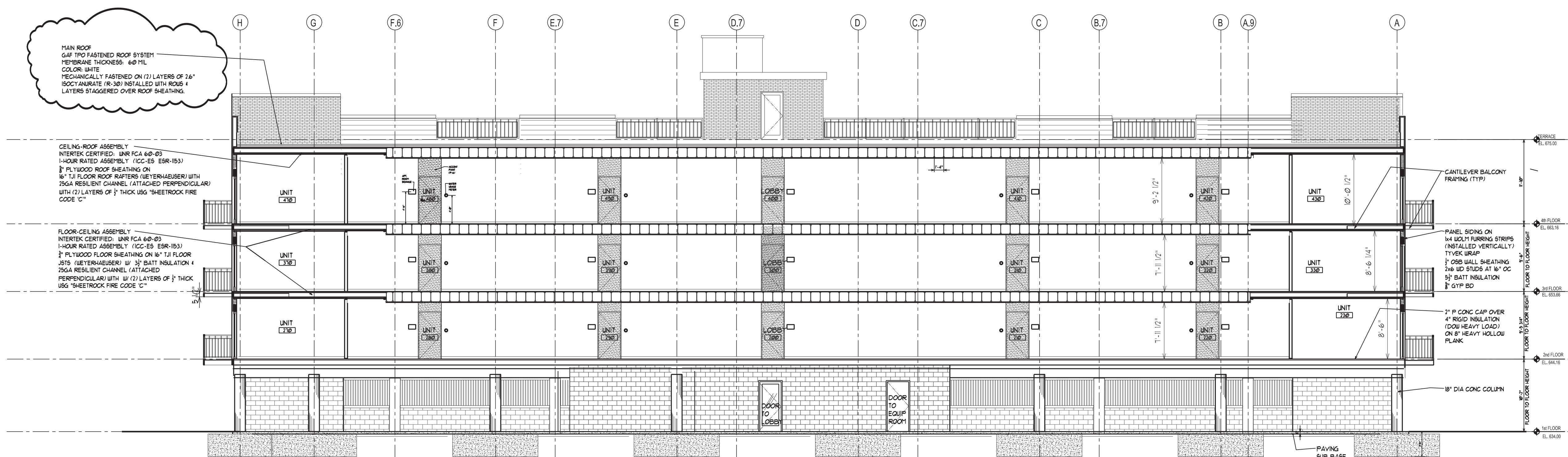
**SCOTT MONCHNIK
 & ASSOCIATES, INC.**

1700 STUTZ DRIVE
 SUITE 104-B
 TROY, MICHIGAN
 48064

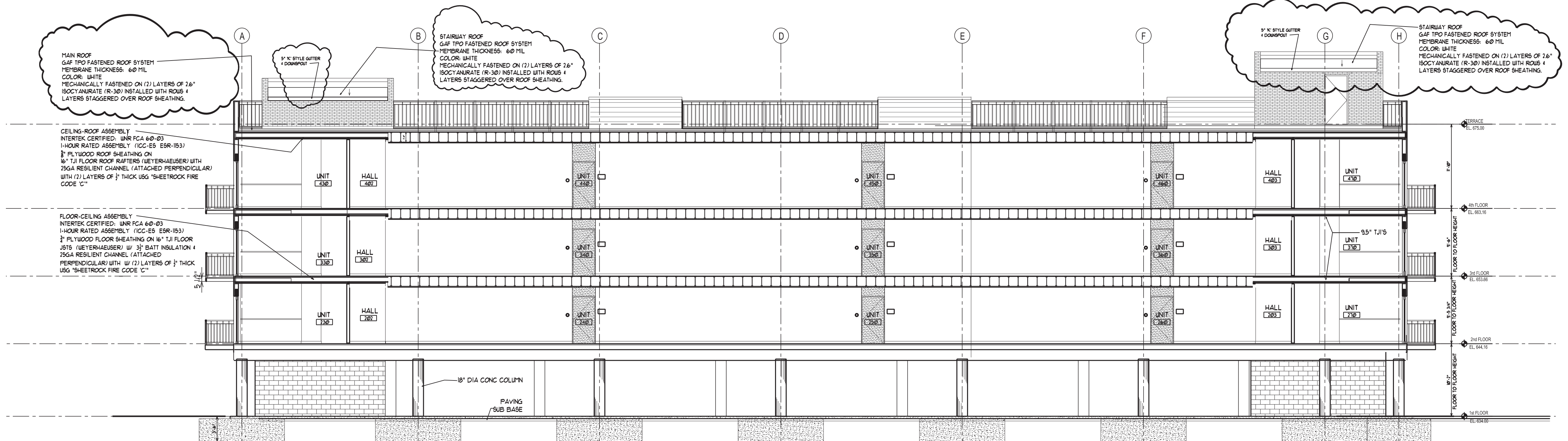
TEL: 248-654-1010
 FAX: 248-654-3002
 SCOTT@SMAARCH.COM



APT. ENTRY DOOR - TYPICAL
 3/8" = 1'-0"



3012 BUILDING SECTION
 A104A3.01 1/8" = 1'-0"

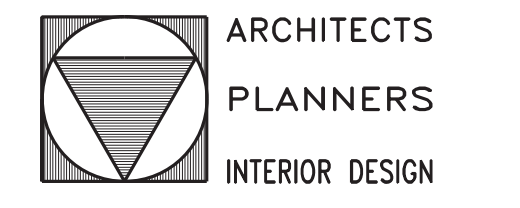


3011 BUILDING SECTION
 A104A3.01 1/8" = 1'-0"

MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN

ISSUED FOR:
 6 SEPT 19 CHECK SET
 10 NOV 19 BID SET
 15 APRIL 2020 RE-BID SET

SHEET# A3.01
 DATE: 15 APRIL 2020
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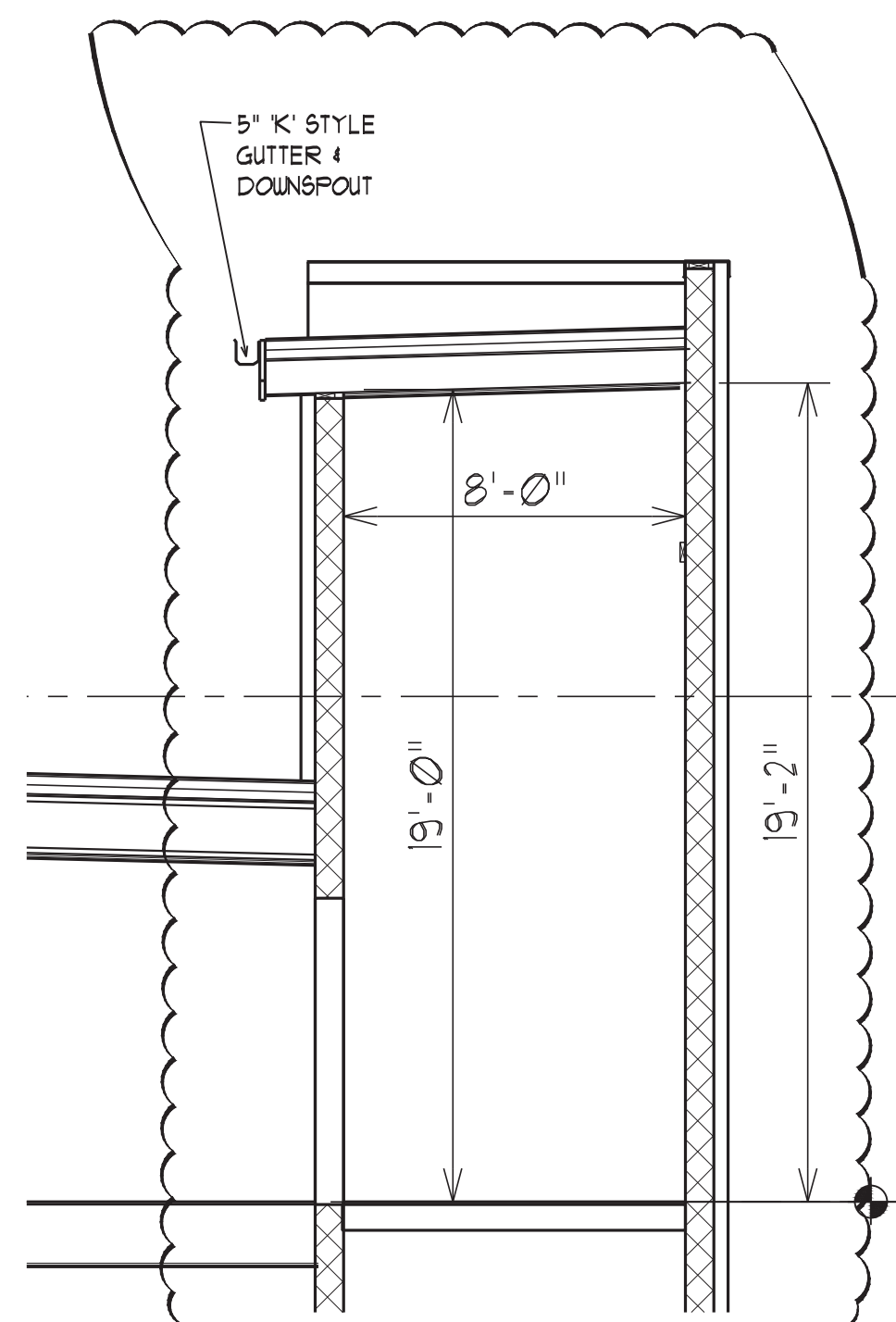


**ARCHITECTS
 PLANNERS
 INTERIOR DESIGN**

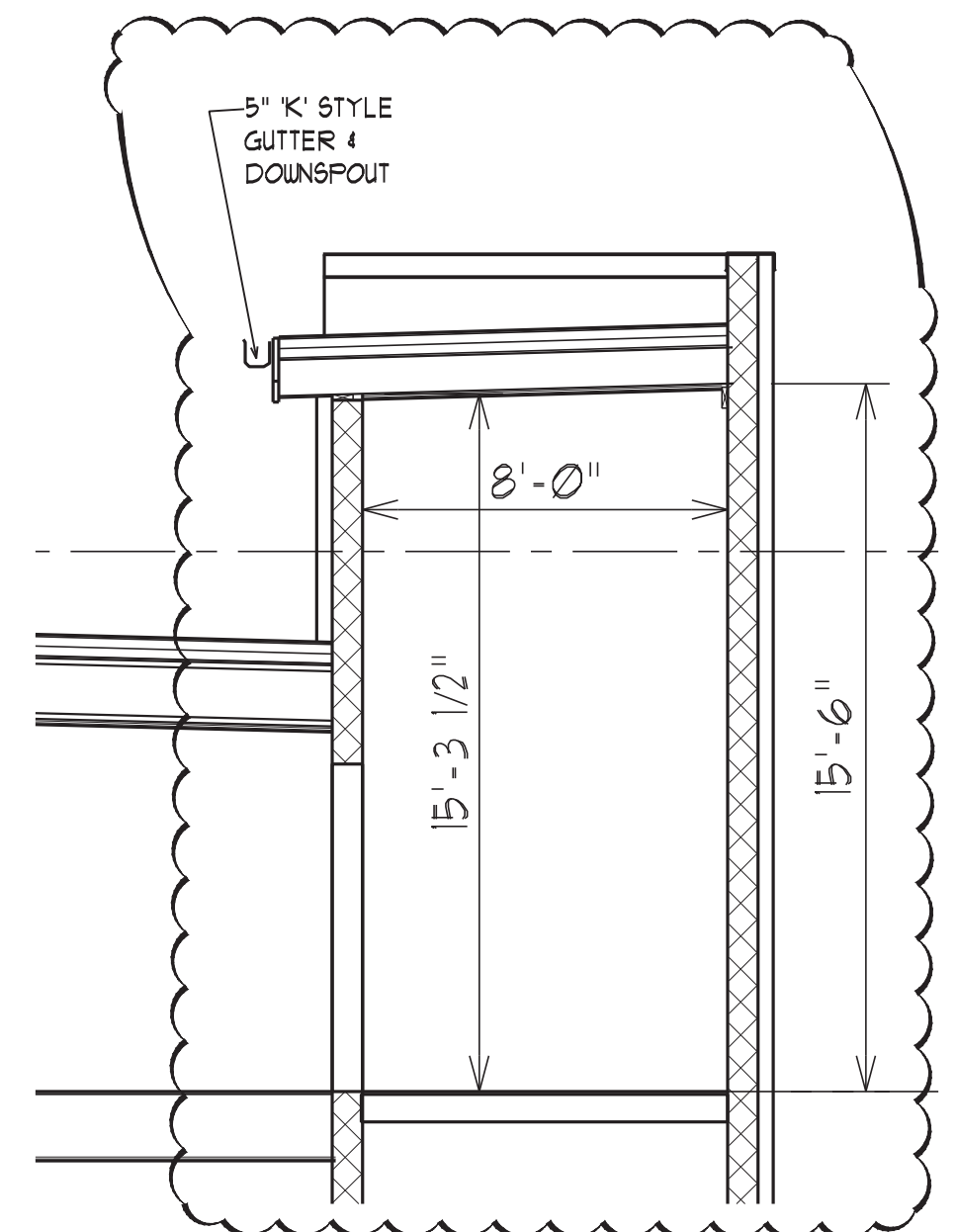
**SCOTT MONCHNIK
 & ASSOCIATES, INC.**

1700 STUTZ DRIVE
 SUITE 104-B
 TROY, MICHIGAN
 48084

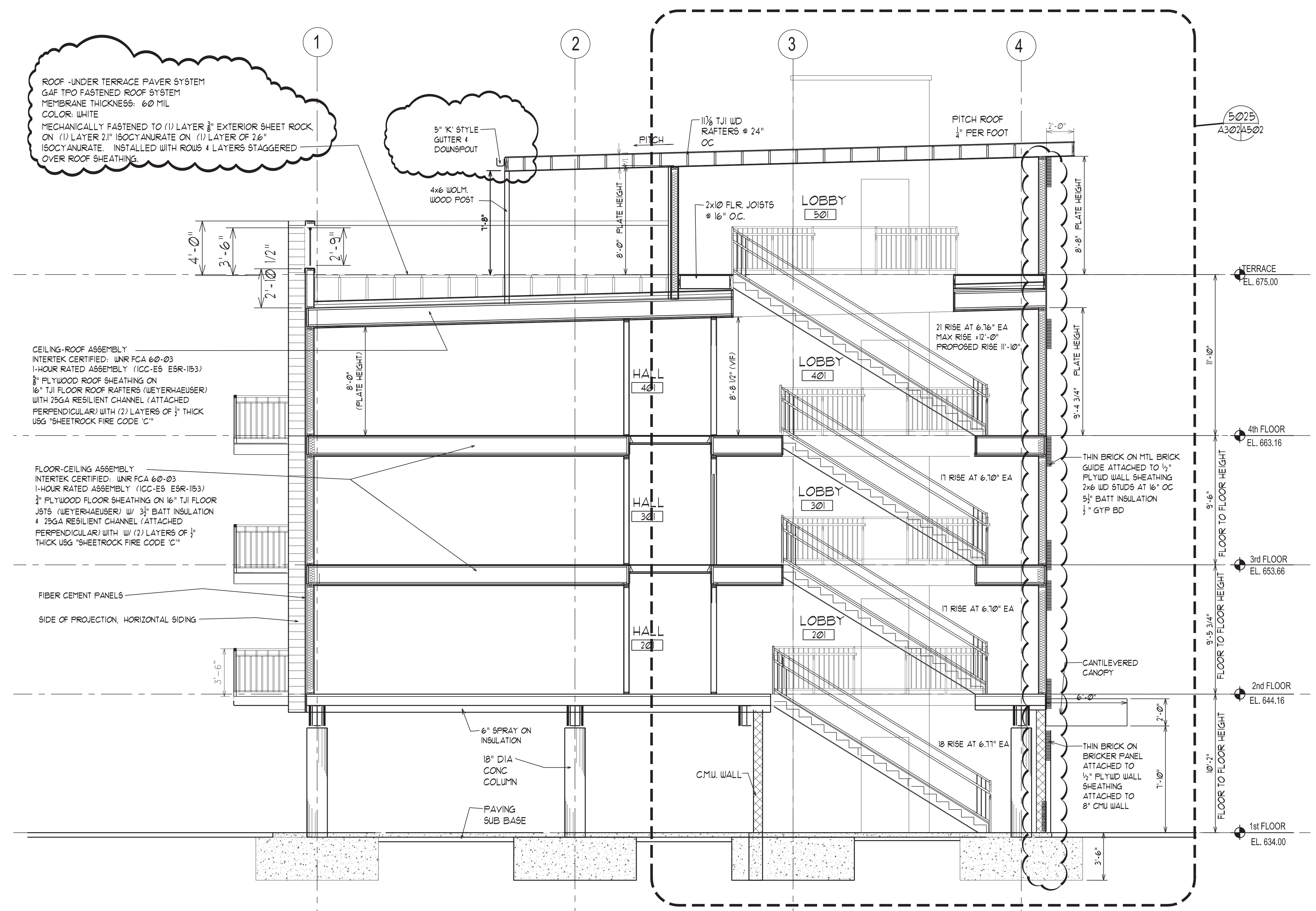
TEL: 248-654-1010
 FAX: 248-654-3002
 SCOTT@SMAARCH.COM



3023
STAIR 'B' SECTION
 A105A3.02 1/4" = 1'-0"



3022
STAIR 'A' SECTION
 A105A3.02 1/4" = 1'-0"



12
BUILDING SECTION
 A103A3.02 1/4" = 1'-0"

MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN

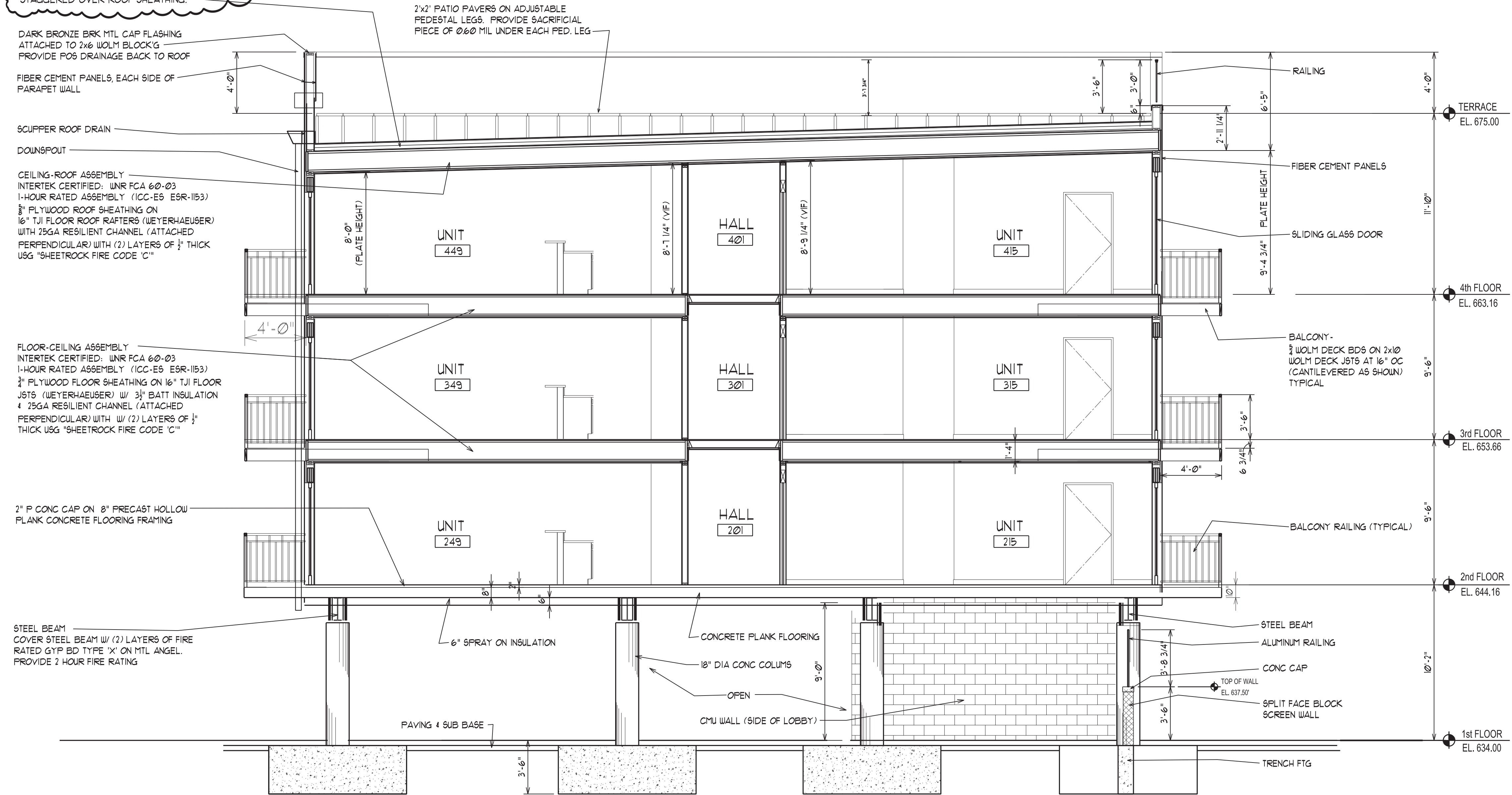
ISSUED FOR:
 6 SEPT 19
 CHECK SET
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 BID SET
 15 APRIL 2020
 RE-BID SET

SHEET# A3.02
 DATE: 15 APRIL 2020
 JOB# 13054



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 & ASSOCIATES, INC.**
 1700 STUTZ DRIVE
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 48064
 TEL: 248-654-1010
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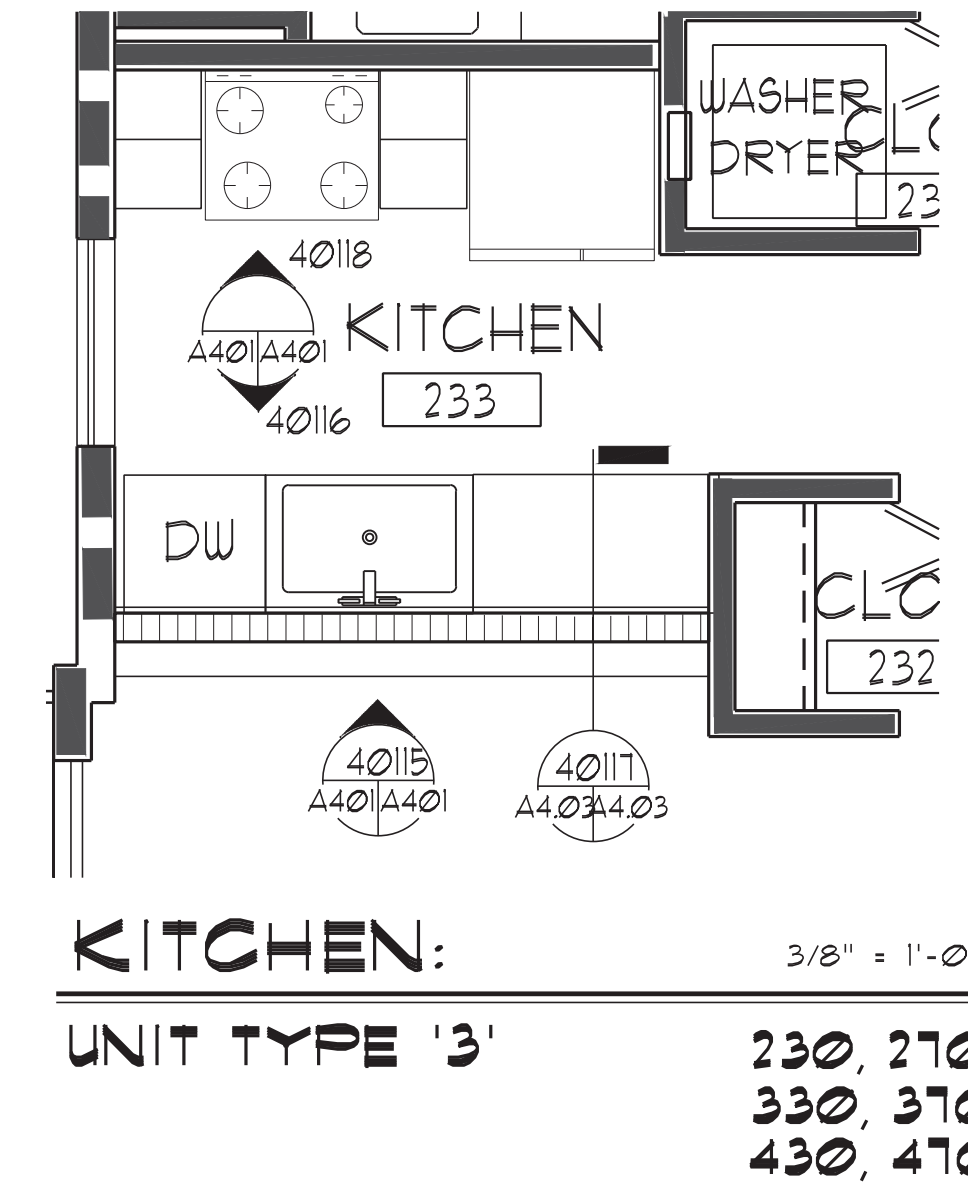
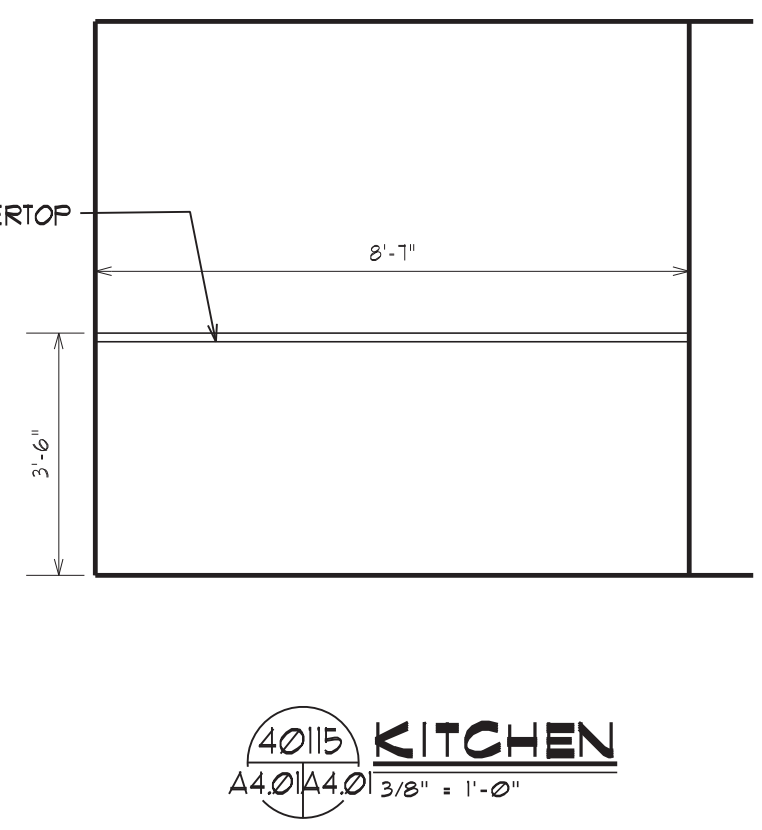
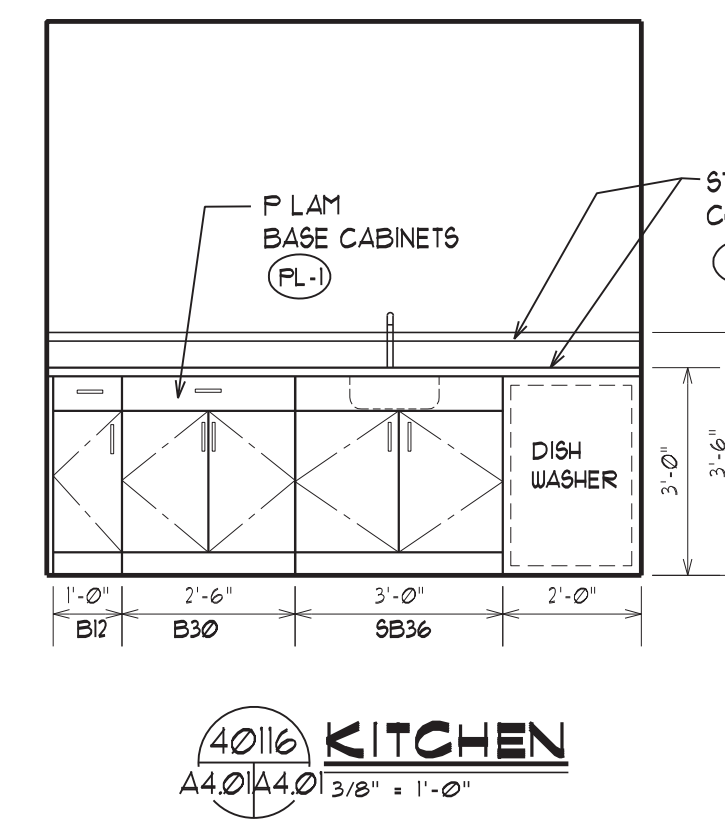
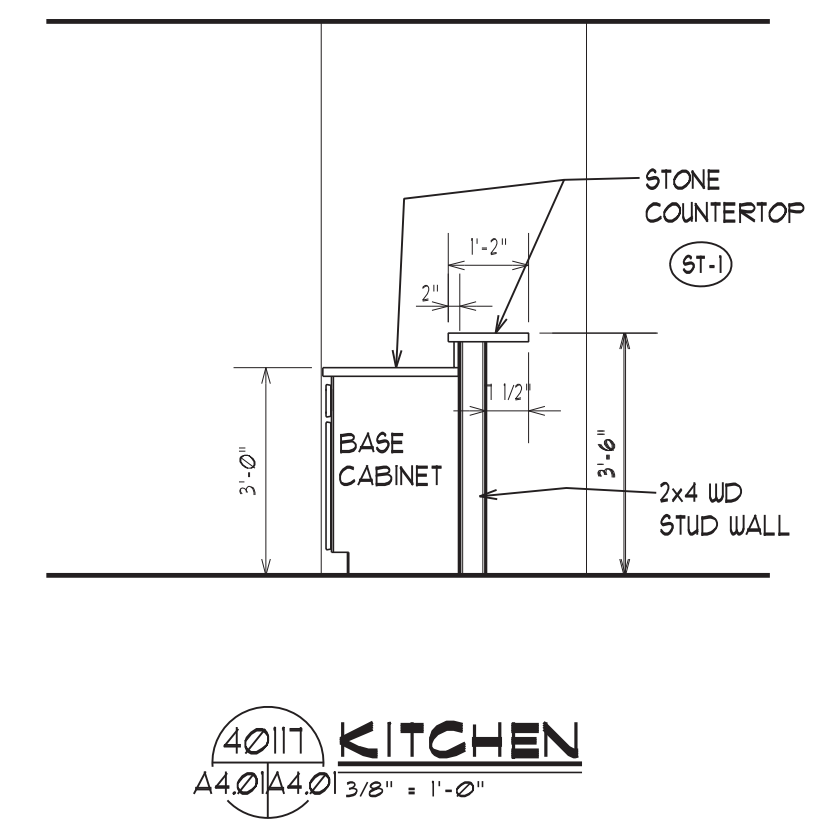
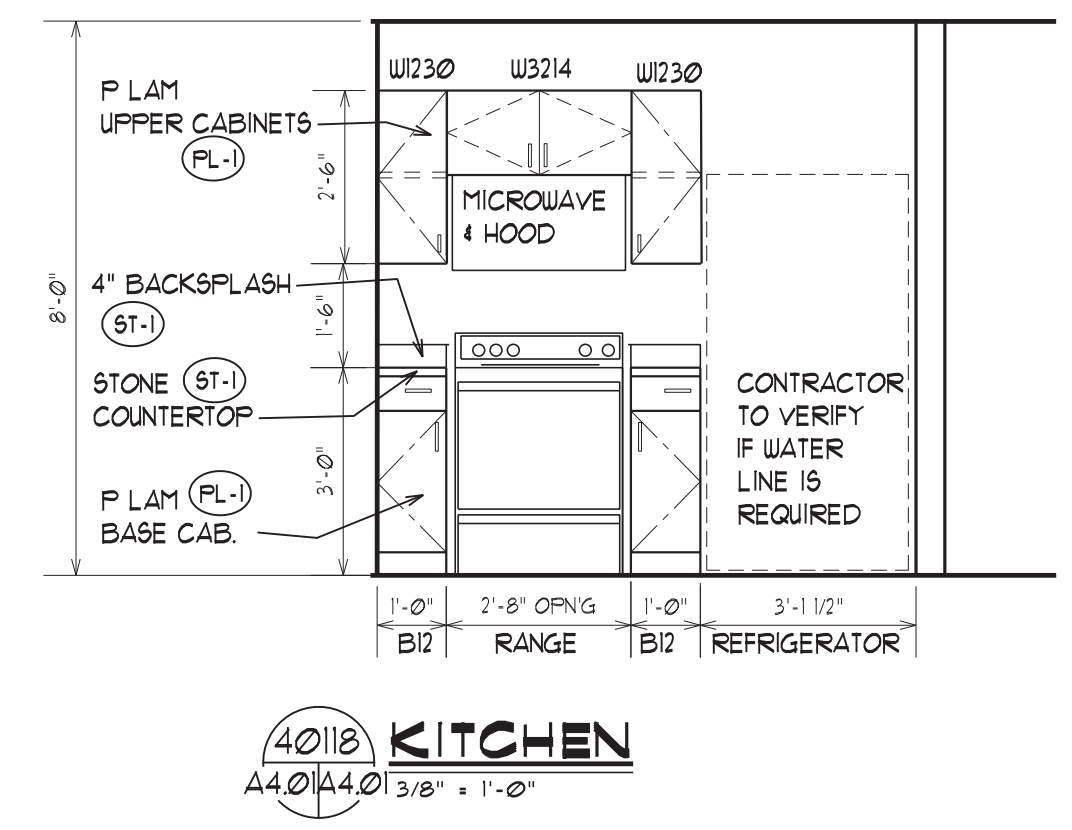
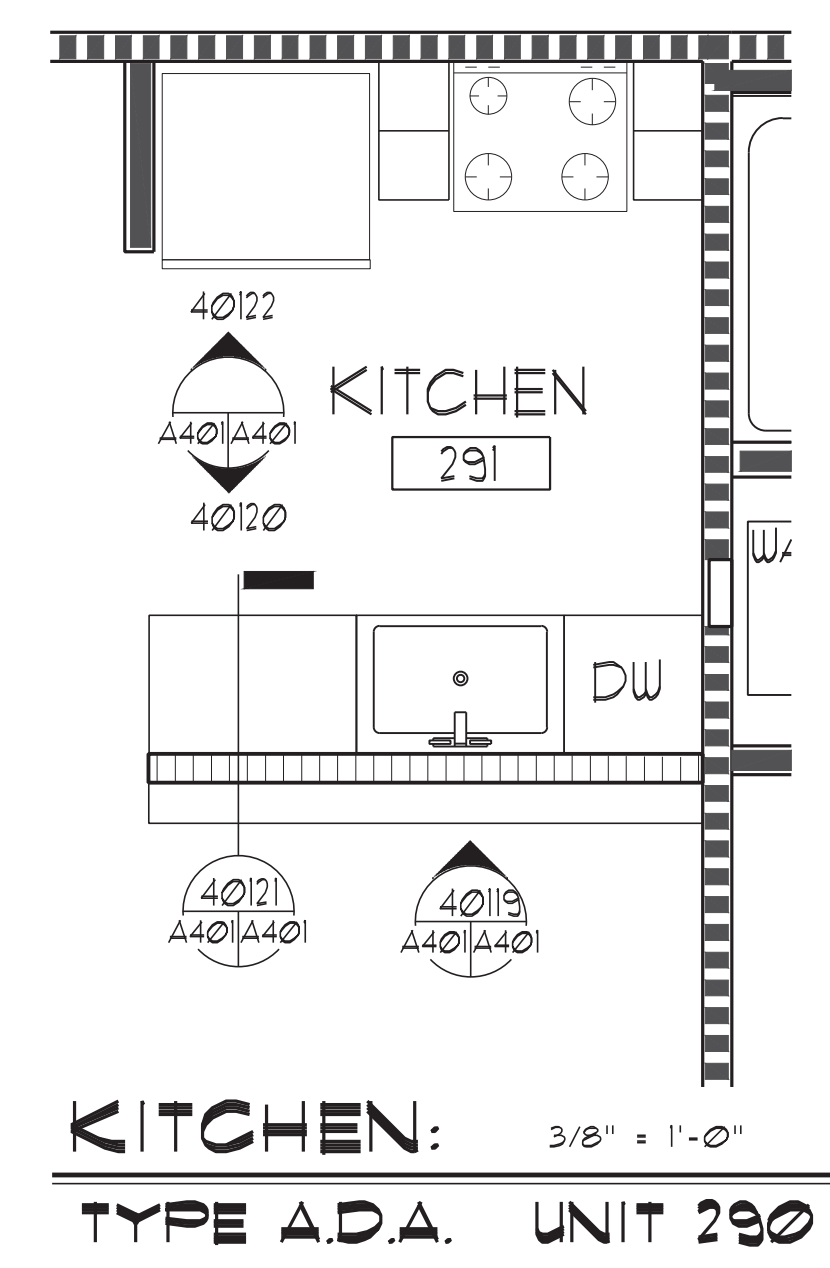
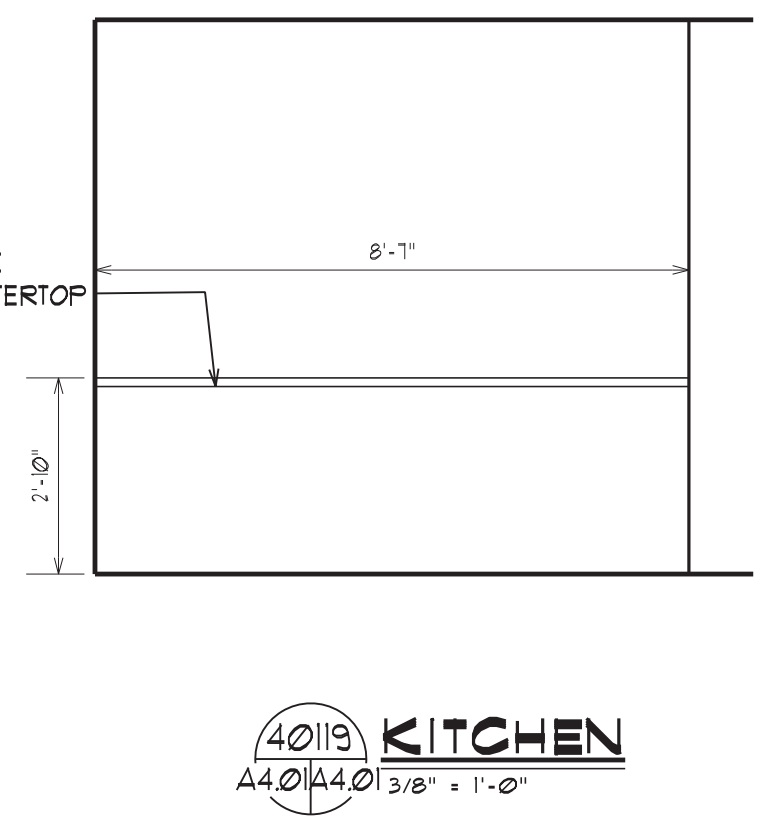
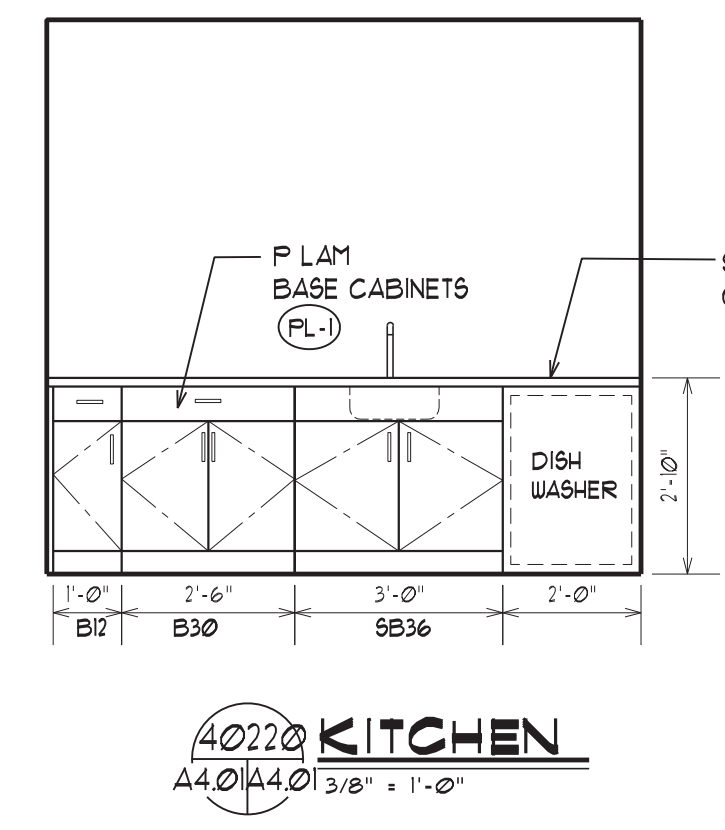
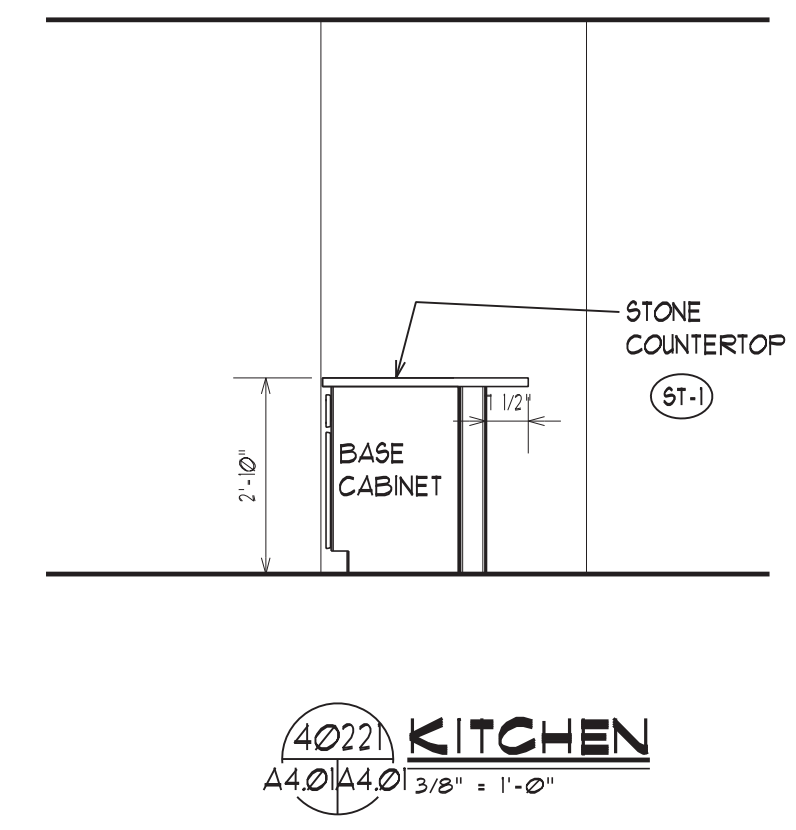
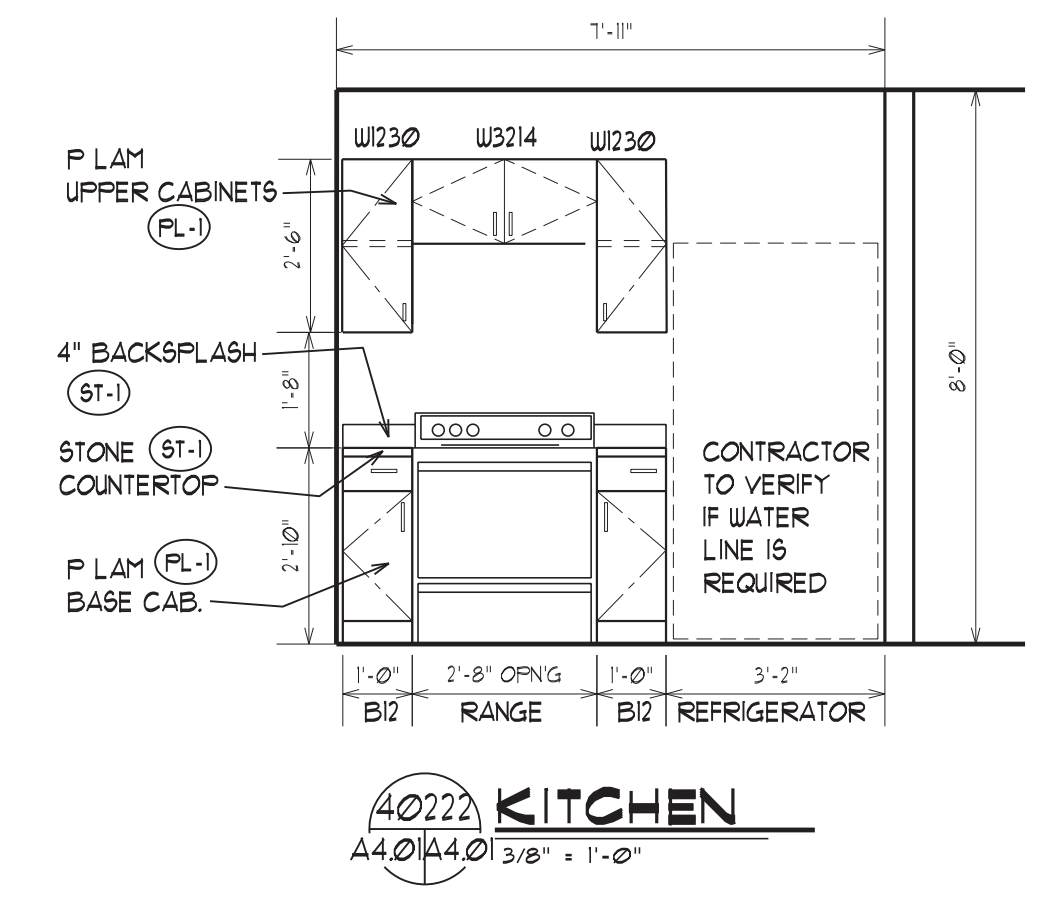
ROOF - UNDER TERRACE PAVER SYSTEM
 GAF TPO FASTENED ROOF SYSTEM
 MEMBRANE THICKNESS: 60 MIL
 COLOR: WHITE
 MECHANICALLY FASTENED TO (1) LAYER 3/8"
 EXTERIOR SHEET ROCK, ON (1) LAYER 2 1/2"
 ISOCYANURATE ON (1) LAYER OF 2 6"
 ISOCYANURATE. INSTALLED WITH ROWS 4 LAYERS
 STAGGERED OVER ROOF SHEATHING.



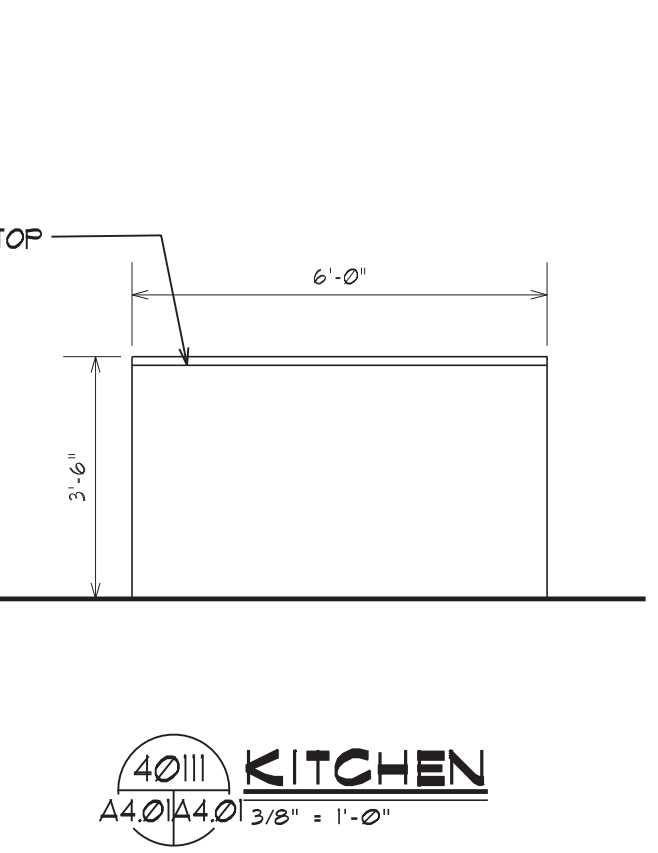
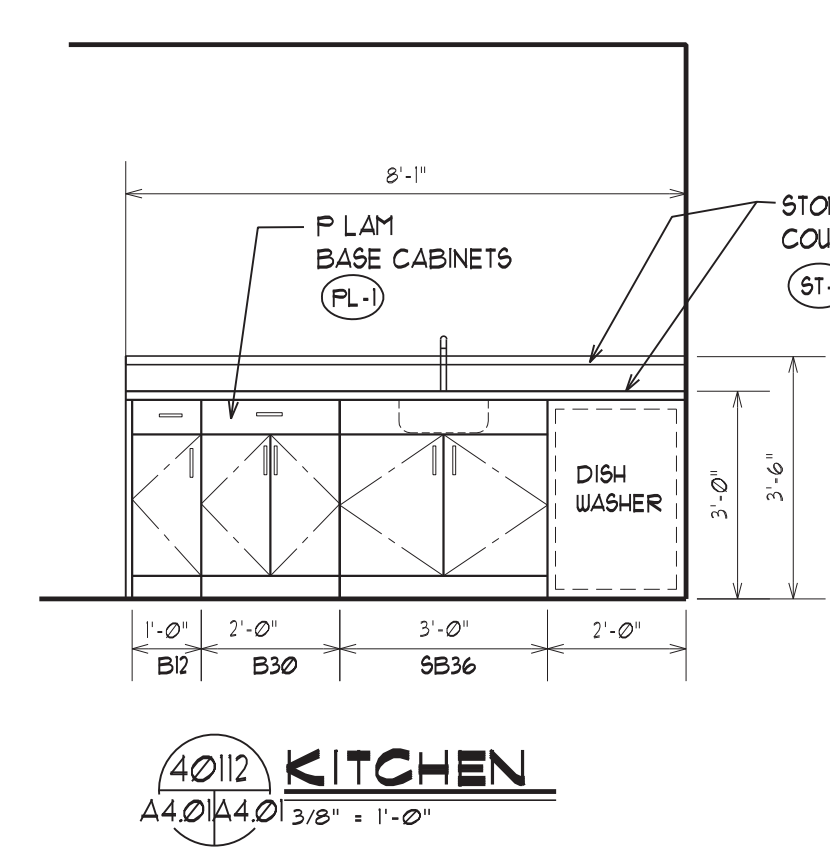
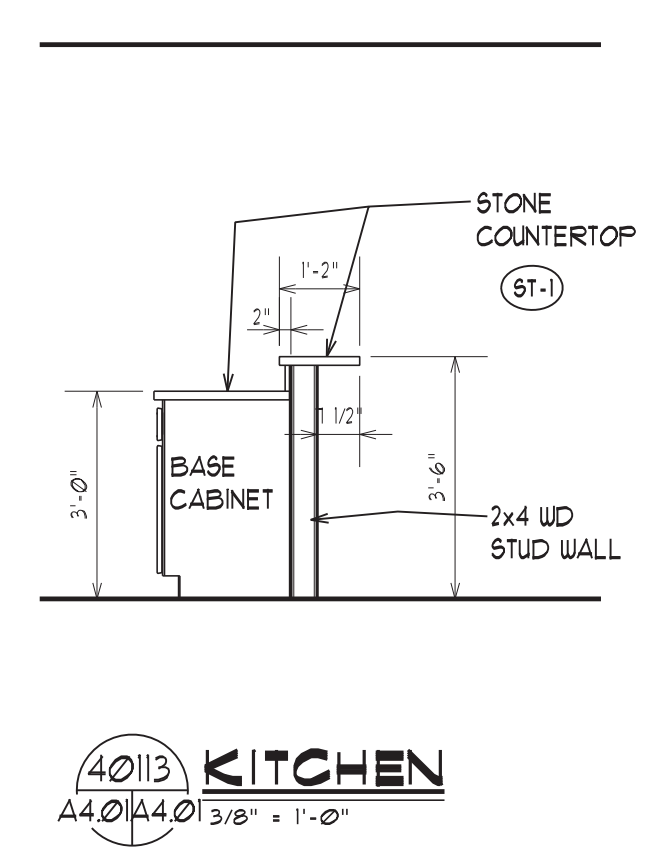
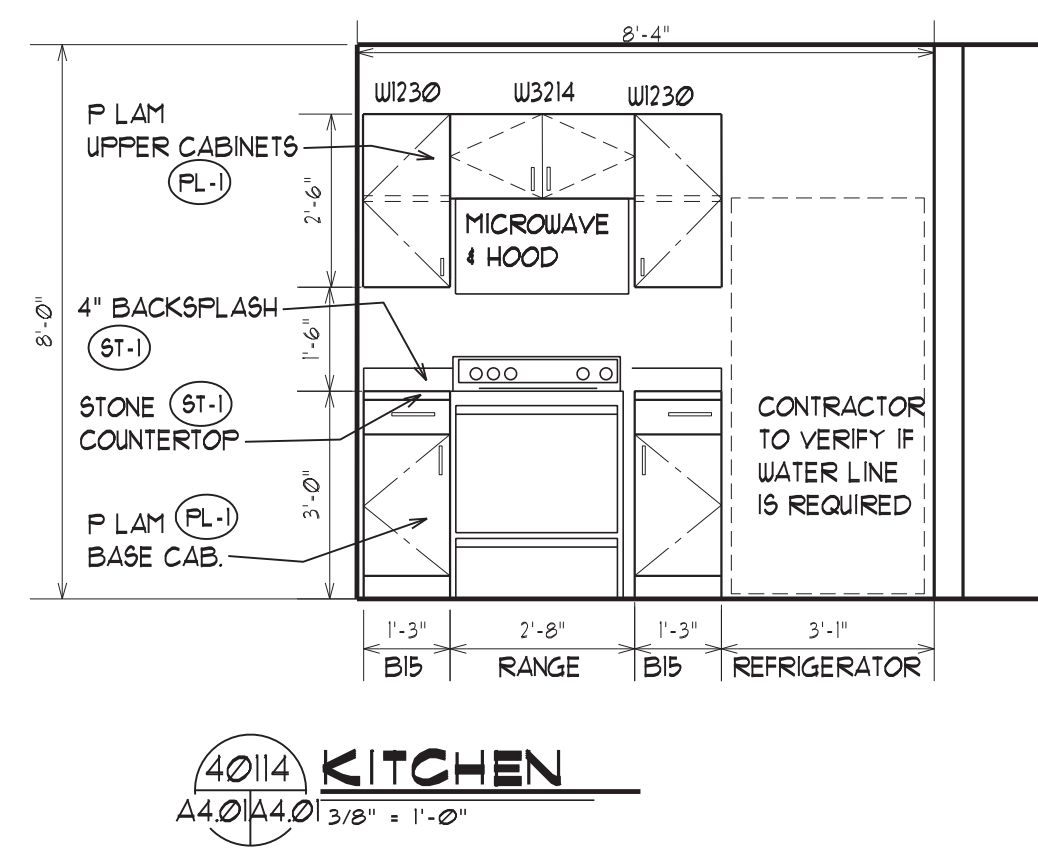
MERRILL PLACE - APARTMENTS
 PHASE I
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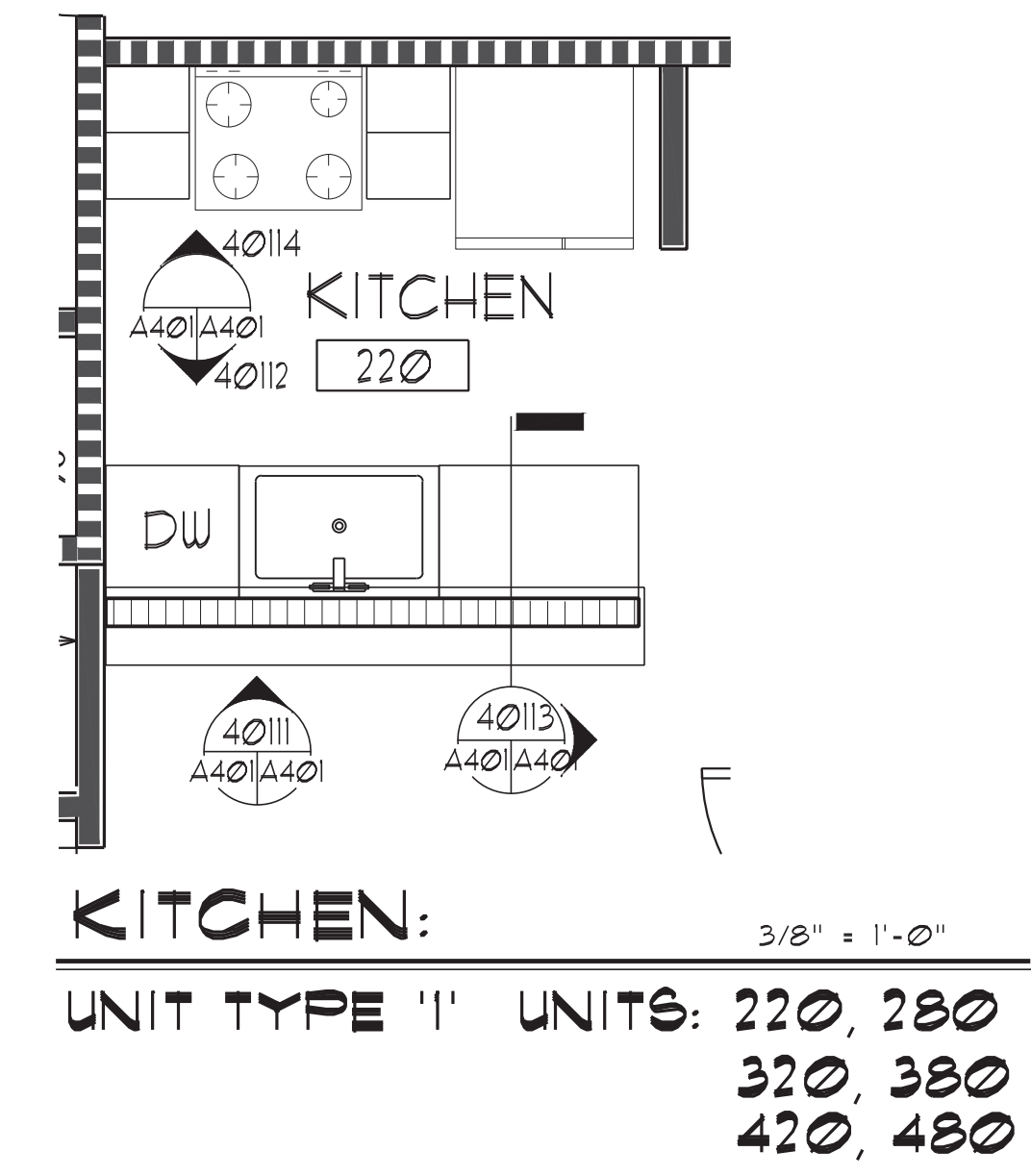
3031 BUILDING SECTION
 A103A303 1/4" = 1'-0"



NOTE: SOME KITCHENS ARE OPPOSITE HAND



NOTE: SOME KITCHENS ARE OPPOSITE HAND



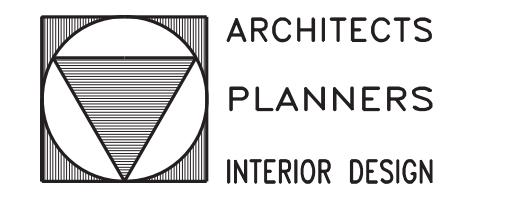
UNIT TYPE '2' UNITS: 210, 240, 250, 260
 310, 340, 350, 360
 410, 440, 450, 460

UNIT TYPE '4' UNITS: 390, 490

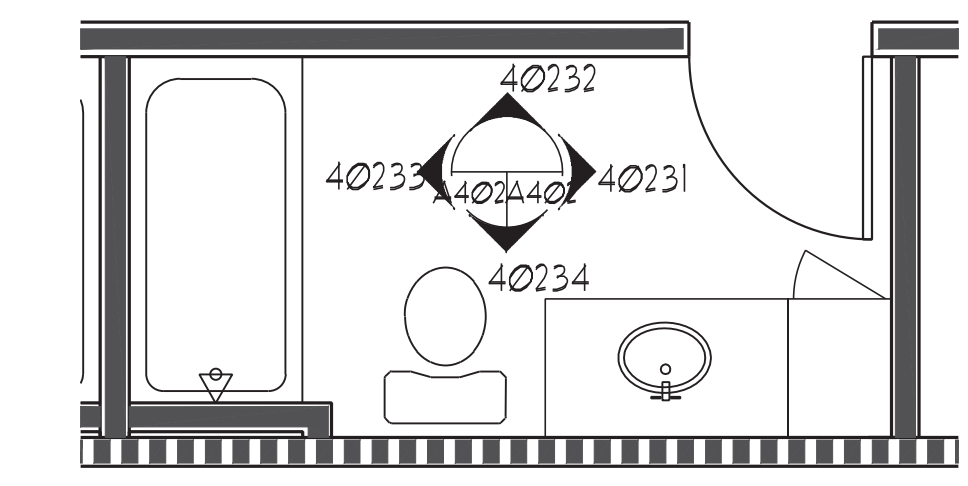
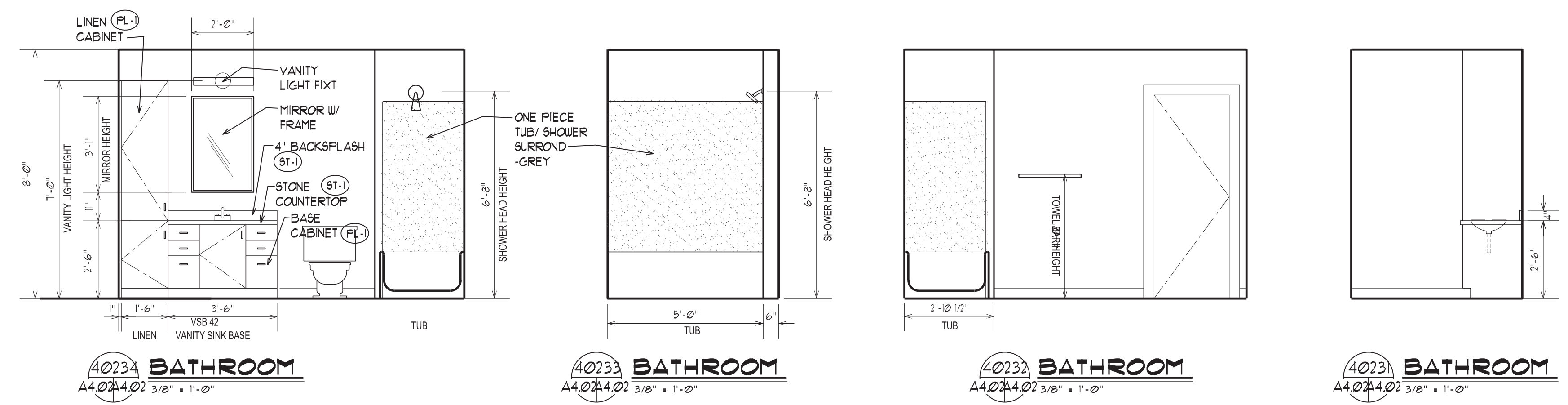
MERRILL PLACE - APARTMENTS
 PHASE I
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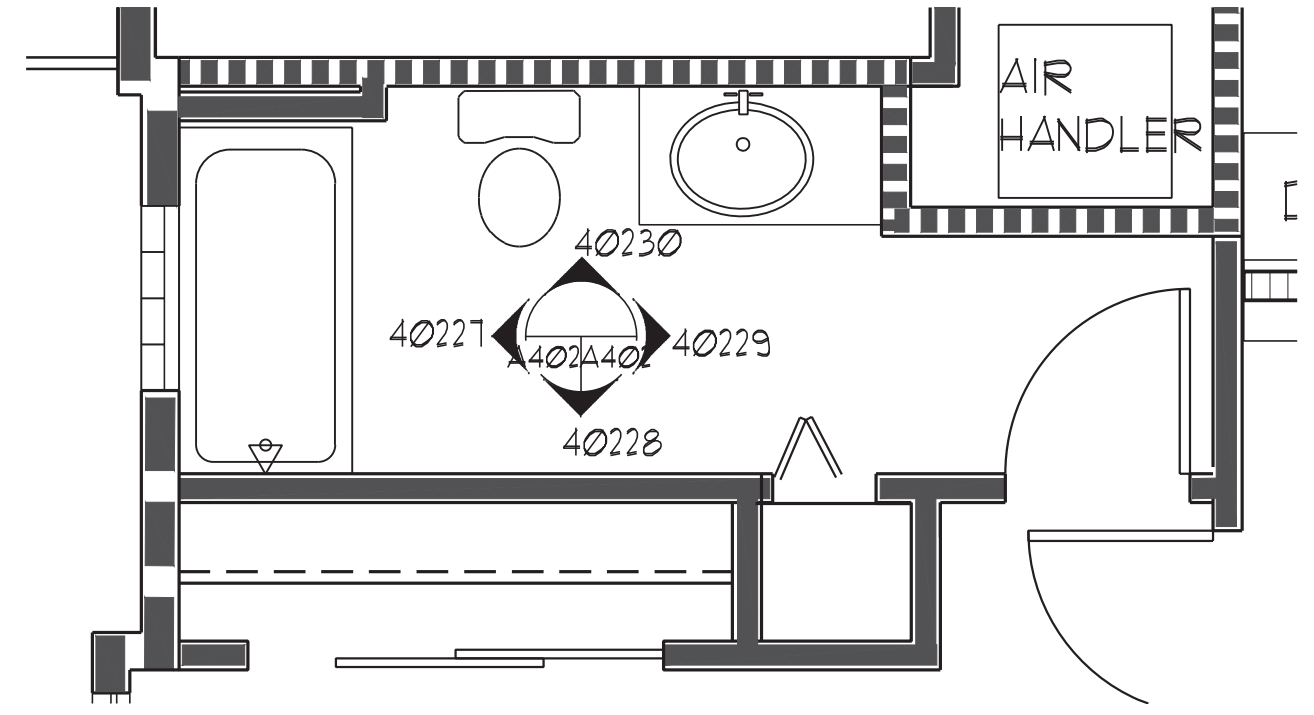
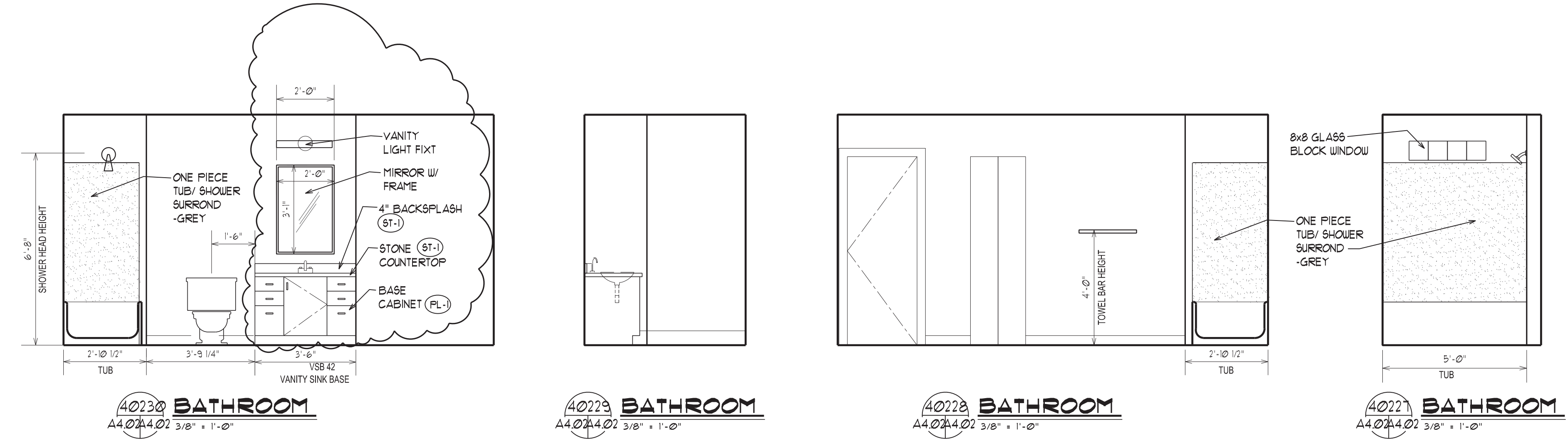


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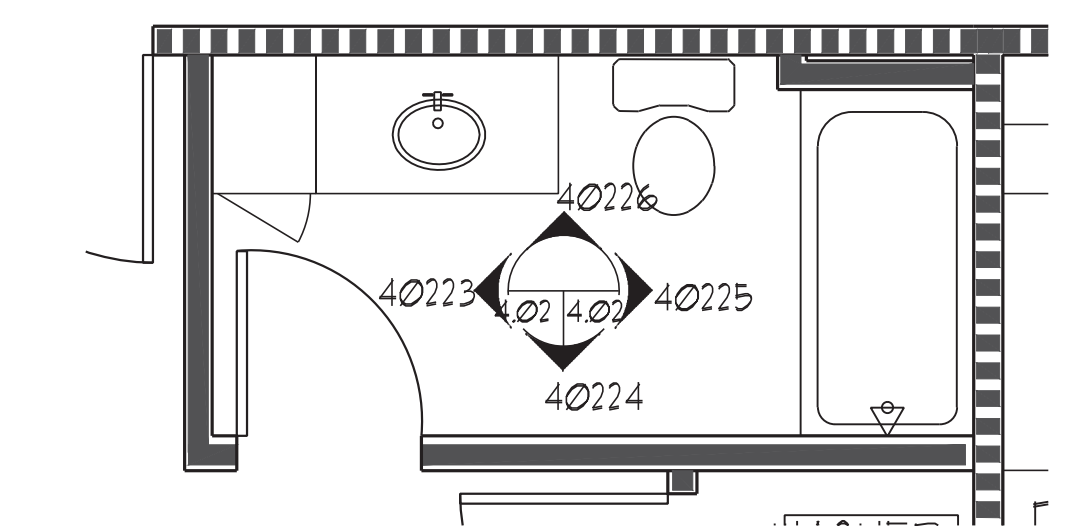
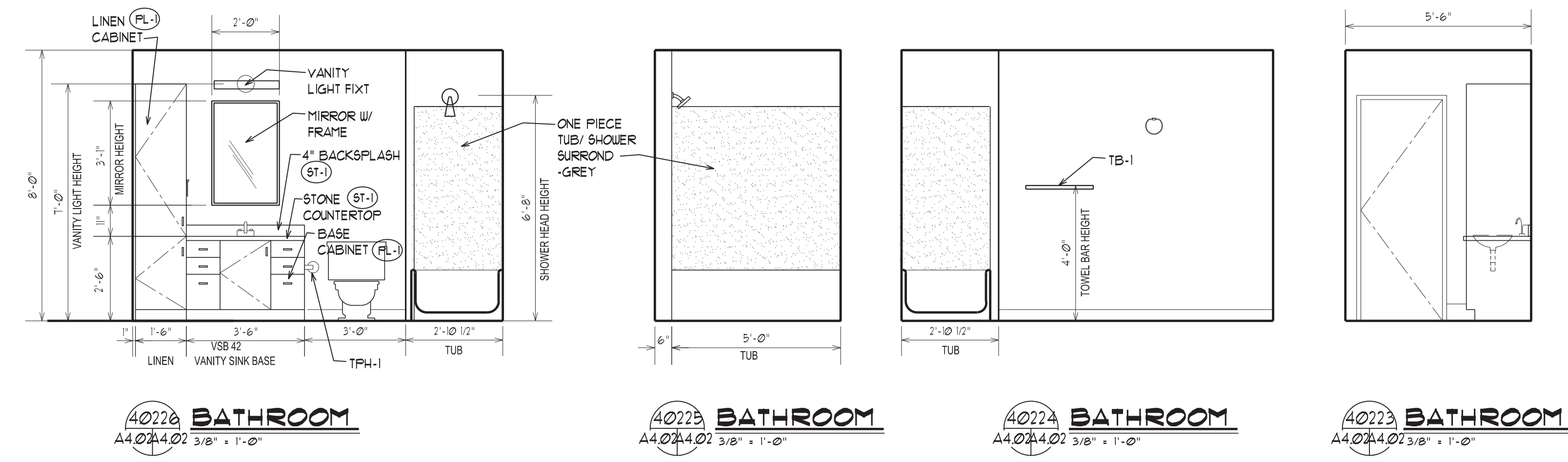
BATHROOM: 3/8" = 1'-0"
 UNIT TYPE '2' UNITS: 210, 240, 250, 260, 310, 340, 350, 360, 410, 440, 450, 460

NOTE: SOME BATHROOMS ARE OPPOSITE HAND



BATHROOM: 3/8" = 1'-0"
 UNIT TYPE '1' UNITS: 220, 280, 320, 380, 420, 480

NOTE: SOME BATHROOMS ARE OPPOSITE HAND



BATHROOM: 3/8" = 1'-0"
 UNIT TYPE '1' UNITS: 220, 280, 320, 380, 420, 480

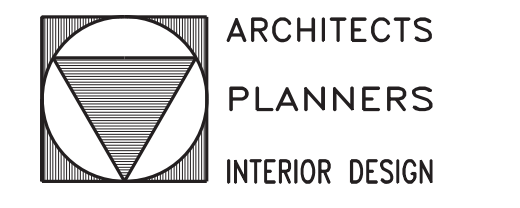
NOTE: SOME BATHROOMS ARE OPPOSITE HAND

MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN

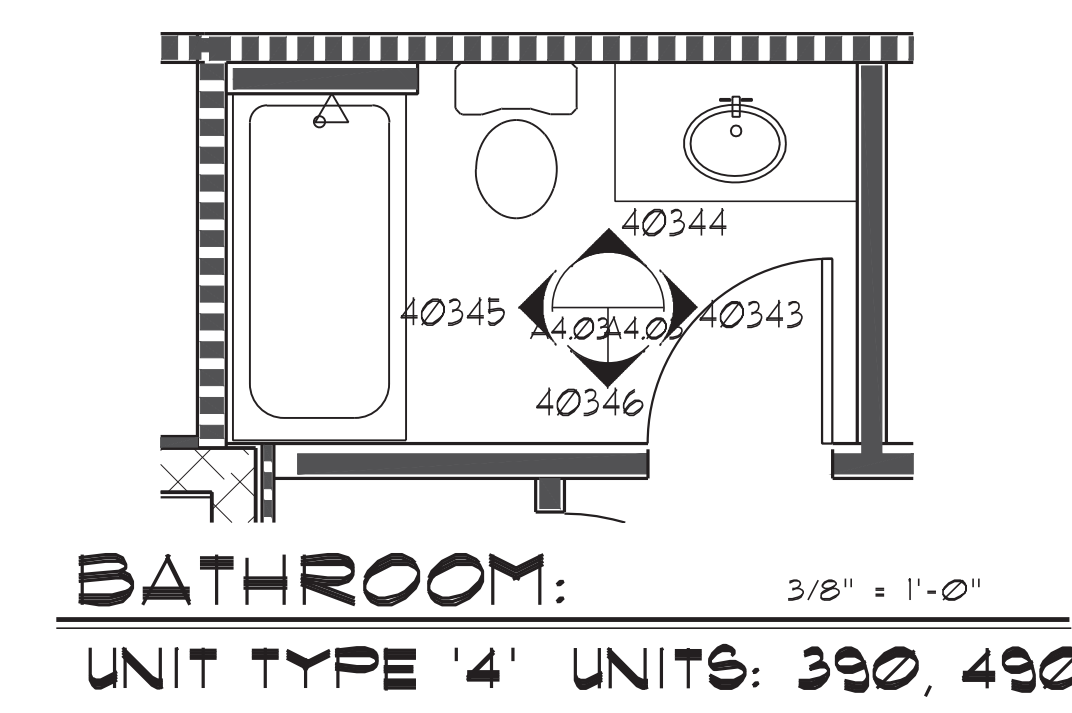
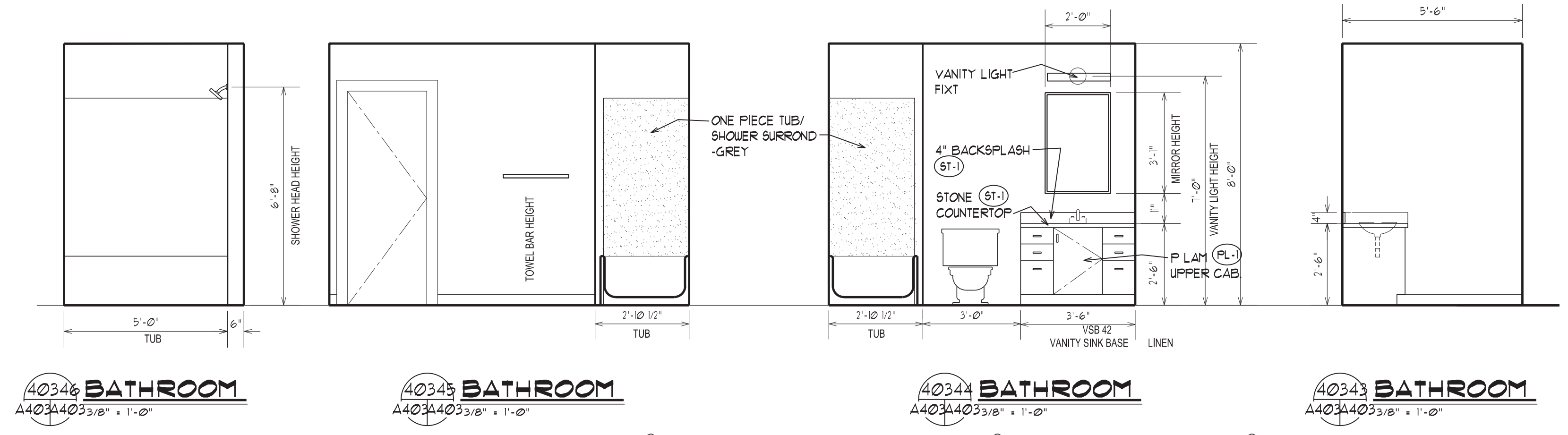
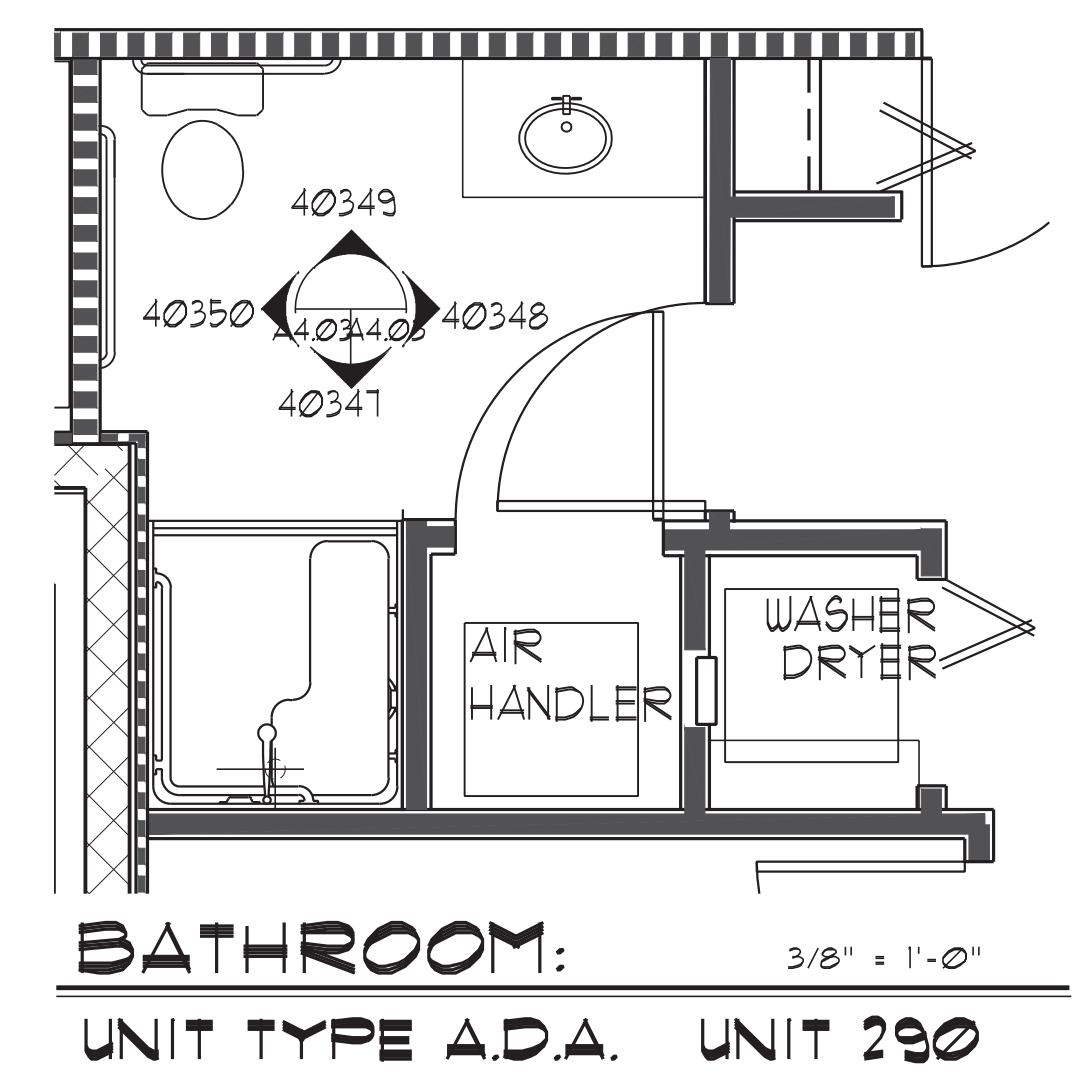
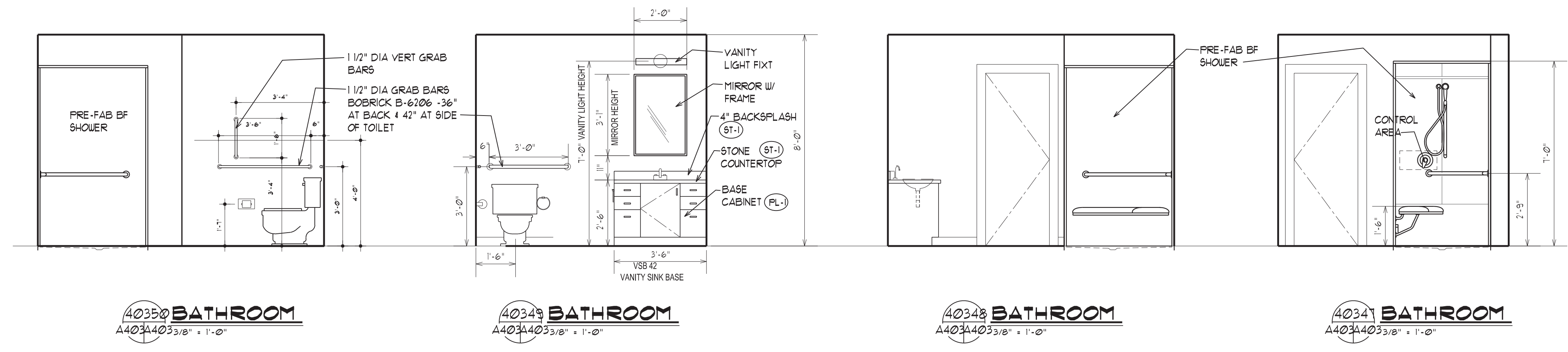
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SHEET# A4.02
 DATE: 15 APRIL 2020
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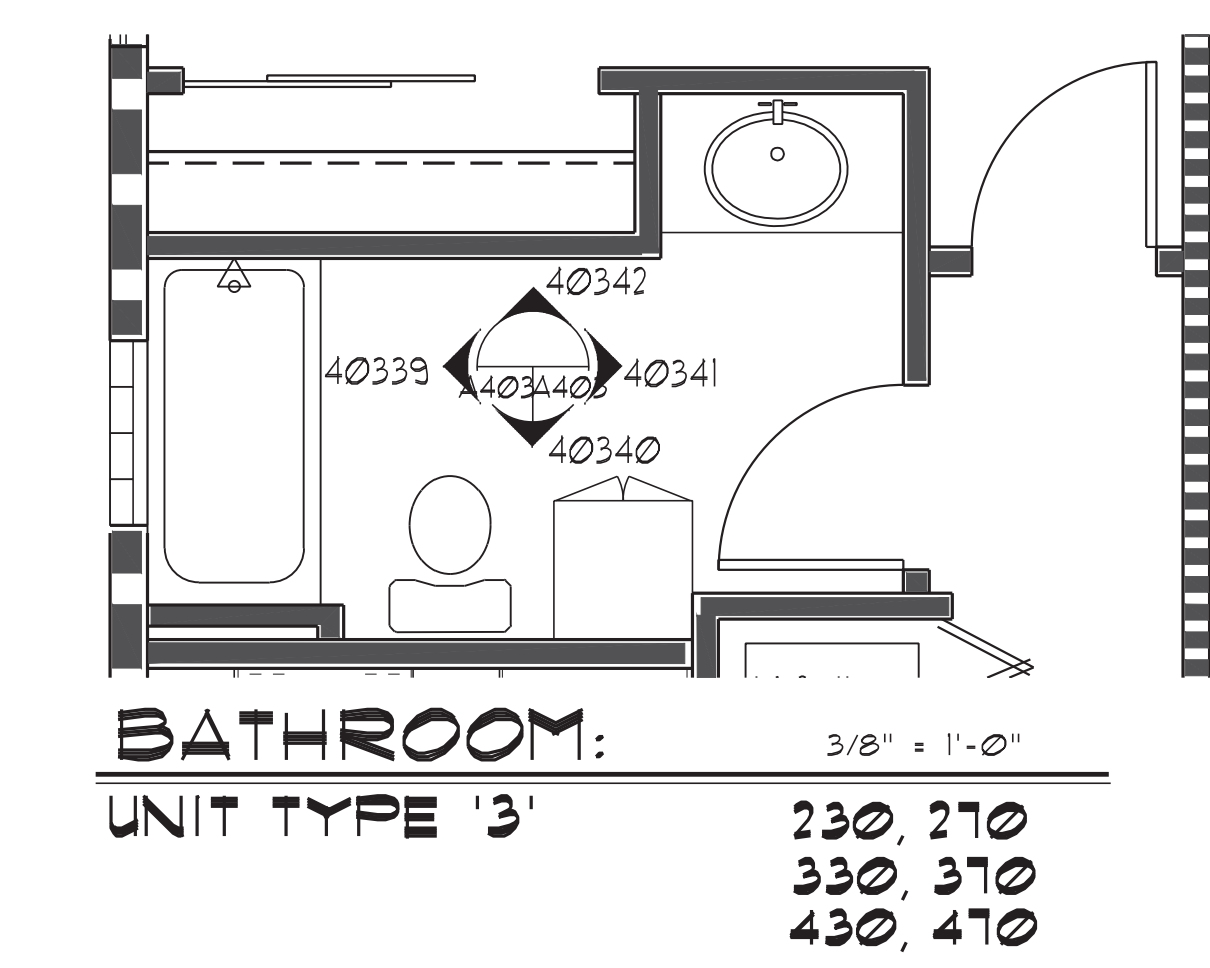
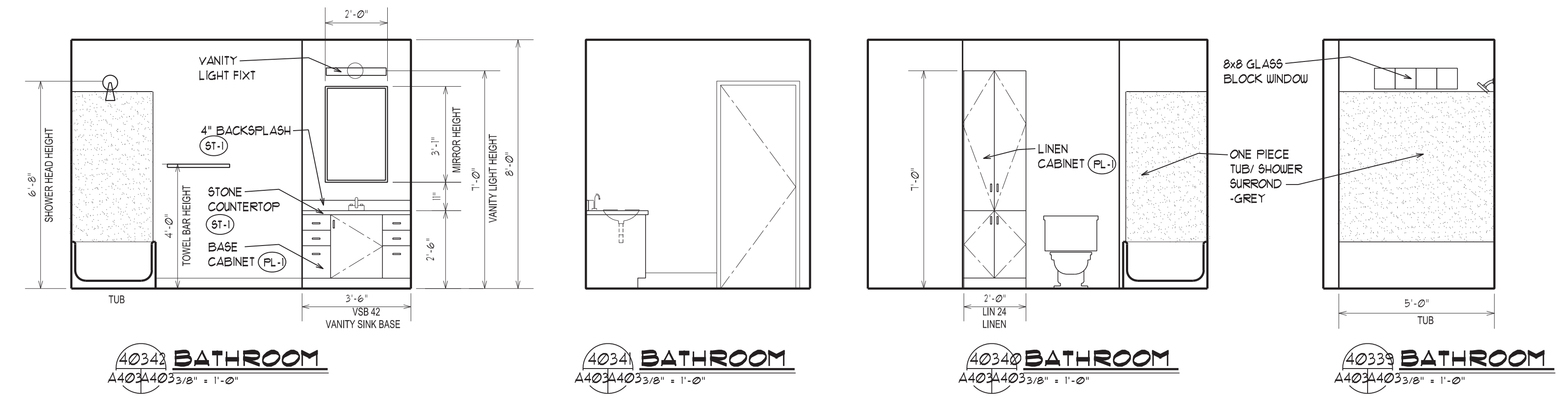
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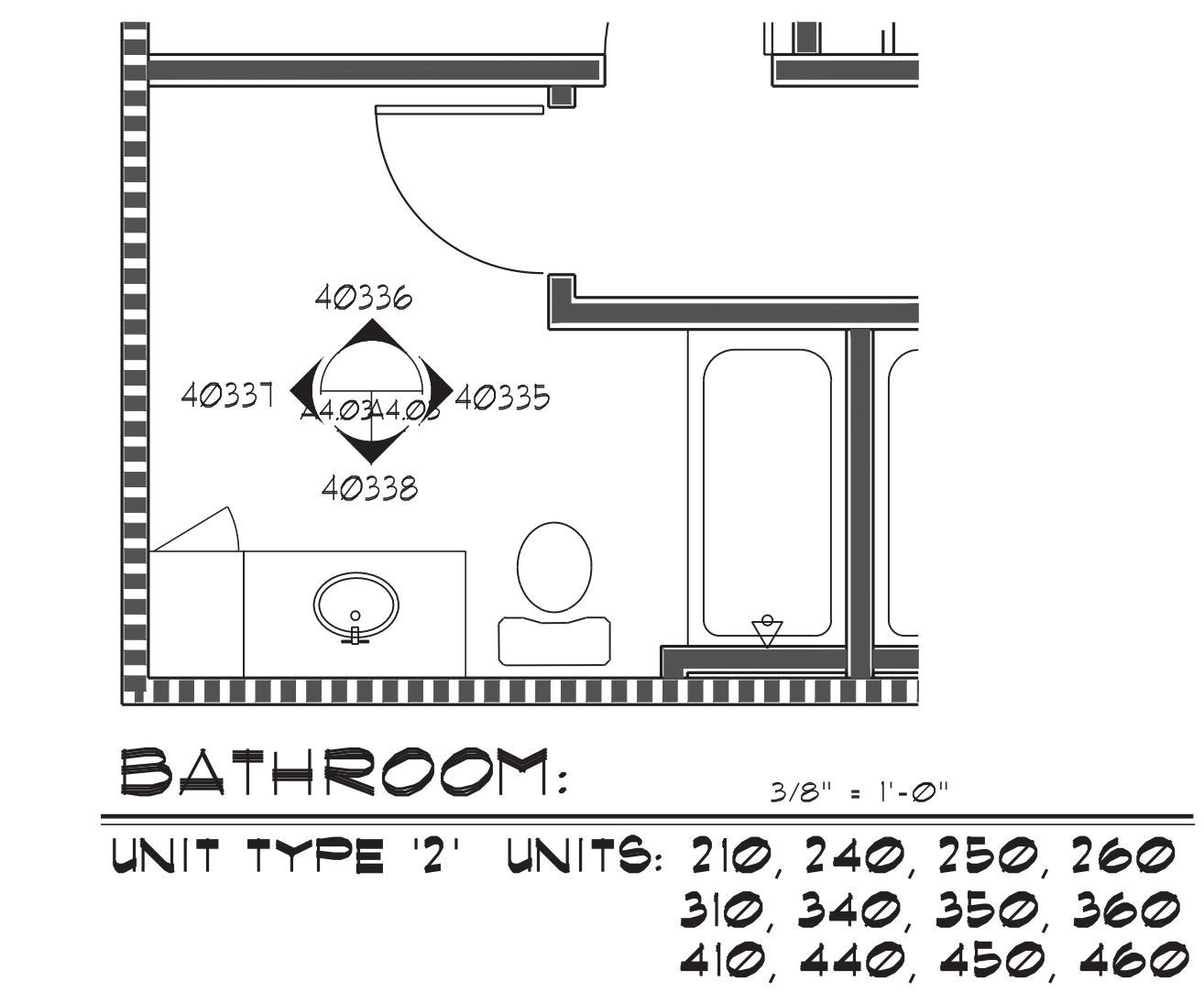
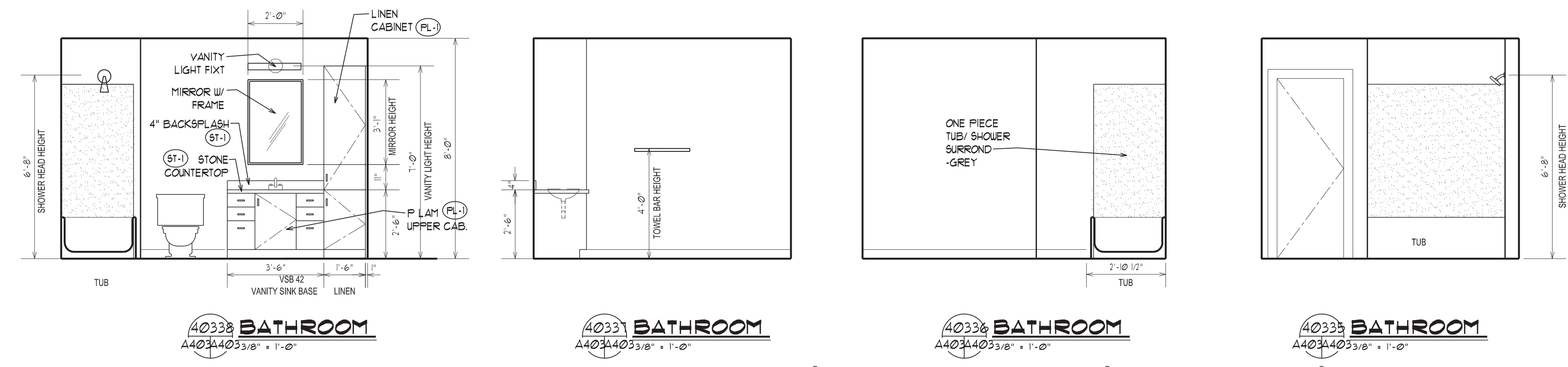
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NOTE: SOME BATHROOMS ARE OPPOSITE HAND



NOTE: SOME BATHROOMS ARE OPPOSITE HAND



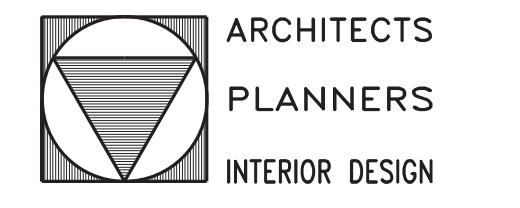
NOTE: SOME BATHROOMS ARE OPPOSITE HAND

MERRILL PLACE - APARTMENTS
 PHASE I
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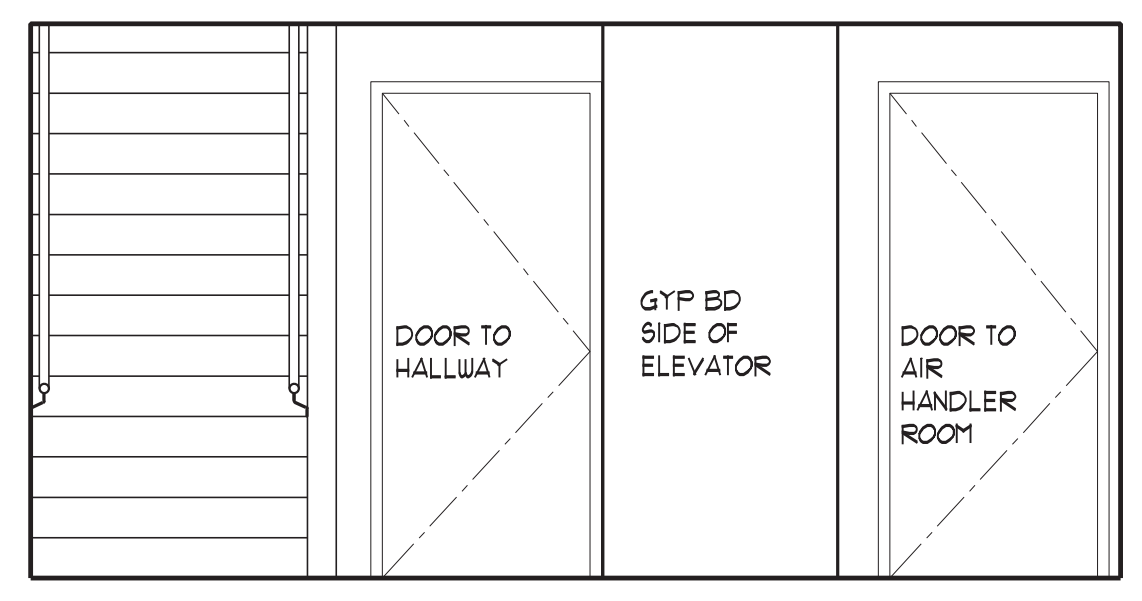


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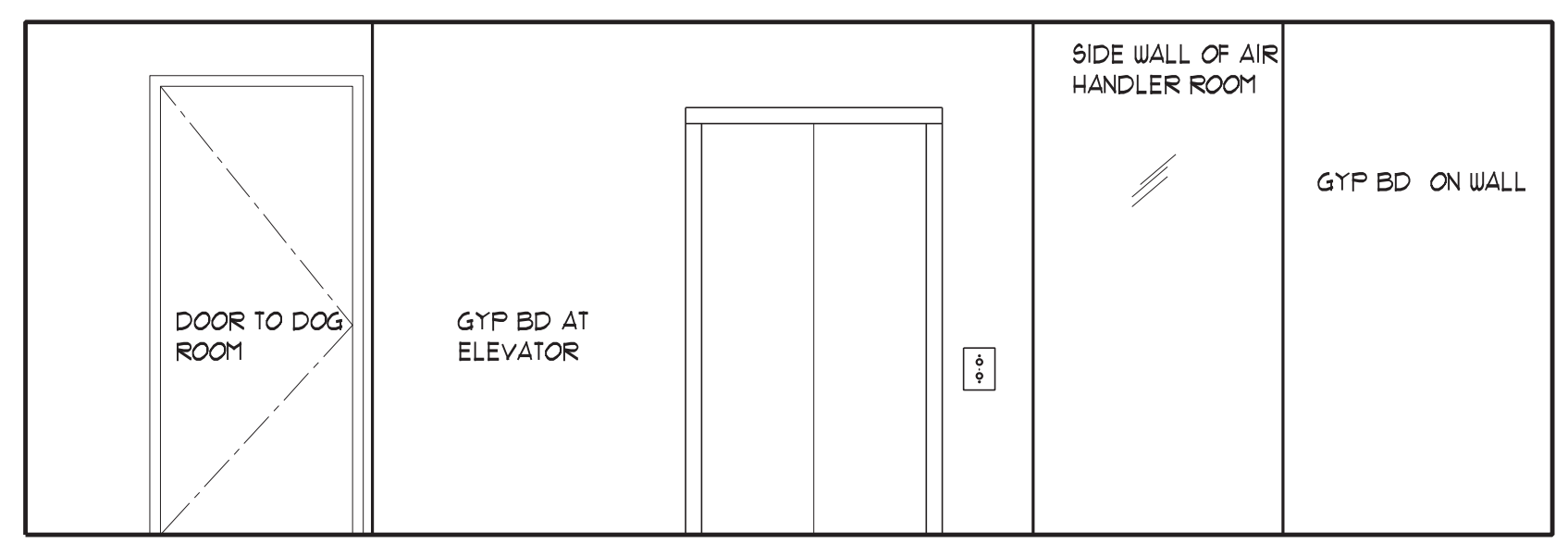
MERRILL PLACE - APARTMENTS
 PHASE I
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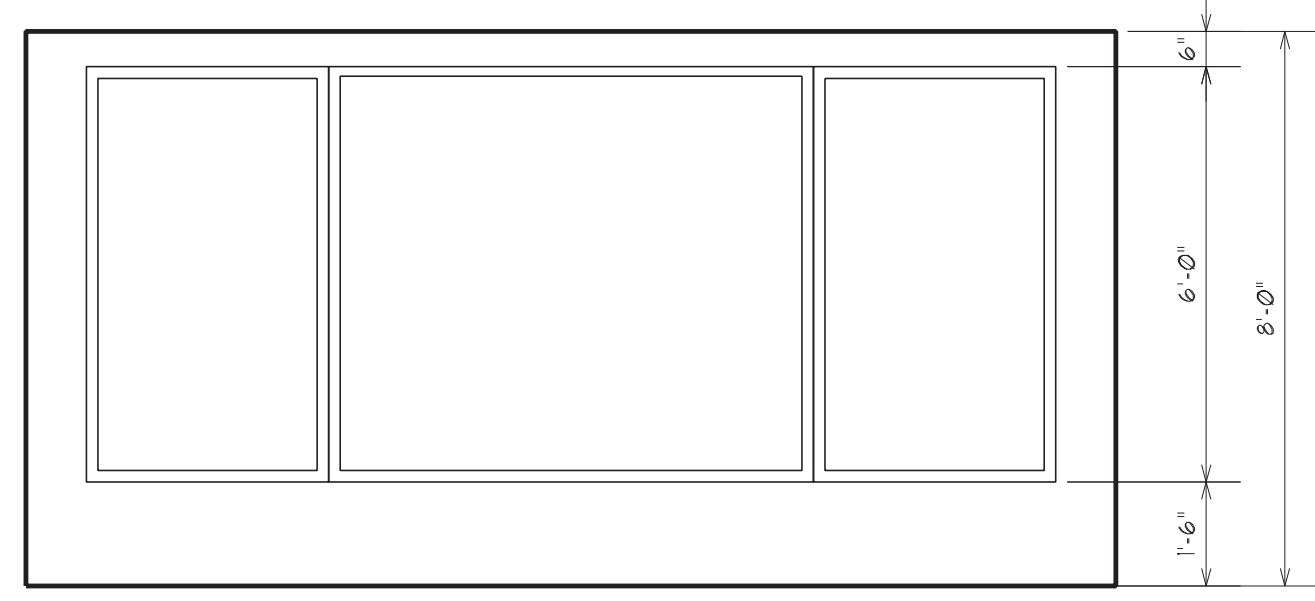
SHEET# A4.04
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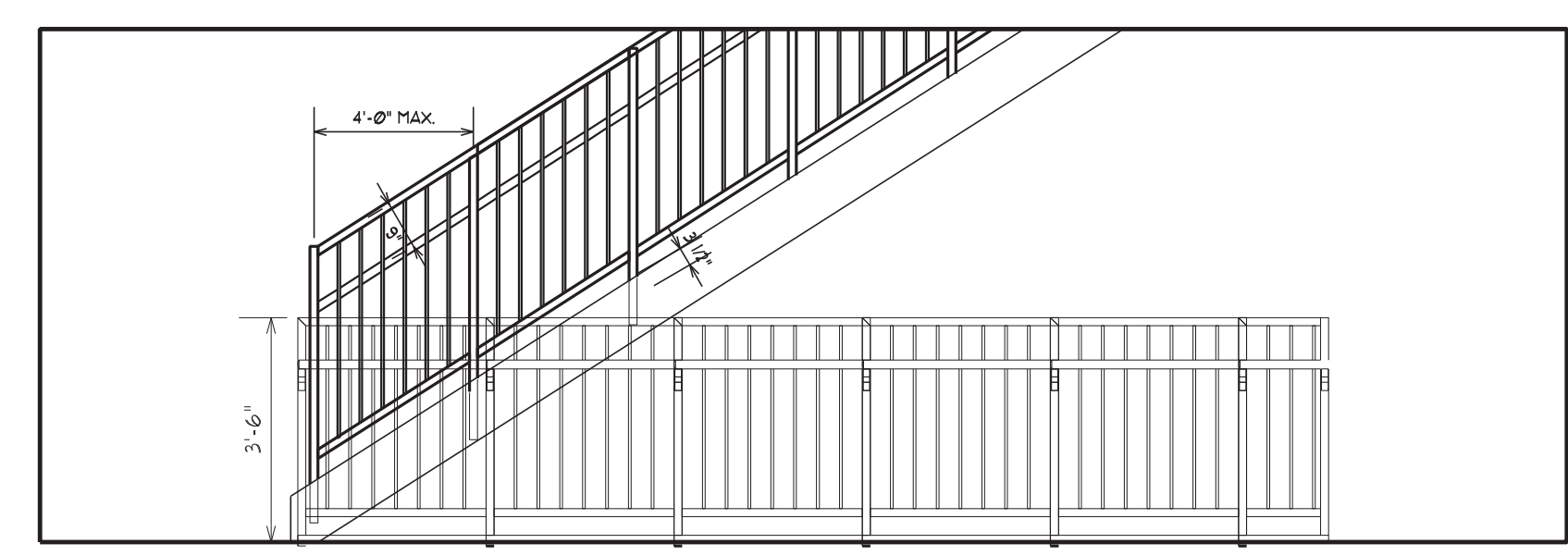
40411 LOBBY 200
 A4044404 3/8" = 1'-0"



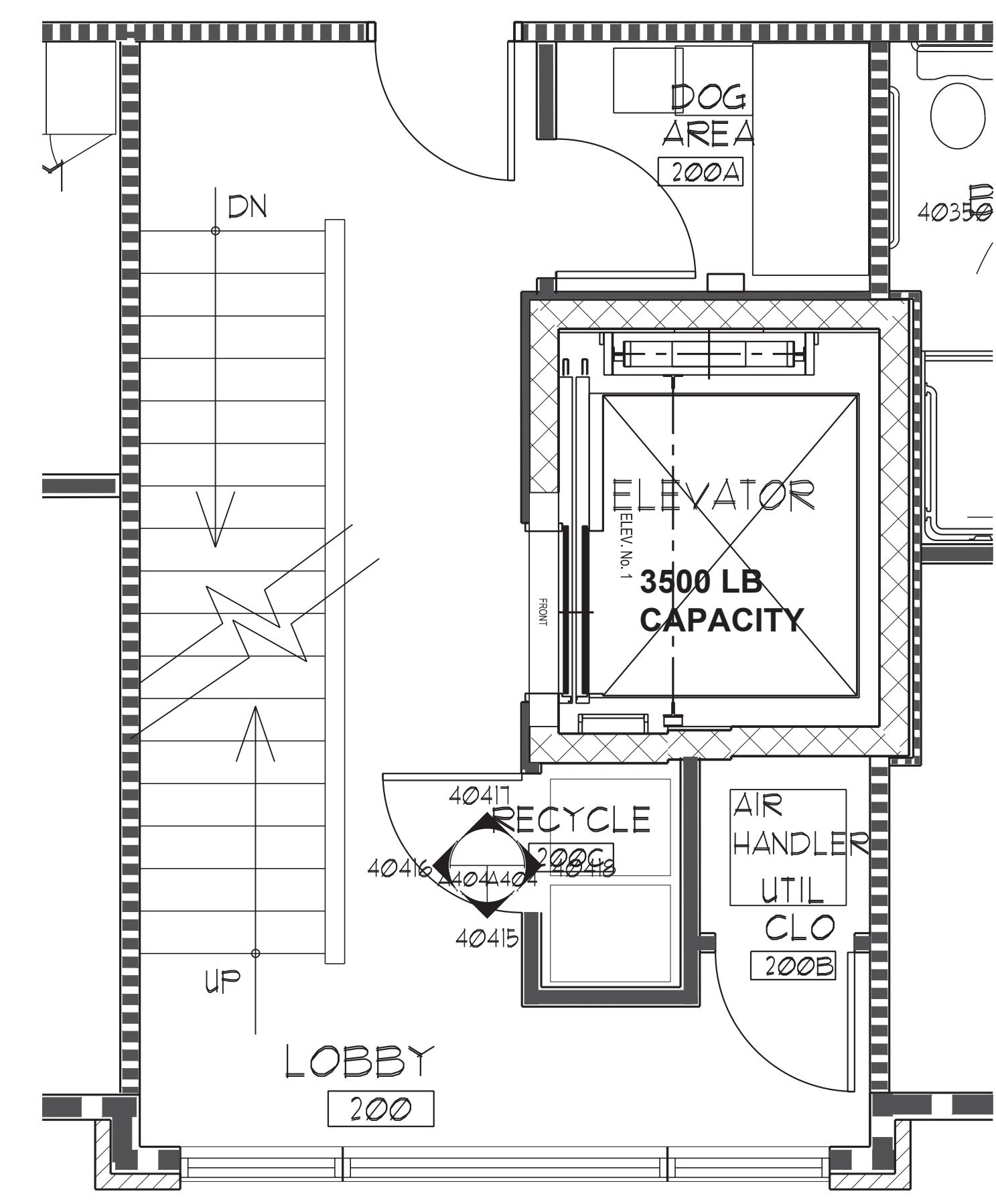
40418 LOBBY 200
 A4044404 3/8" = 1'-0"



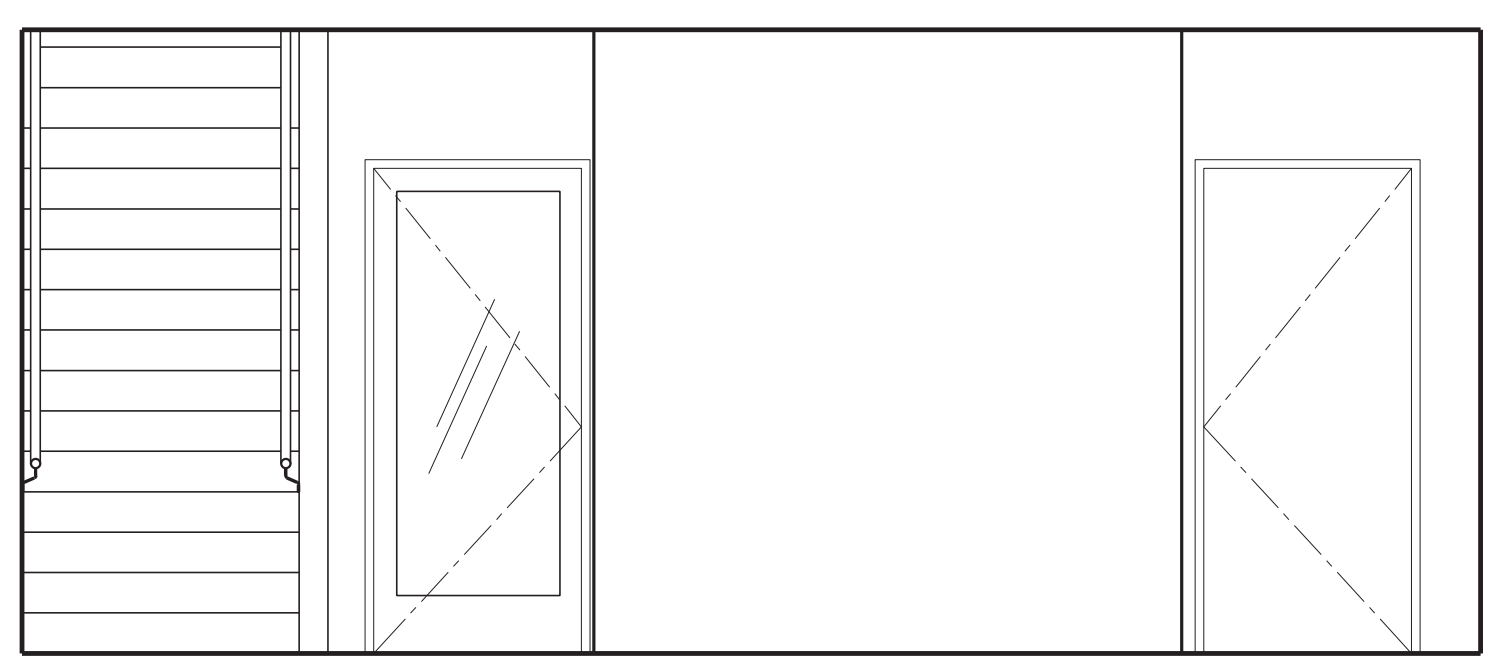
40415 LOBBY 200
 A4044404 3/8" = 1'-0"



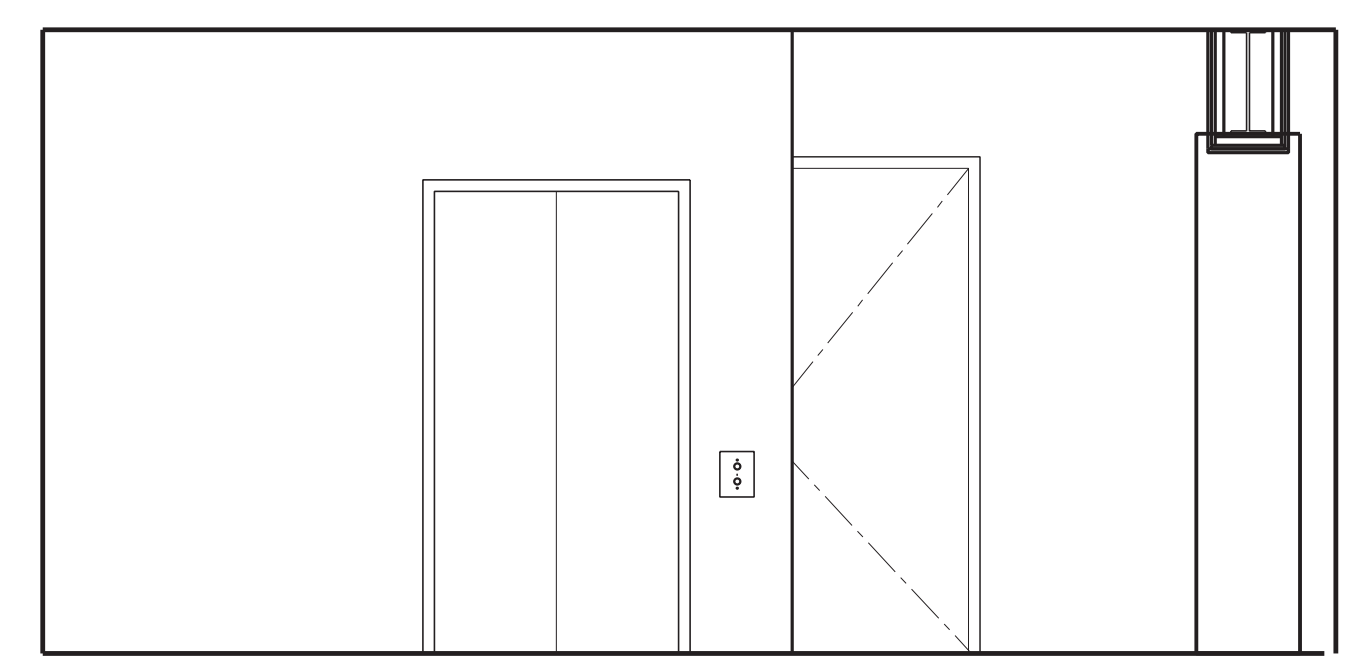
40416 LOBBY 200
 A4044404 3/8" = 1'-0"



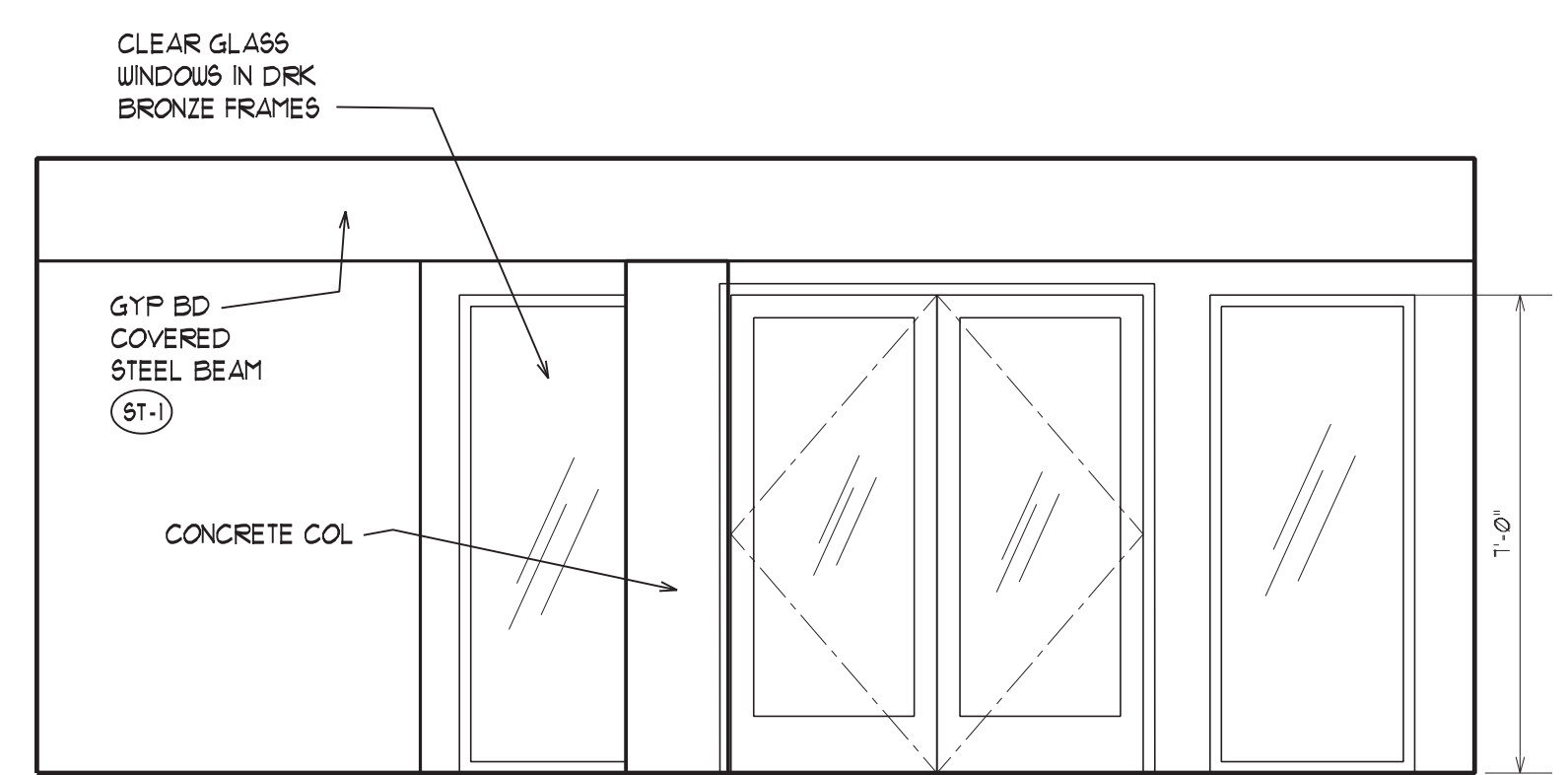
LOBBY -2nd FLOOR
 3/8" = 1'-0"



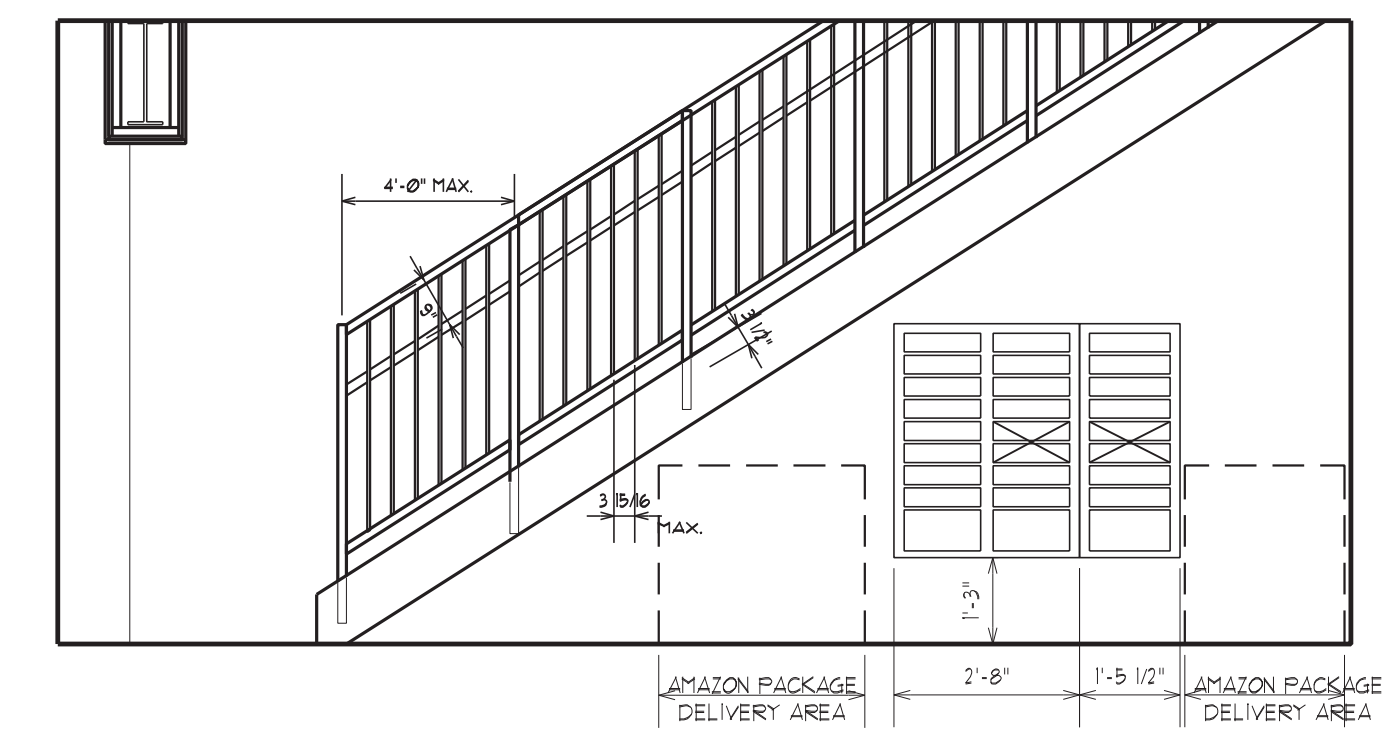
40413 LOBBY 100
 A4044404 3/8" = 1'-0"



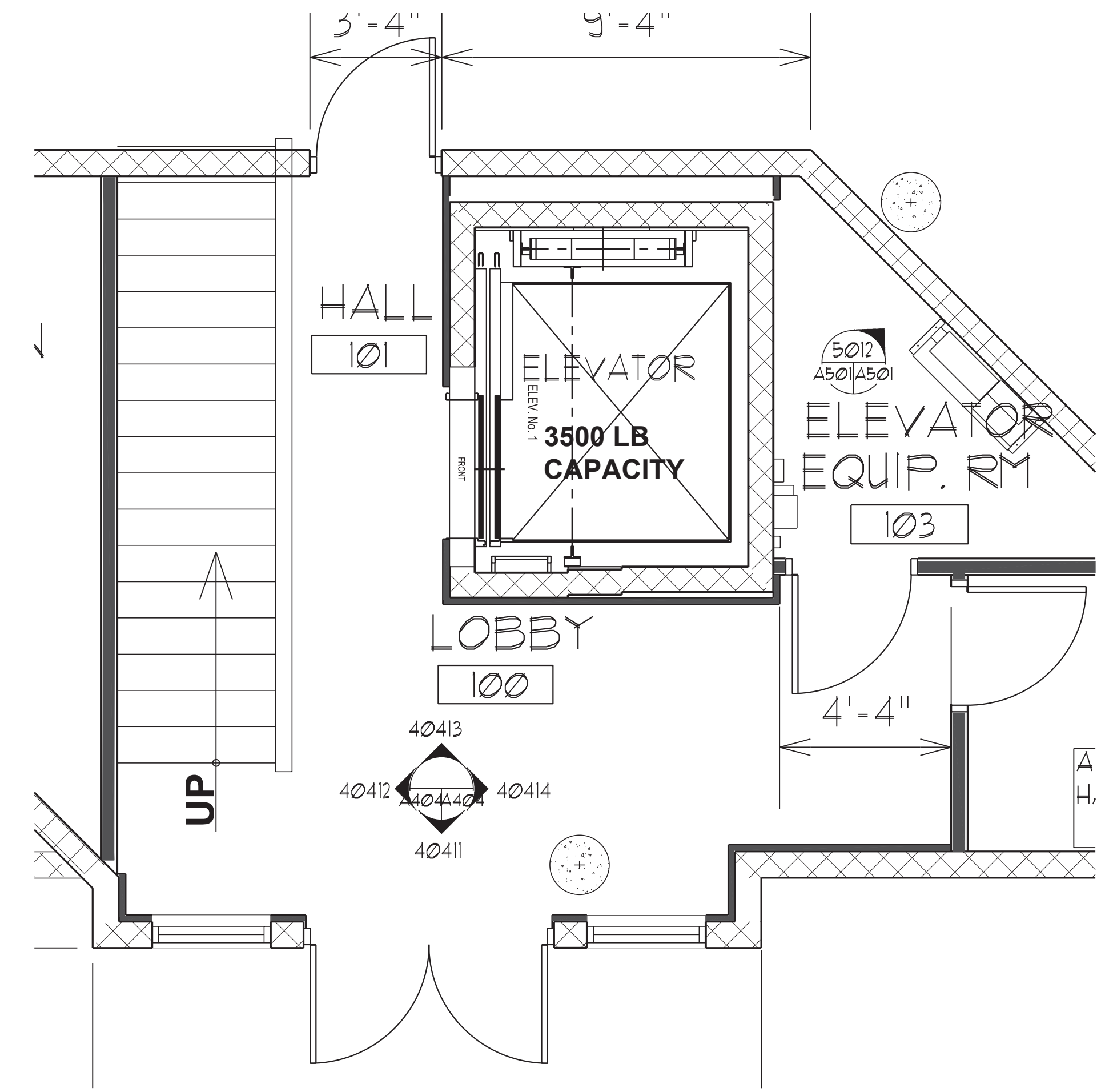
40414 LOBBY 100
 A4044404 3/8" = 1'-0"



40411 LOBBY 100
 A4044404 3/8" = 1'-0"

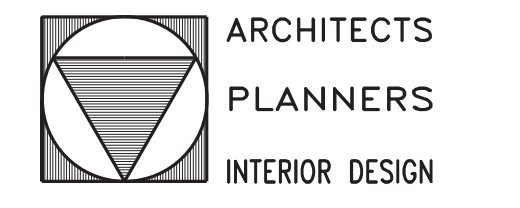


40412 LOBBY 100
 A4044404 3/8" = 1'-0"

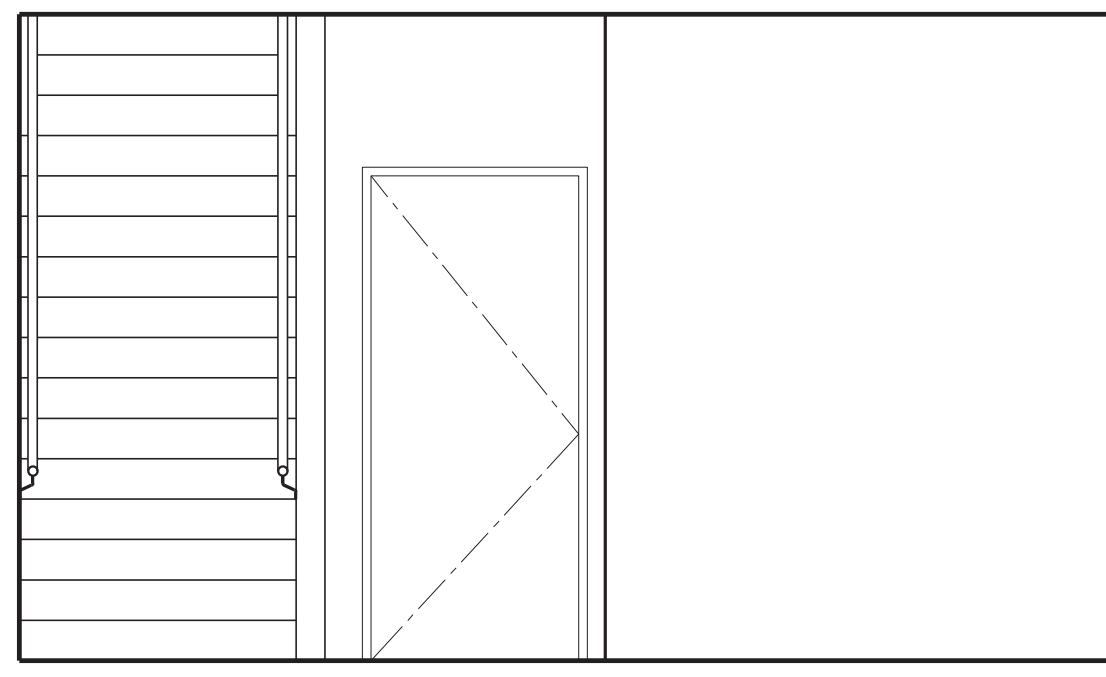


LOBBY -1st FLOOR
 3/8" = 1'-0"

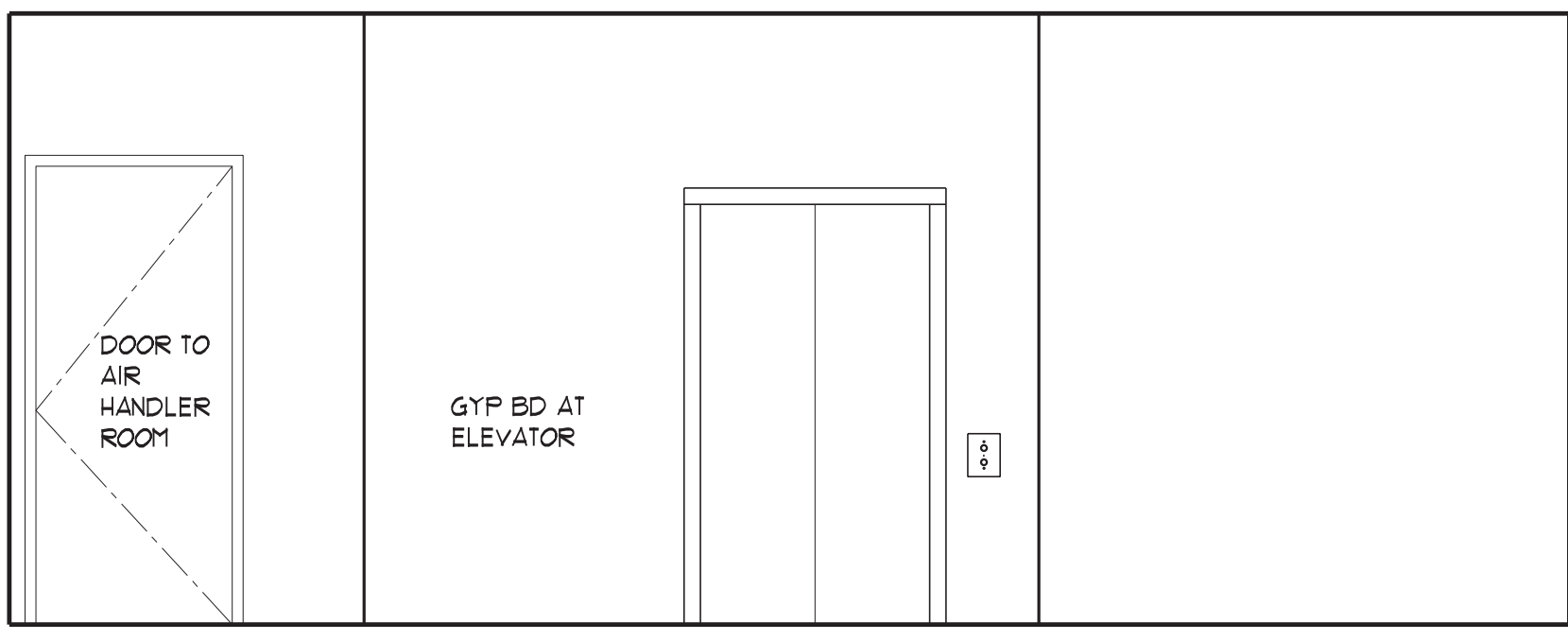
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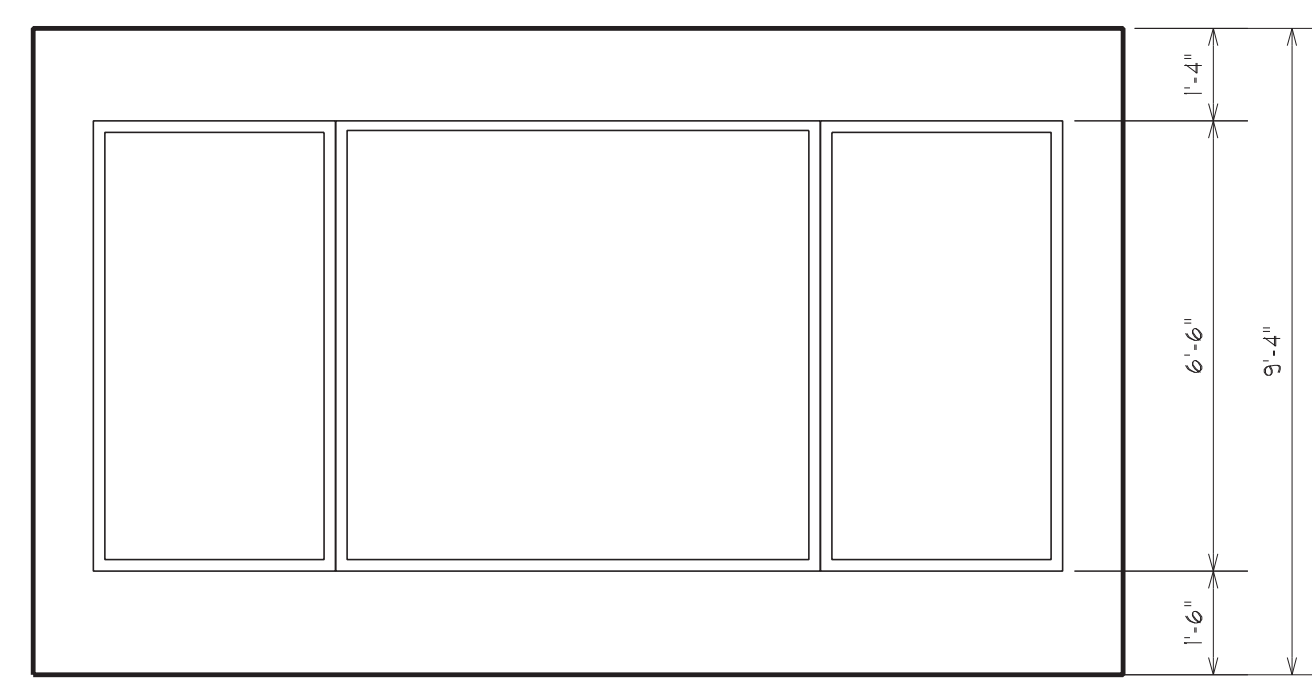
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 48064
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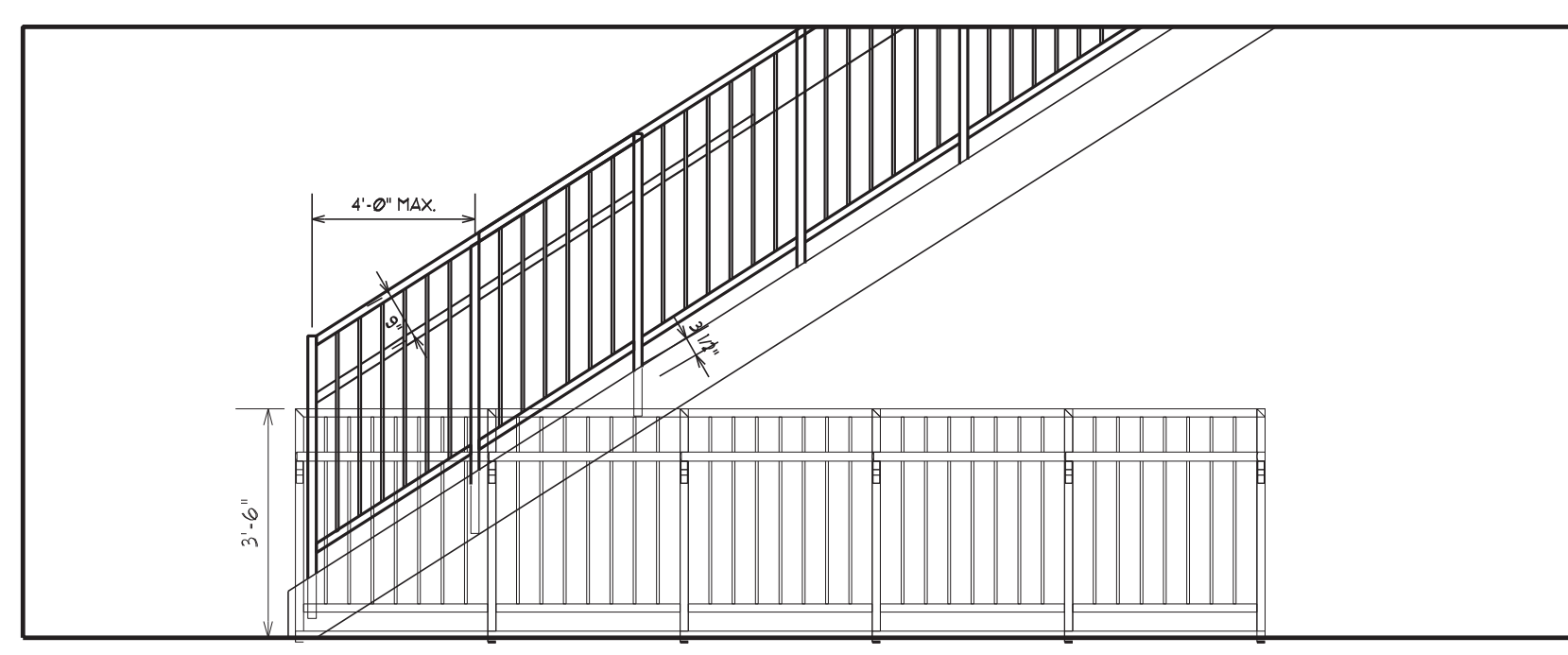
40525 LOBBY 400
 A405A4053/B' = 1'-0"



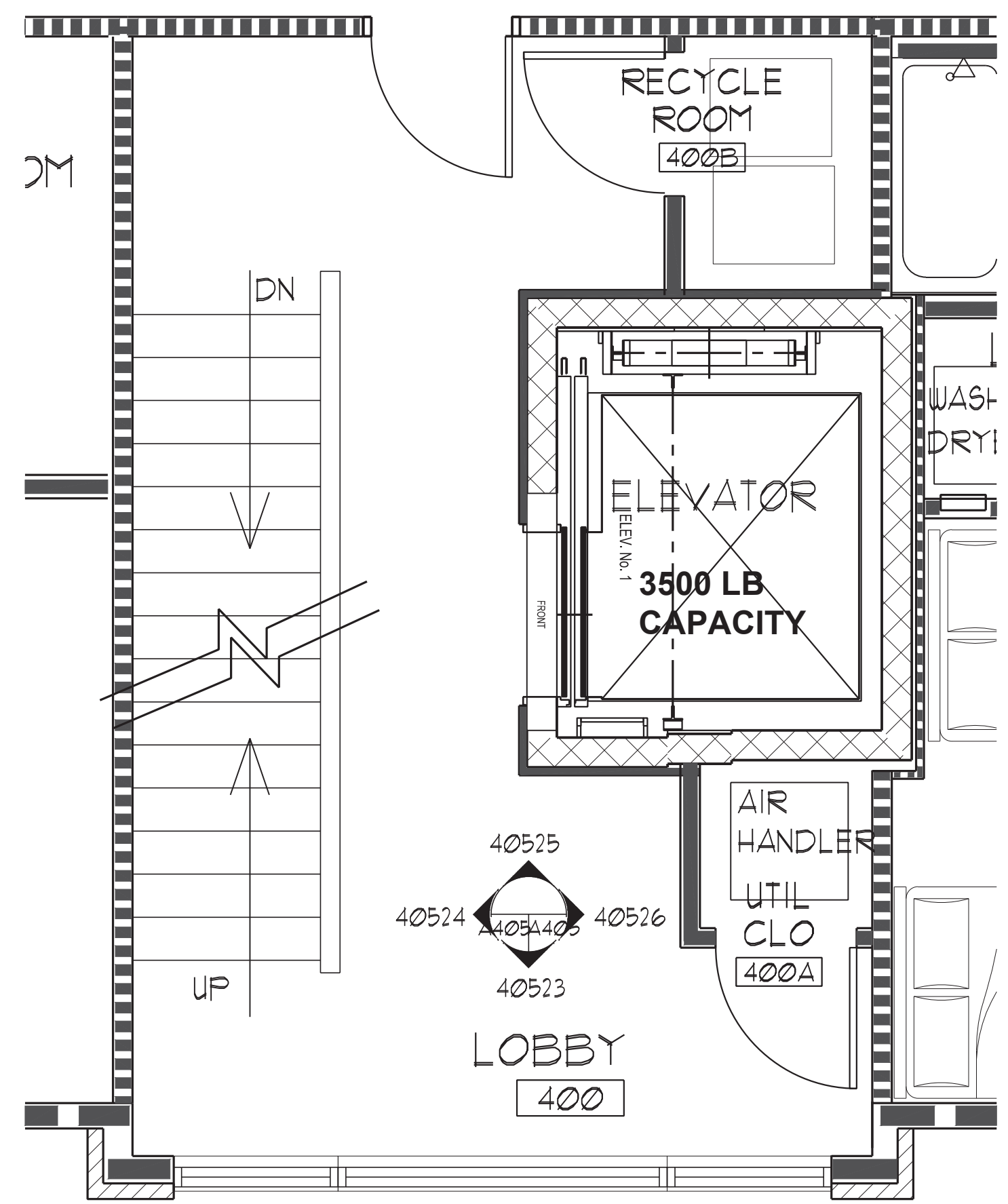
40526 LOBBY 400
 A405A4053/B' = 1'-0"



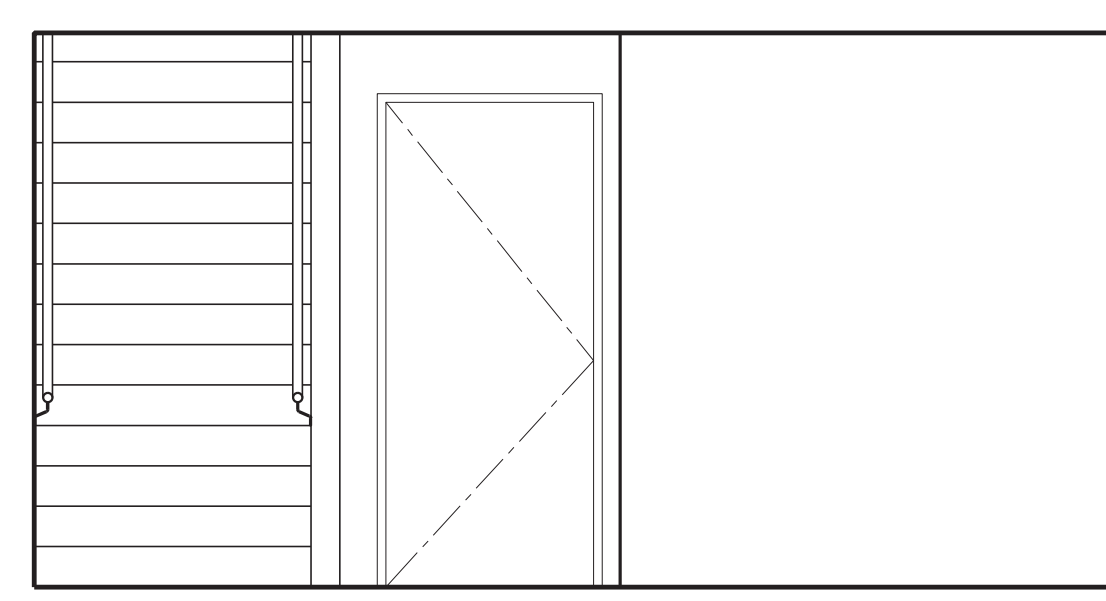
40523 LOBBY 400
 A405A4053/B' = 1'-0"



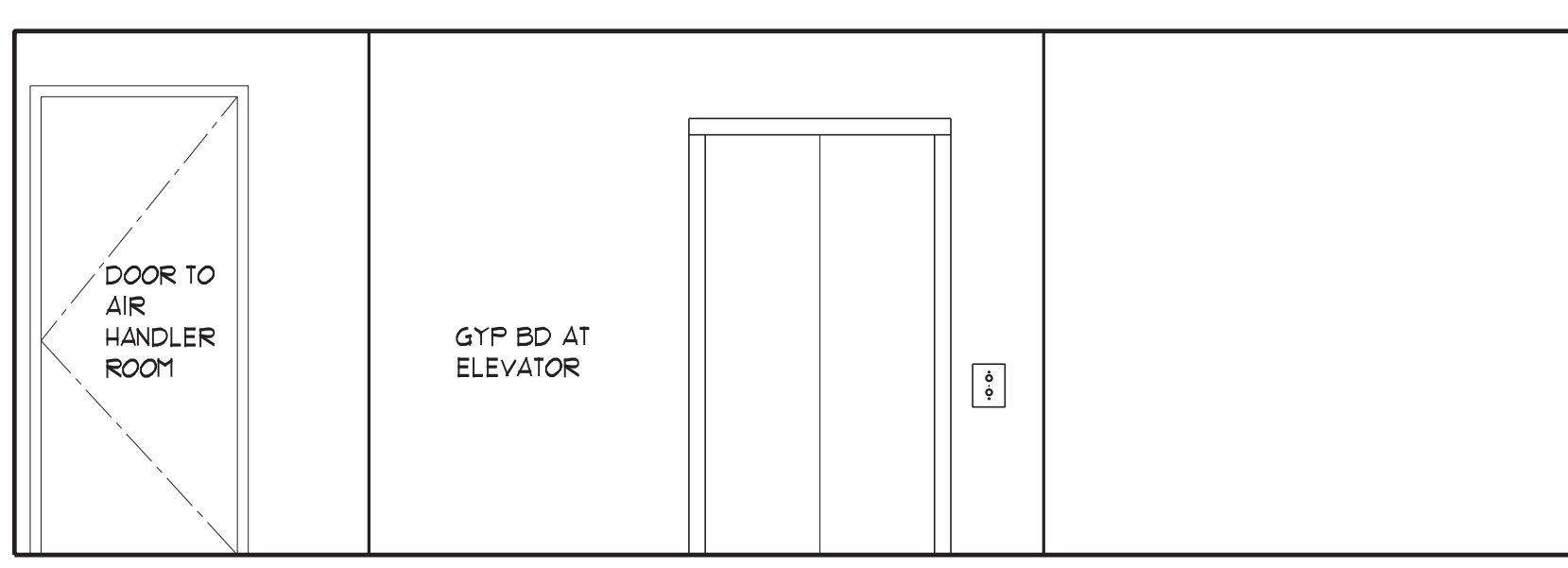
40524 LOBBY 400
 A405A4053/B' = 1'-0"



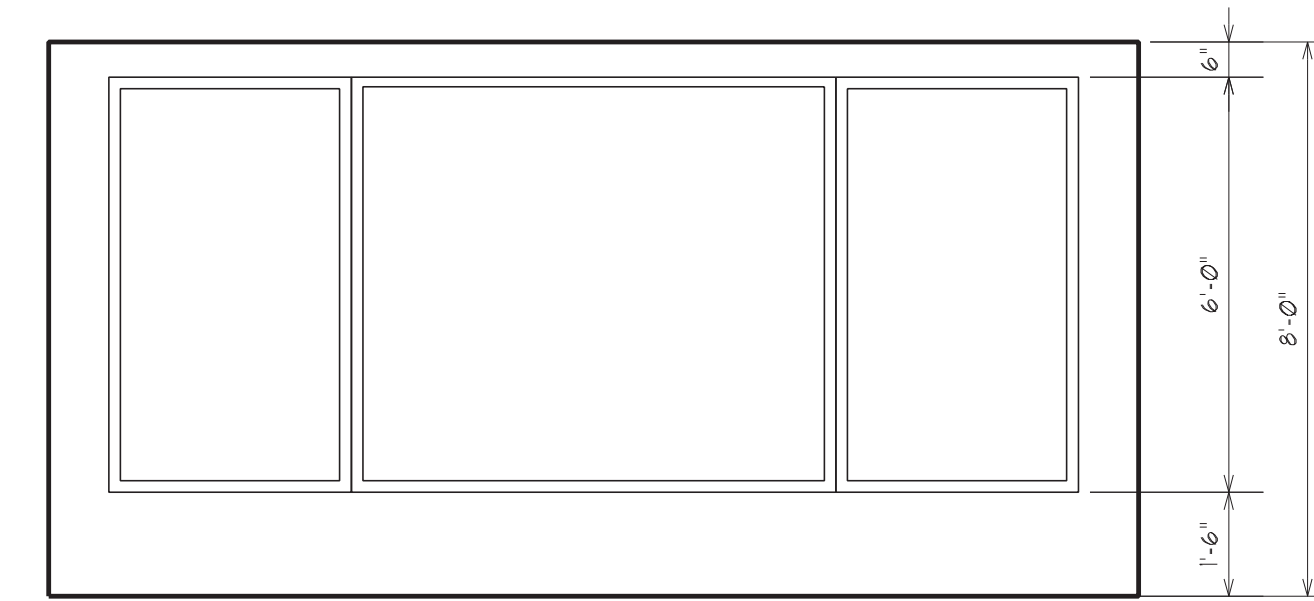
LOBBY - 4th FLOOR
 3/8" = 1'-0"



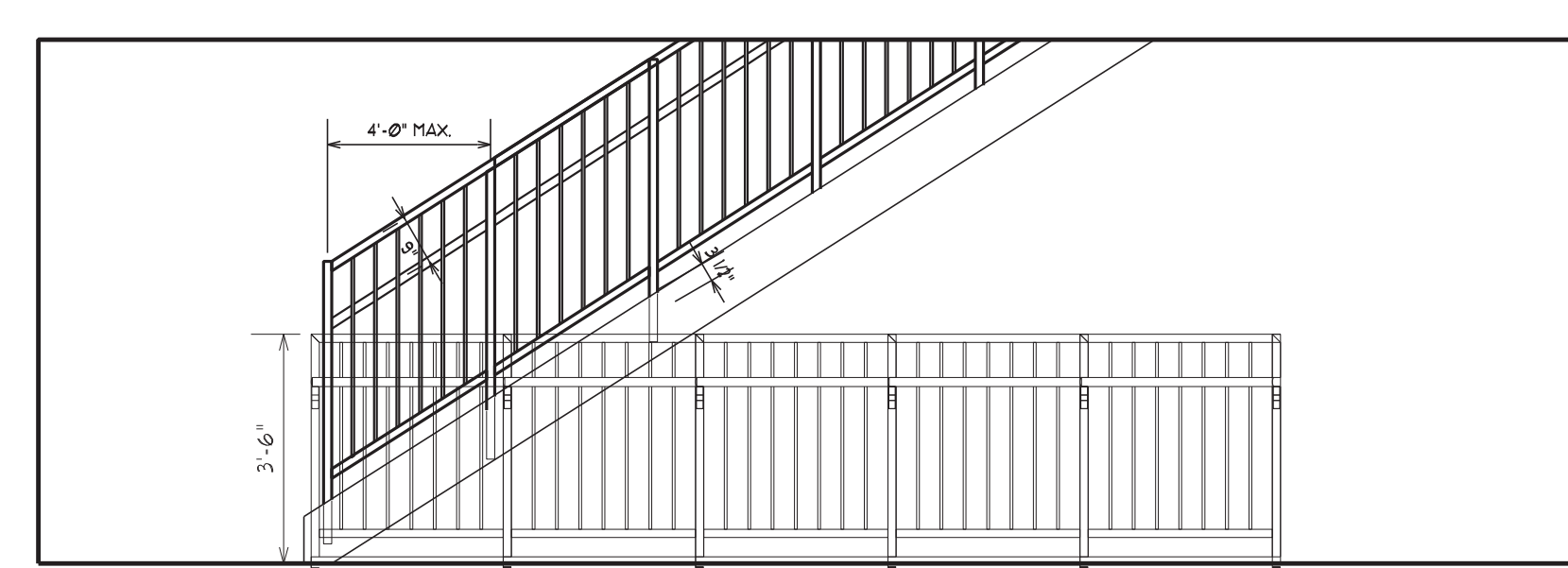
40521 LOBBY 300
 A405A4053/B' = 1'-0"



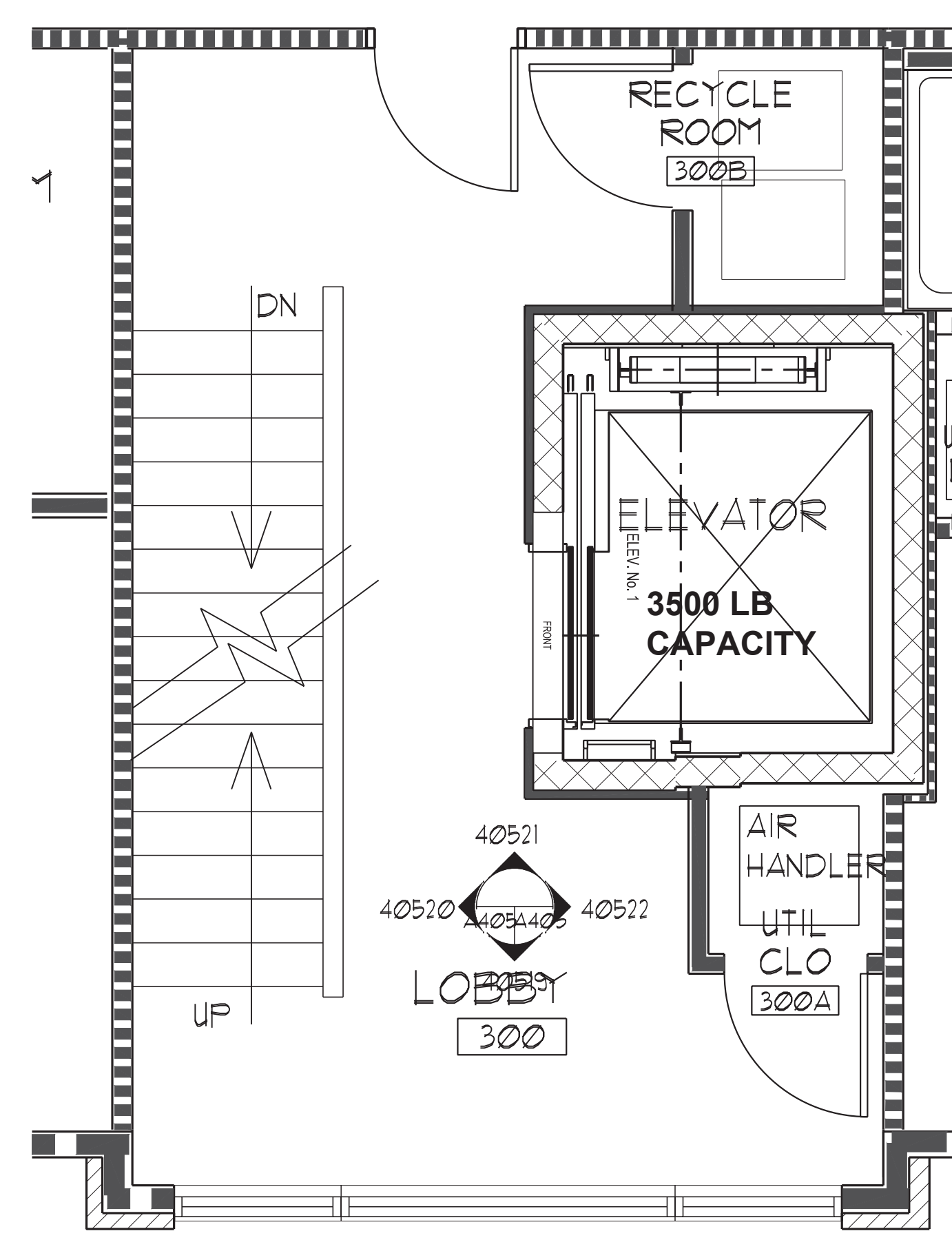
40522 LOBBY 300
 A405A4053/B' = 1'-0"



40519 LOBBY 300
 A405A4053/B' = 1'-0"



40520 LOBBY 300
 A405A4053/B' = 1'-0"



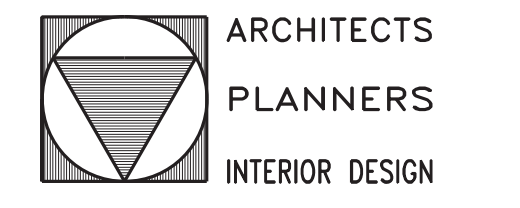
LOBBY - 3rd FLOOR
 3/8" = 1'-0"

MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN

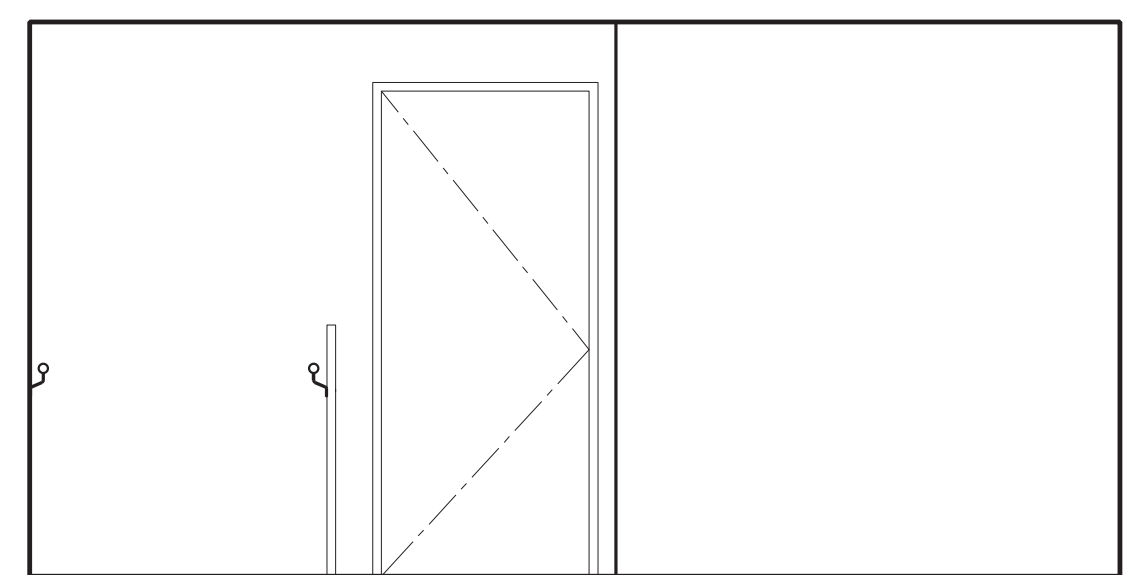
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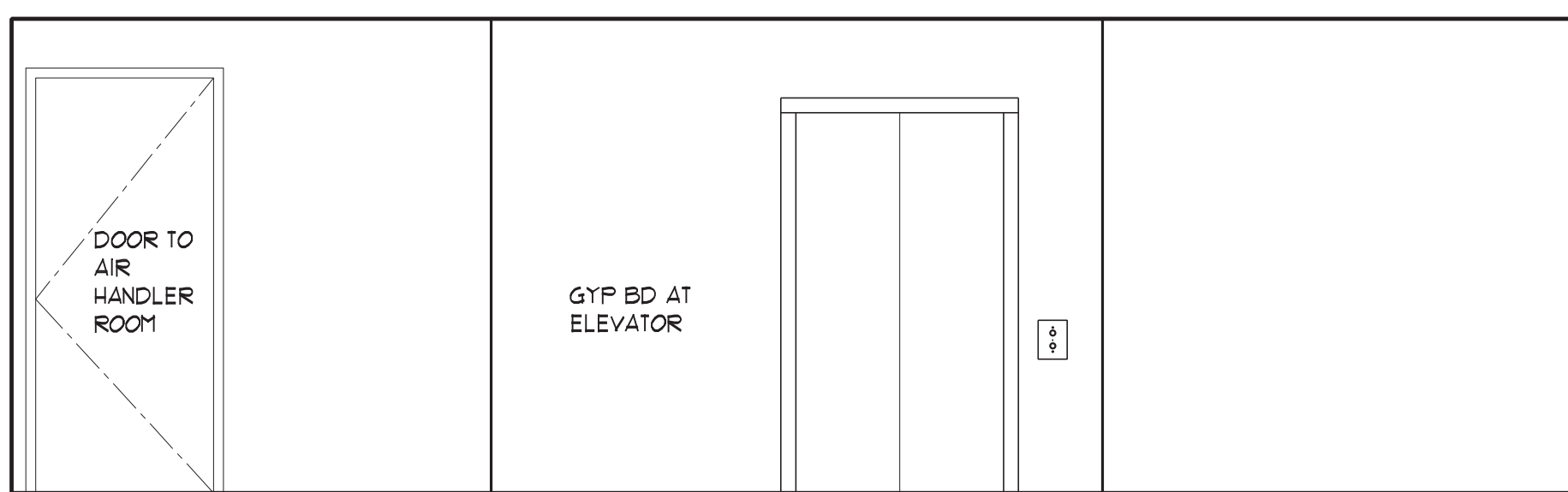
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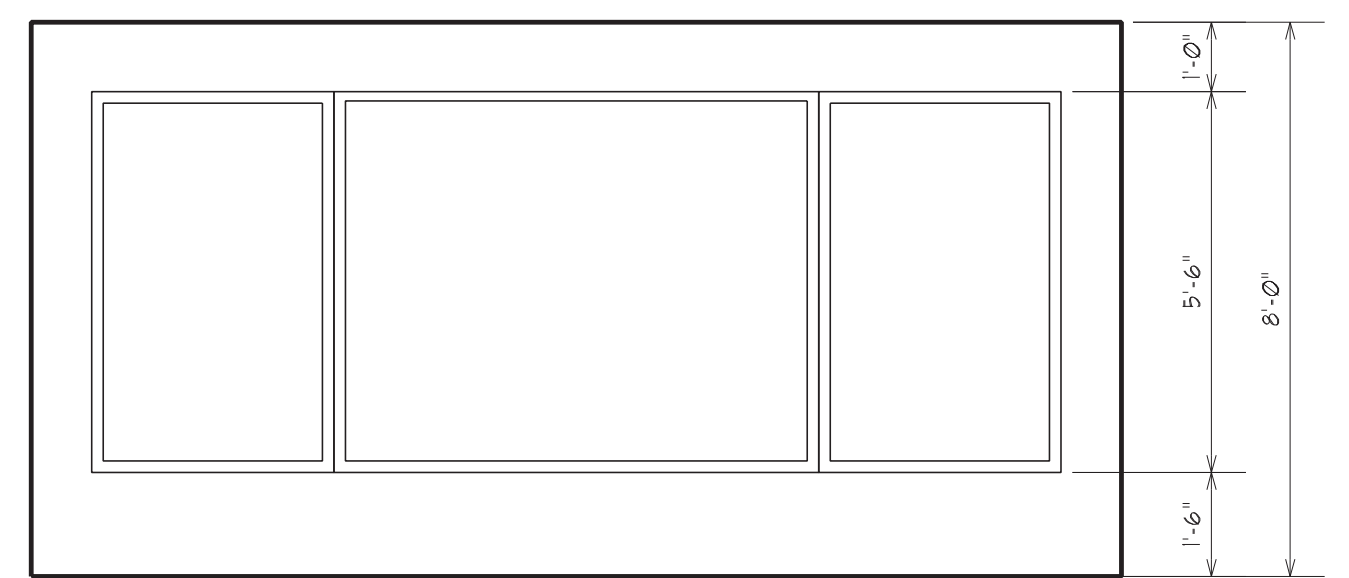
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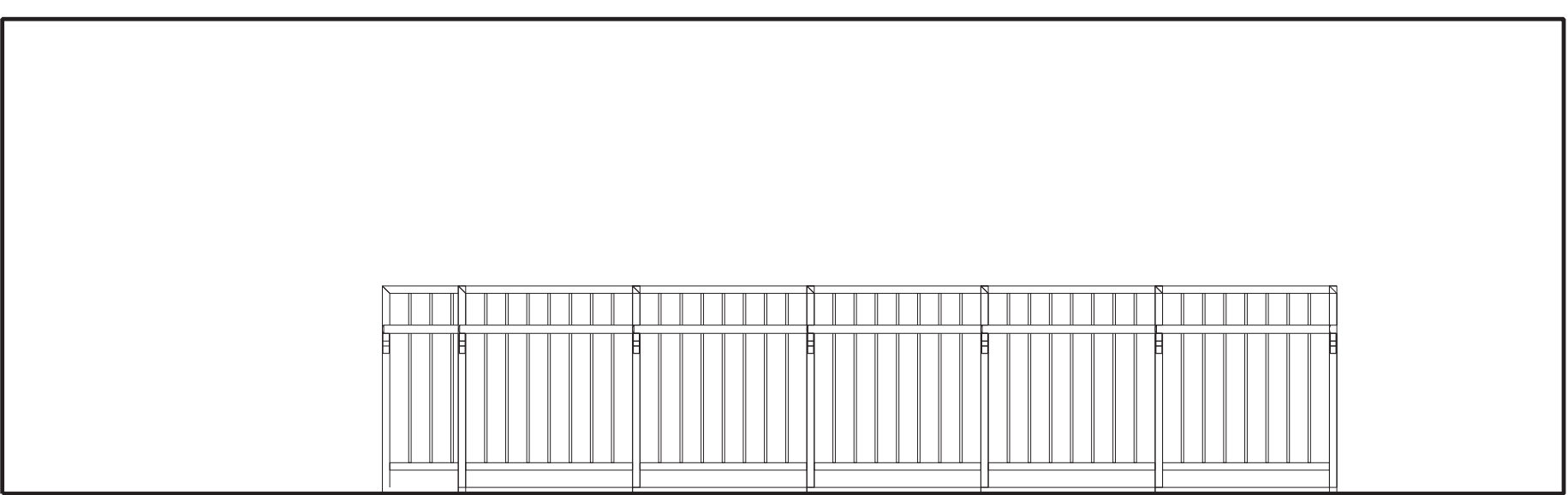
40629 LOBBY ROOF TERRACE
 A406440629/8" = 1'-0"



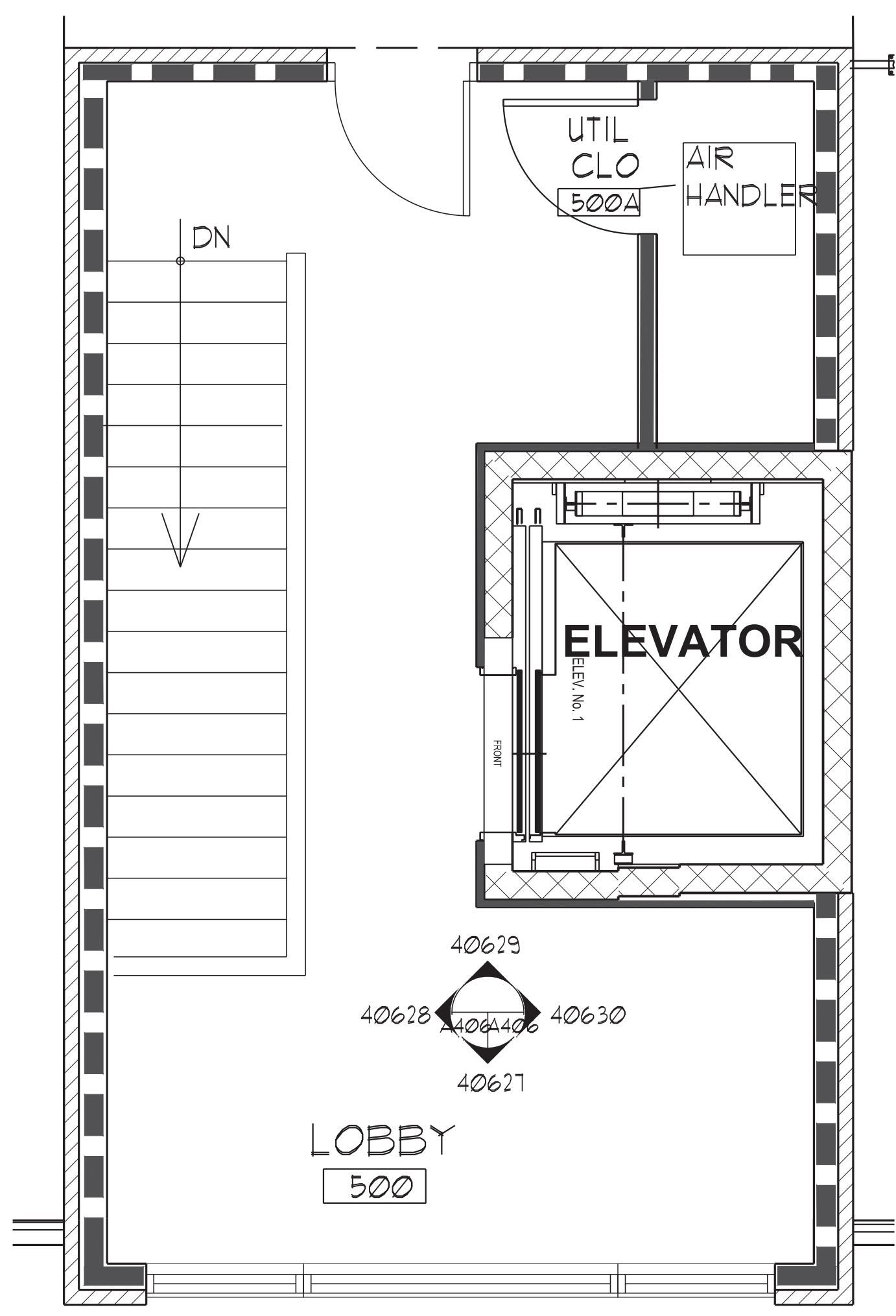
40630 LOBBY ROOF TERRACE
 A406440630/8" = 1'-0"



40627 LOBBY ROOF TERRACE
 A406440627/8" = 1'-0"



40628 LOBBY ROOF TERRACE
 A406440628/8" = 1'-0"



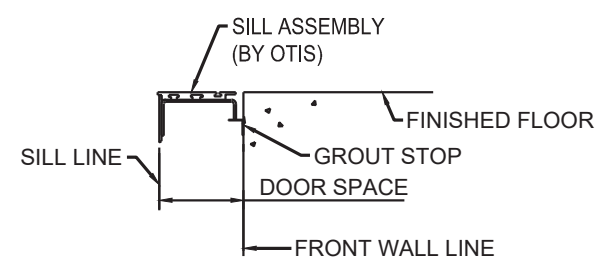
LOBBY - ROOF TERRACE

3/8" = 1'-0"

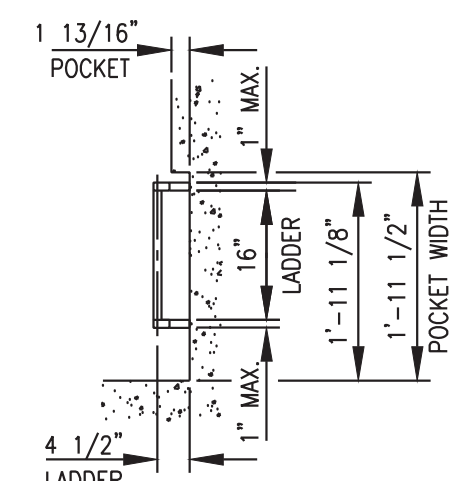
MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
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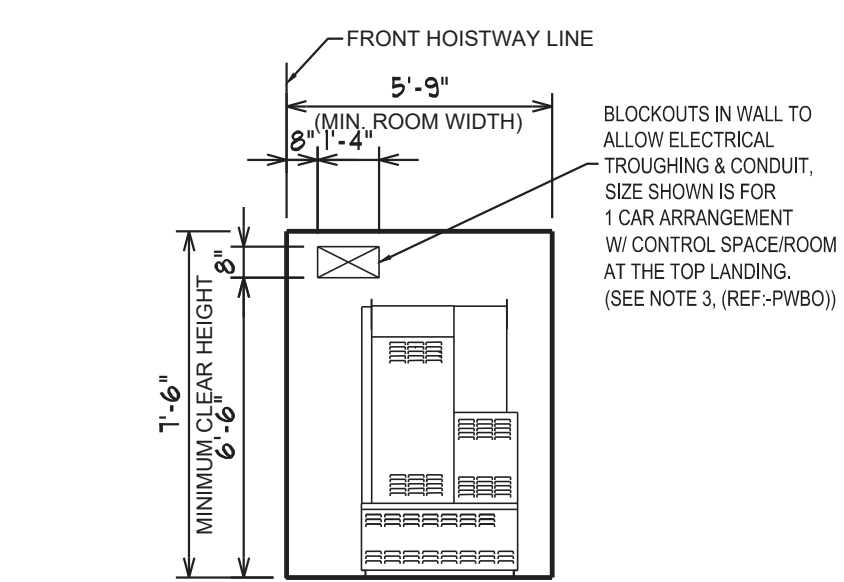
SHEET# A4.06
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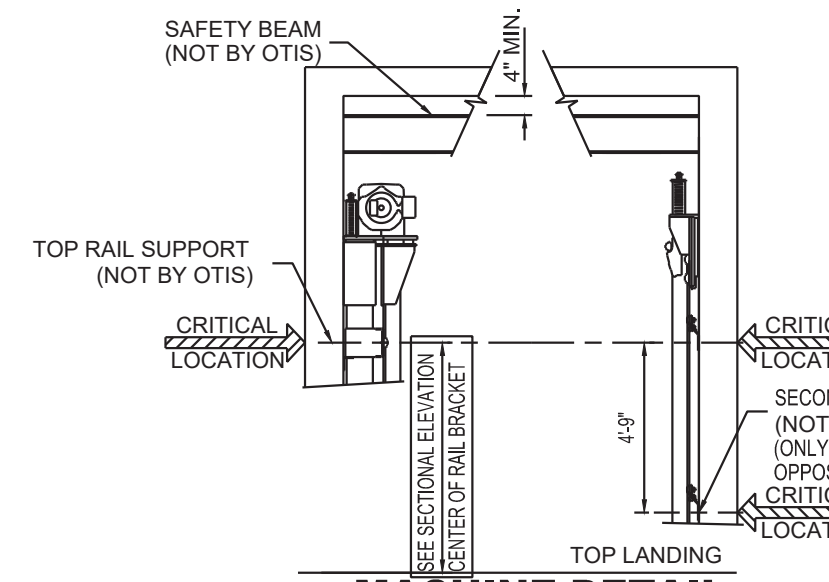
**DETAIL "A"
SILL SUPPORT**
ADEQUATE SUPPORT AT ALL FASTENING POINTS OF ENTRANCE ASSEMBLY REQUIRED. MUST WITHSTAND A HORIZONTAL PULL-OUT FORCE OF 140 LBS. @ EA. FASTENING POINT (8 @ EA. ENTRANCE) INCLUDING SUPPORT FOR CENTER SILL SUPPORT BRACKET (NOT BY OTIS).



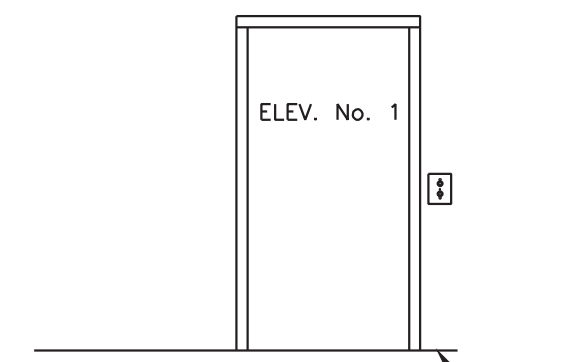
LADDER AND POCKET DETAIL
ELEV. No. 1



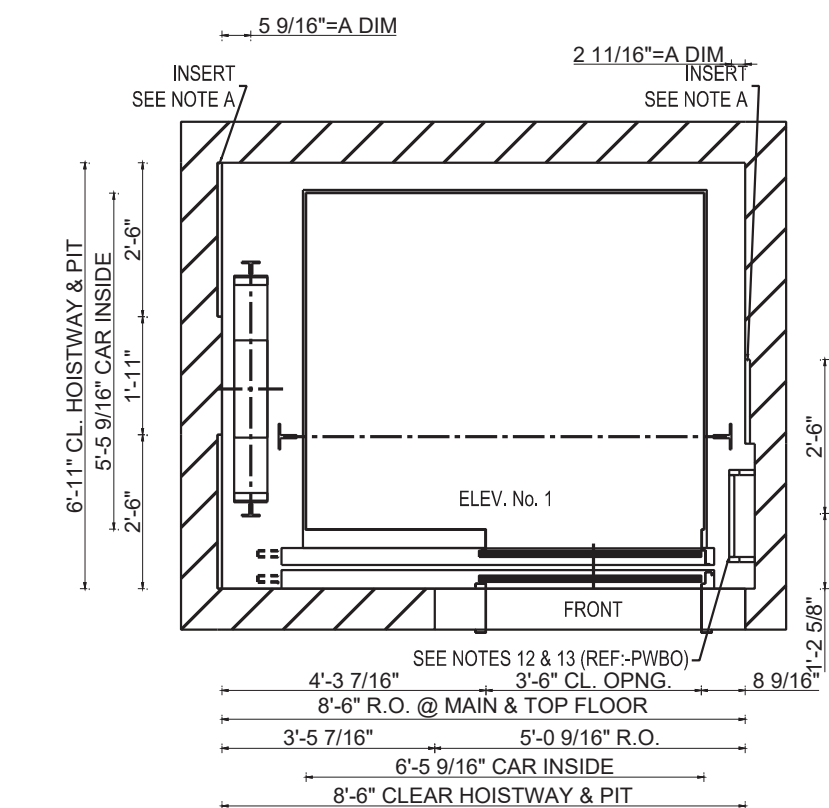
EQUIPMENT ROOM INTERIOR ELEVATION
5012
A501A501M 1'-0"



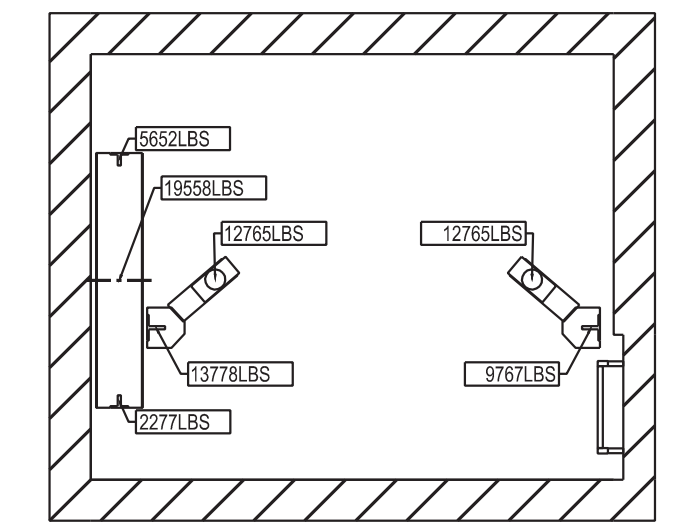
MACHINE DETAIL
**ALL LOCATION DIMENSIONS TO FOLLOW A TOLERANCE OF +1/4"



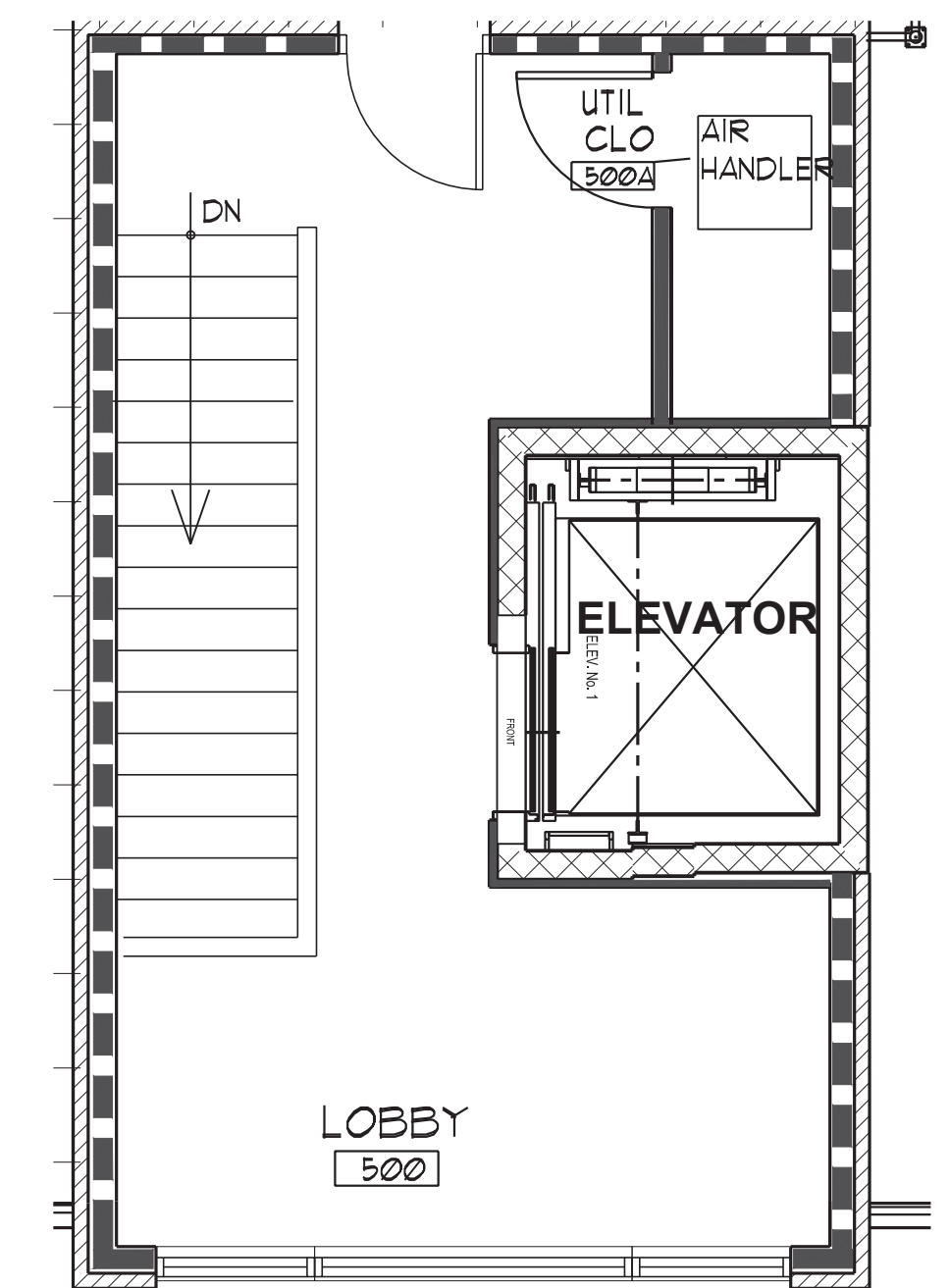
HALL FIXTURE DETAIL
① HALL BUTTONS @ ALL FLOORS



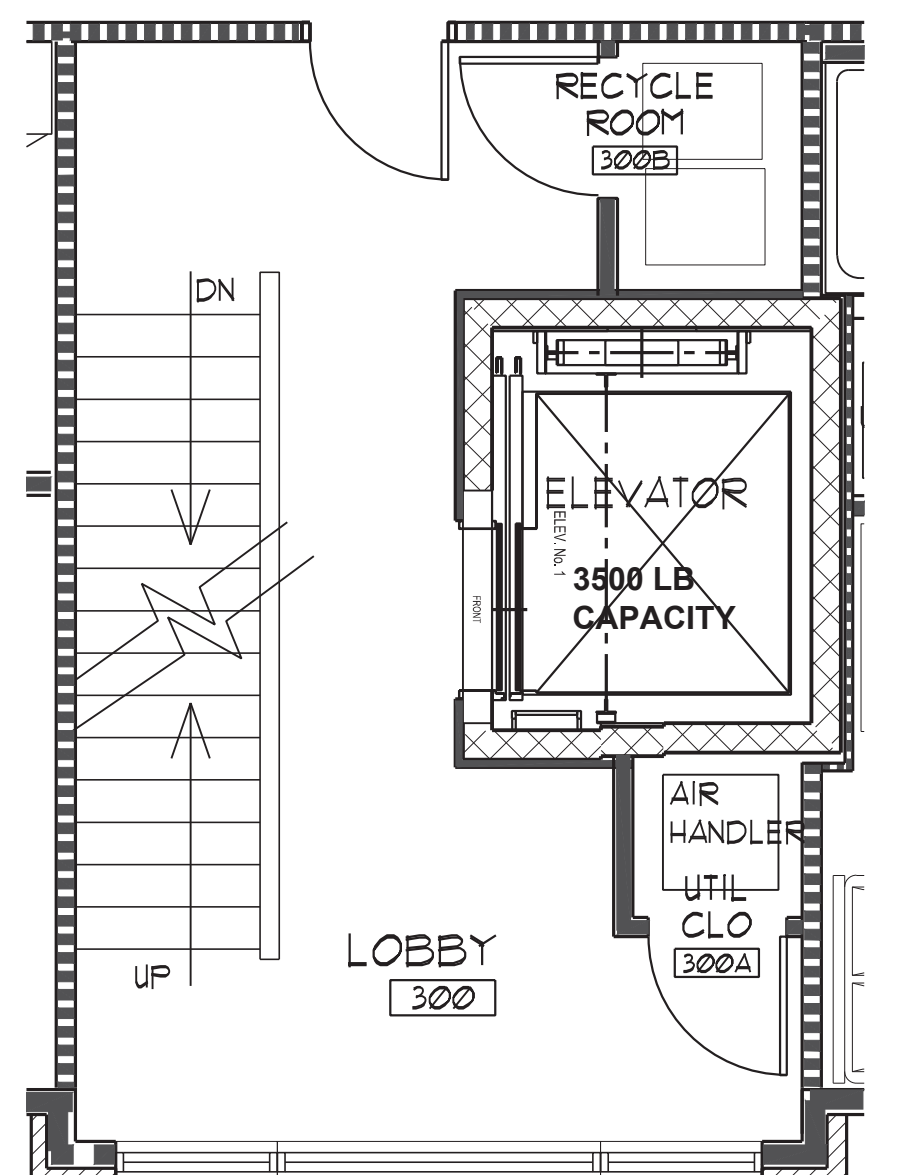
ELEVATOR PLAN
1/8" = 1'-0"



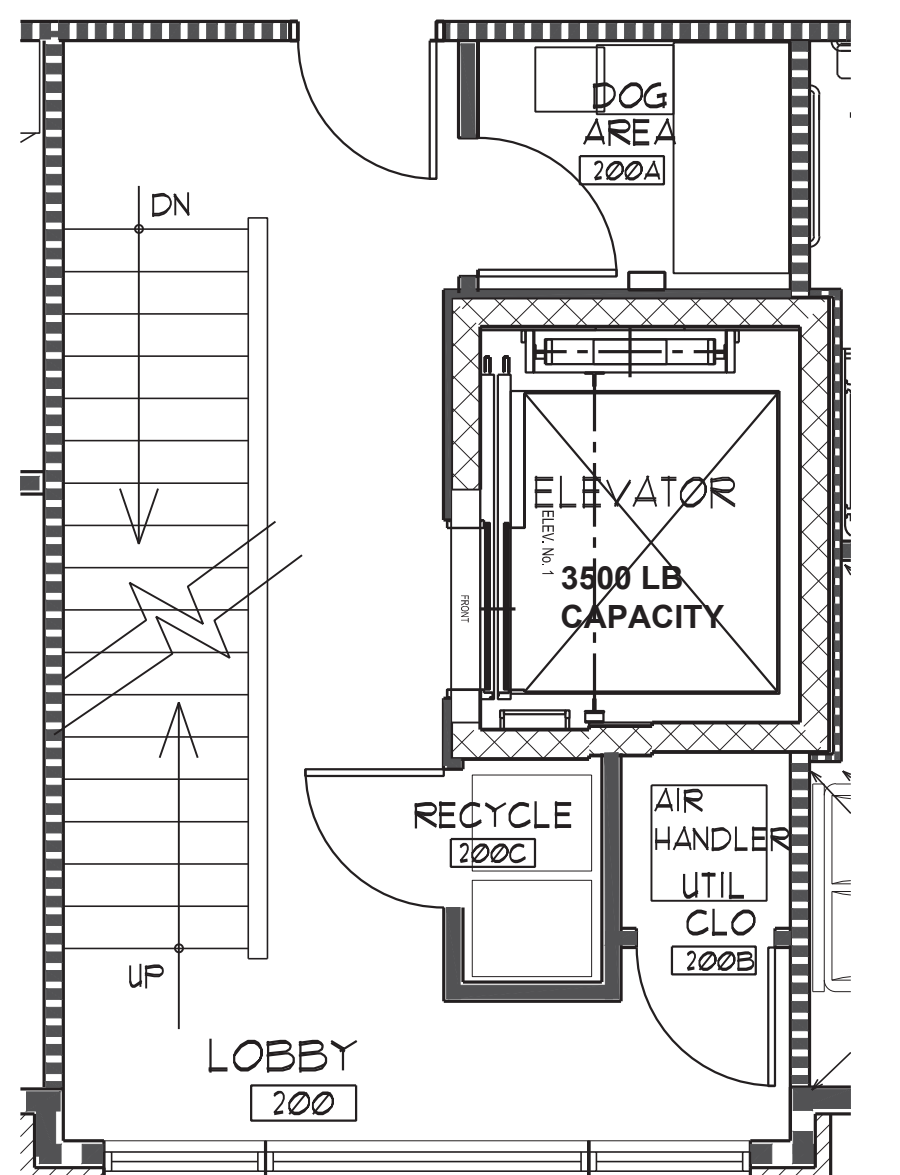
ELEVATOR PIT PLAN
1/8" = 1'-0"



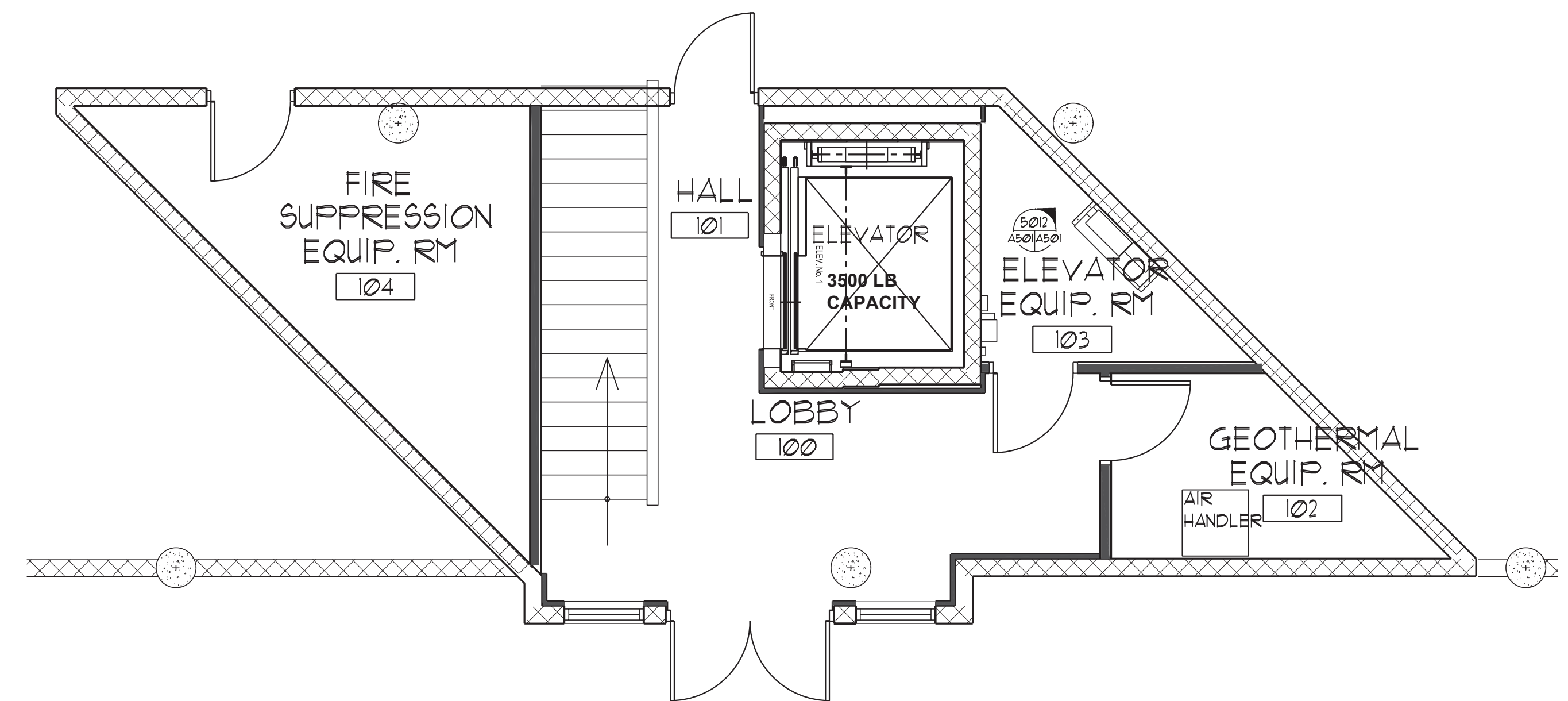
ROOF ELEVATOR PLAN
1/4" = 1'-0"



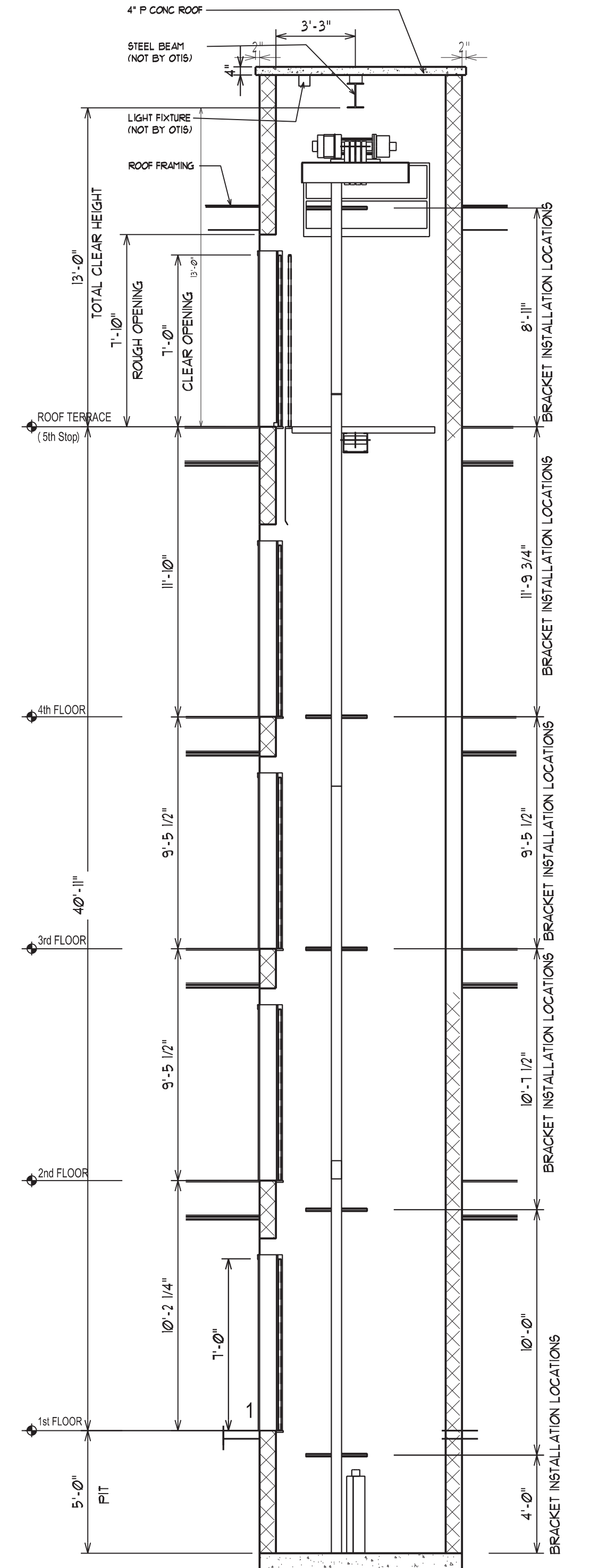
3rd & 4th FLOOR ELEVATOR PLAN
1/4" = 1'-0"



2nd FLOOR ELEVATOR PLAN
1/4" = 1'-0"



ELEVATOR GROUND FLOOR PLAN
1/4" = 1'-0"



ELEVATOR SECTION
3/8" = 1'-0"

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PLANNERS
INTERIOR DESIGN**

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SUITE 104-B
TROY, MICHIGAN 48064

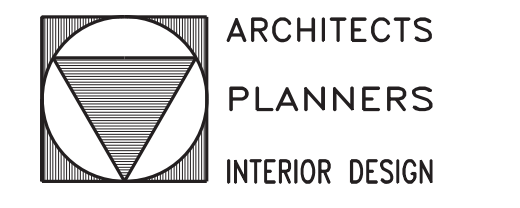
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FAX: 248-654-3002
SCOTT@SMAARCH.COM

MERRILL PLACE - APARTMENTS
PHASE I
1312 SEWARD
DETROIT, MICHIGAN

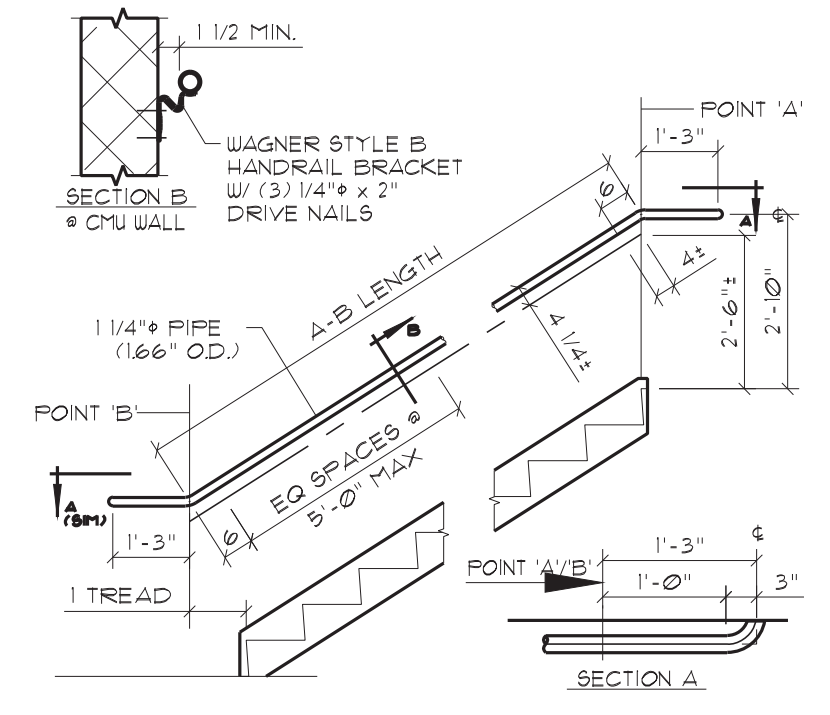
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15 APRIL 2020
RE-BID SET

SHEET# A5.01
DATE: 15 APRIL 2020
JOB# 13054

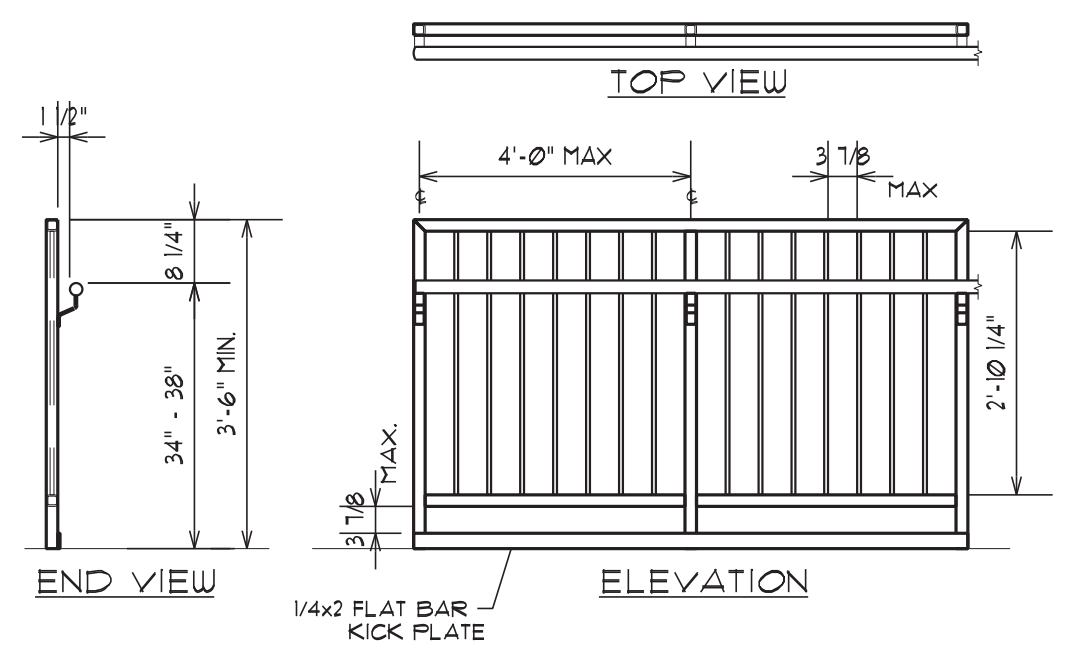
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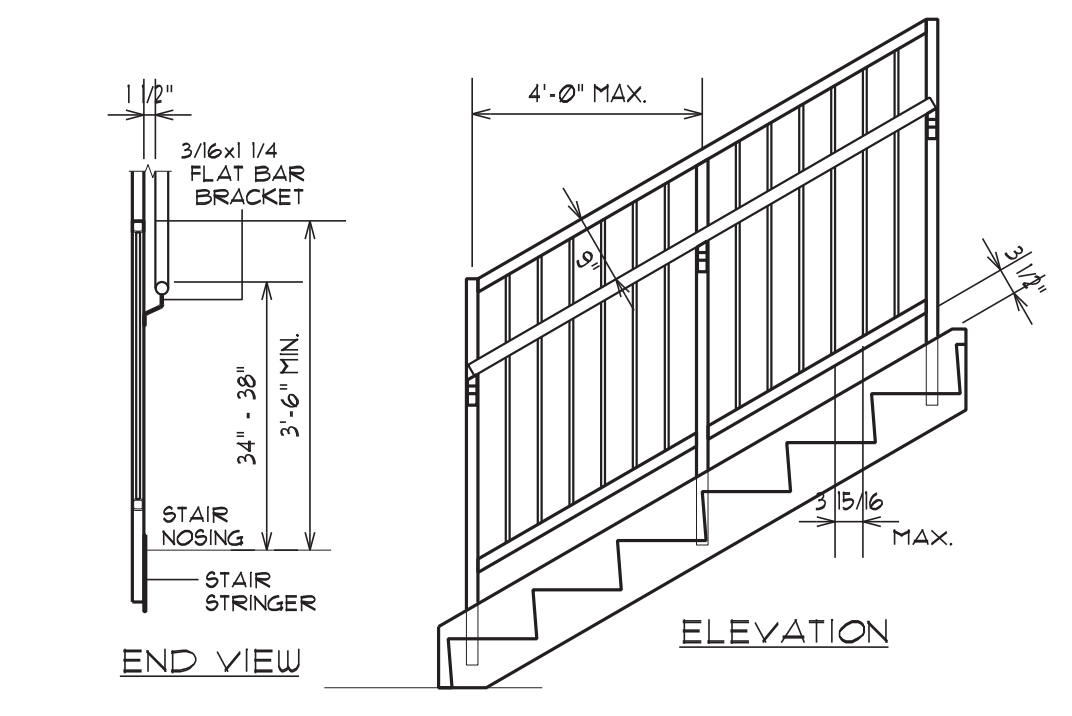
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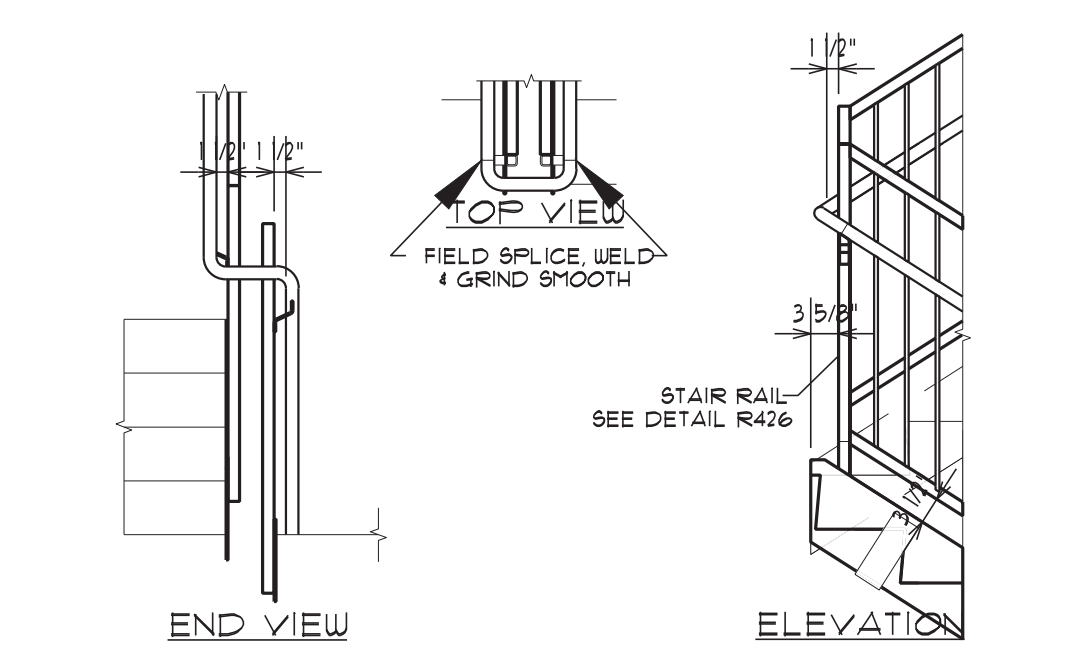
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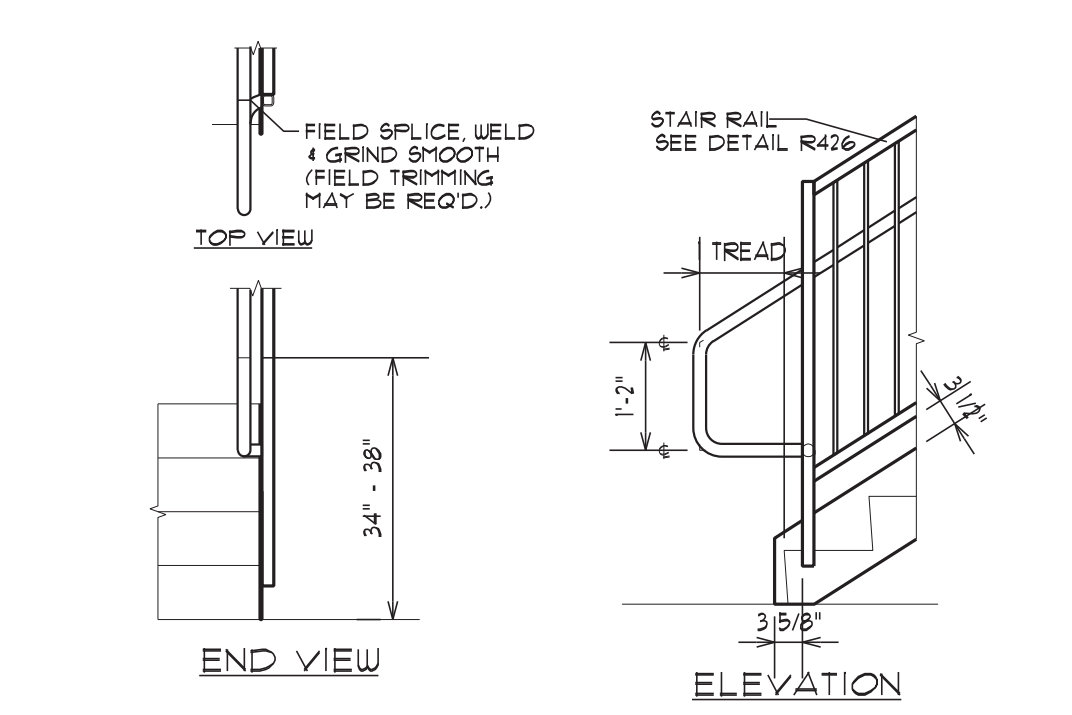
5028 RAILING DETAIL
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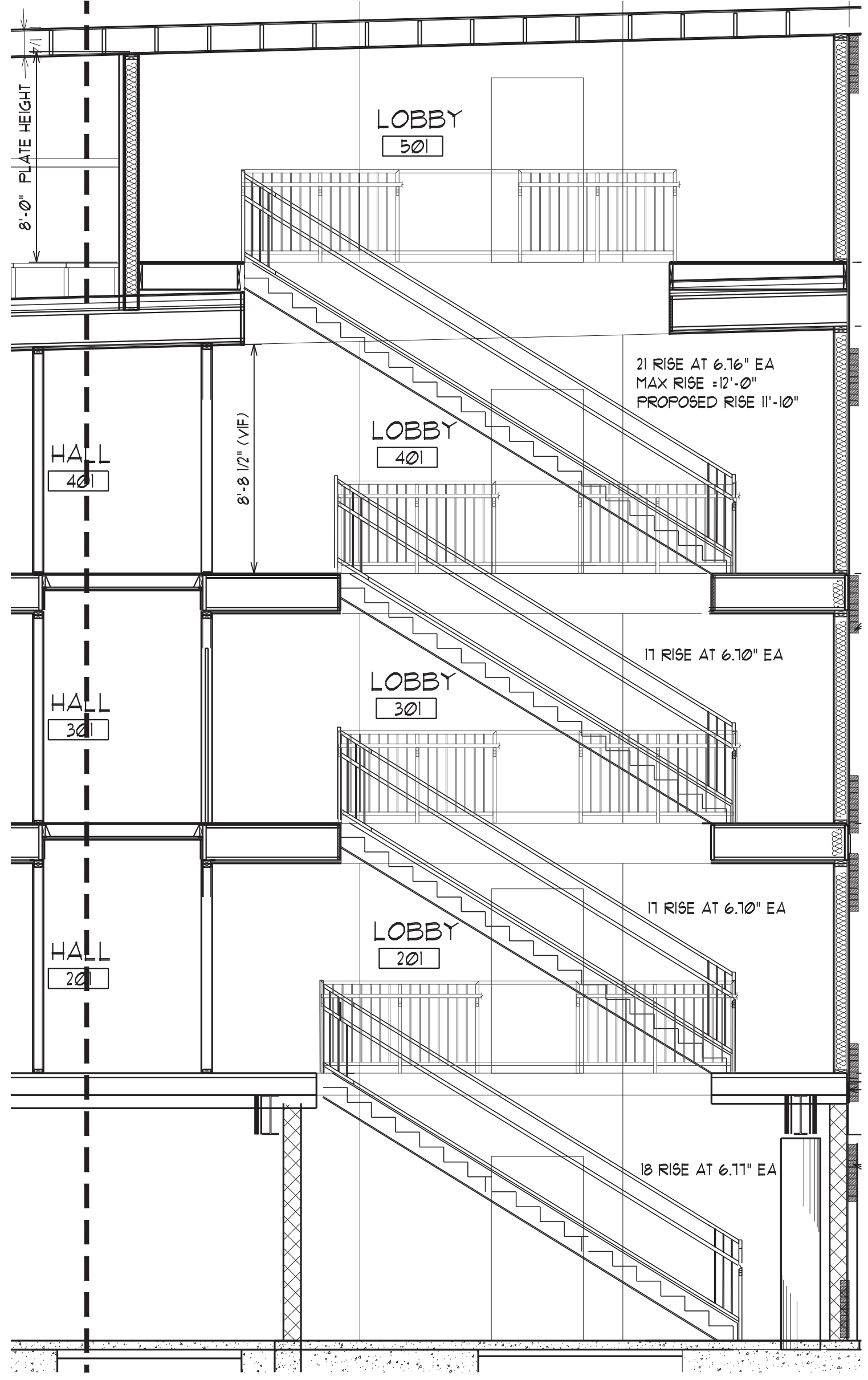
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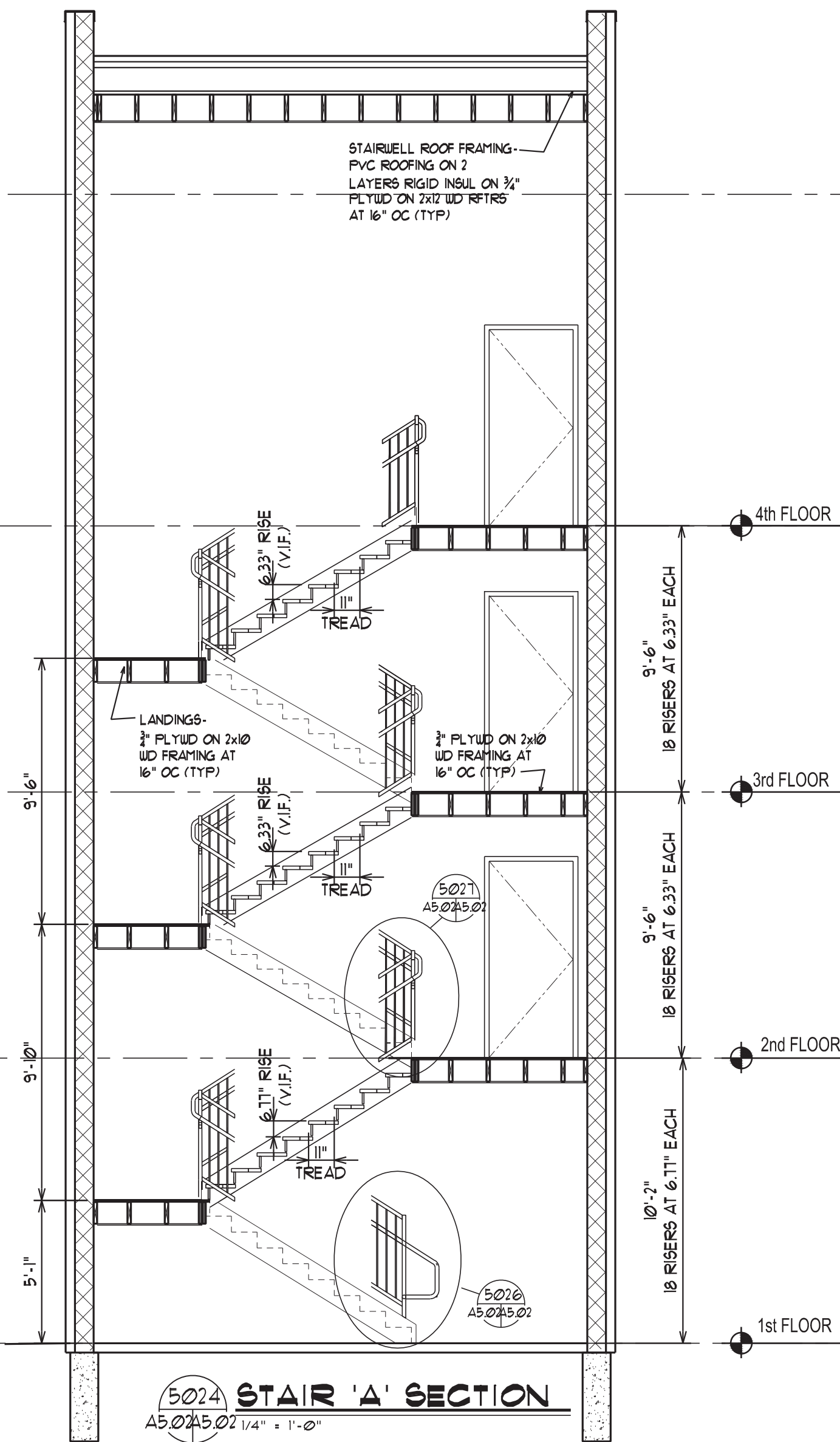
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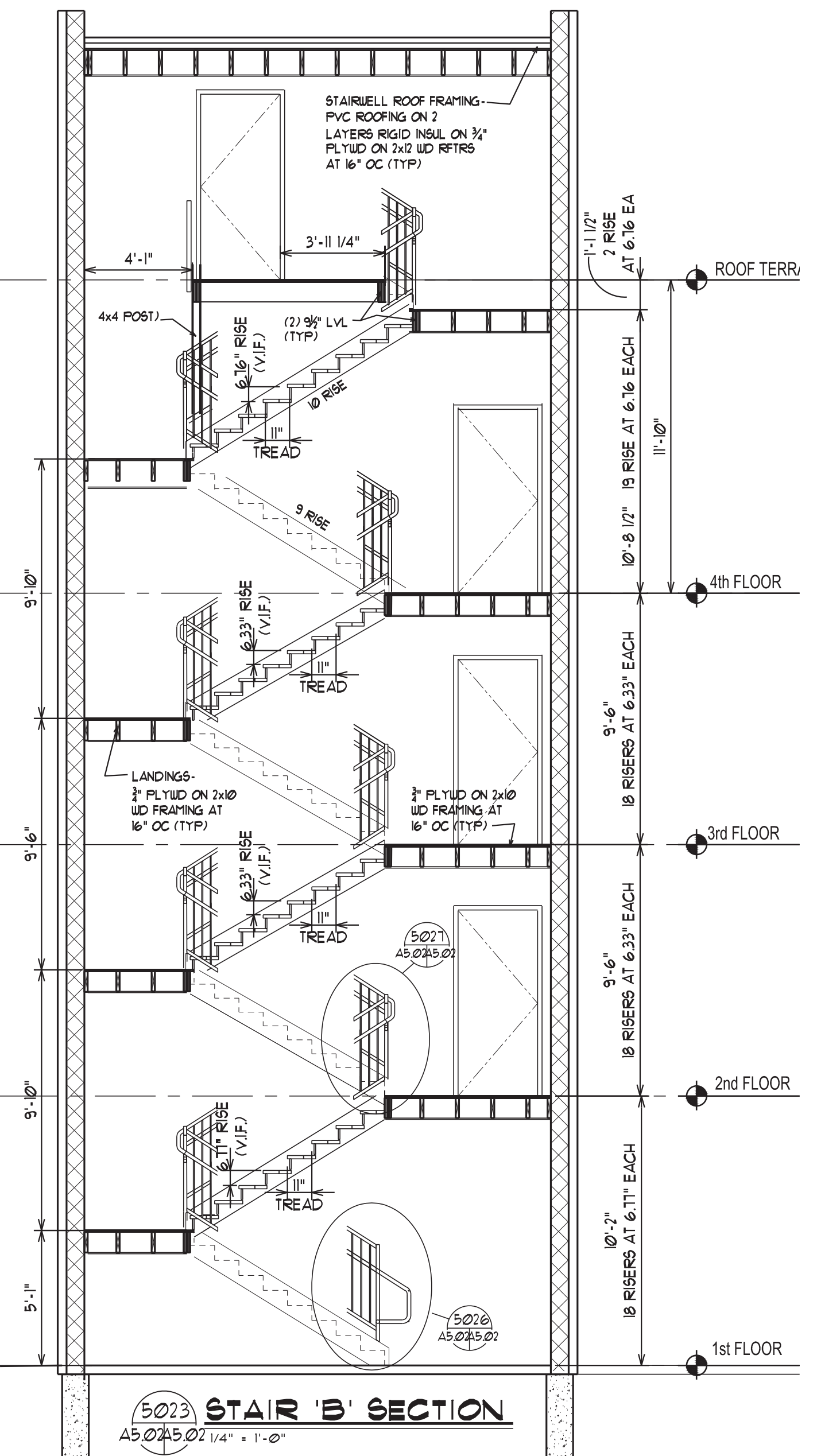
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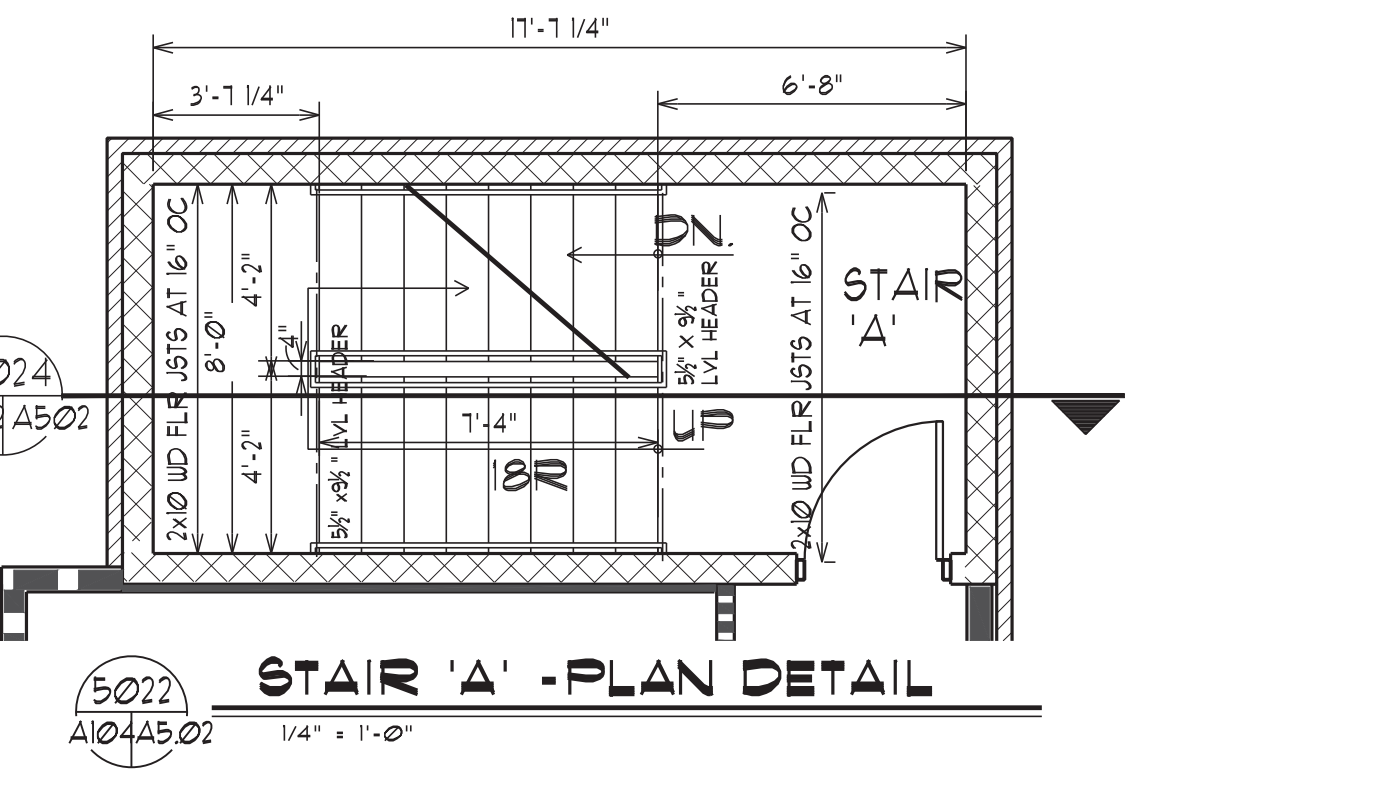
5025 LOBBY STAIR SECTION
 A3.01A5.02 1/4\"/>



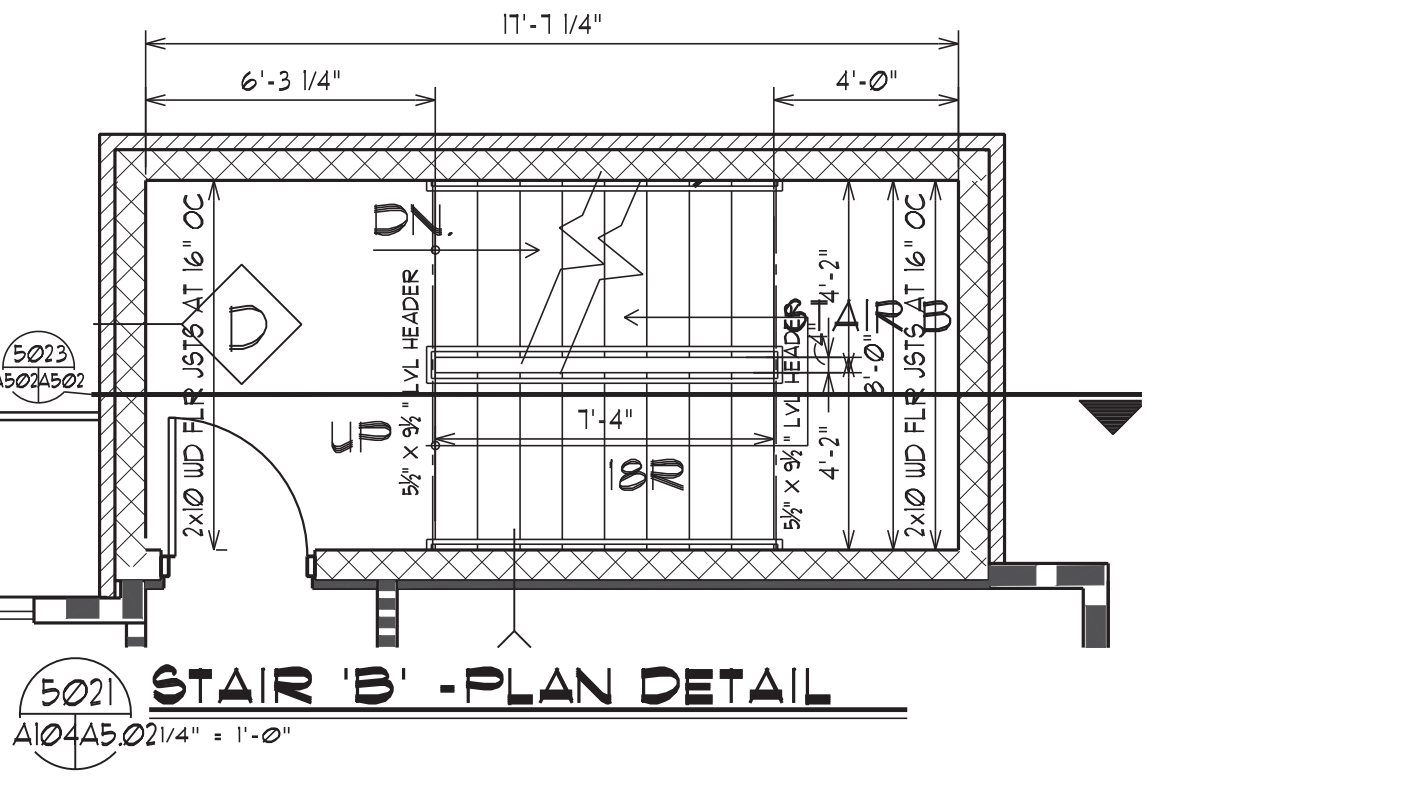
5024 STAIR 'A' SECTION
 A5.02A5.02 1/4\"/>



5023 STAIR 'B' SECTION
 A5.02A5.02 1/4\"/>



5022 STAIR 'A' - PLAN DETAIL
 A1.04A5.02 1/4\"/>

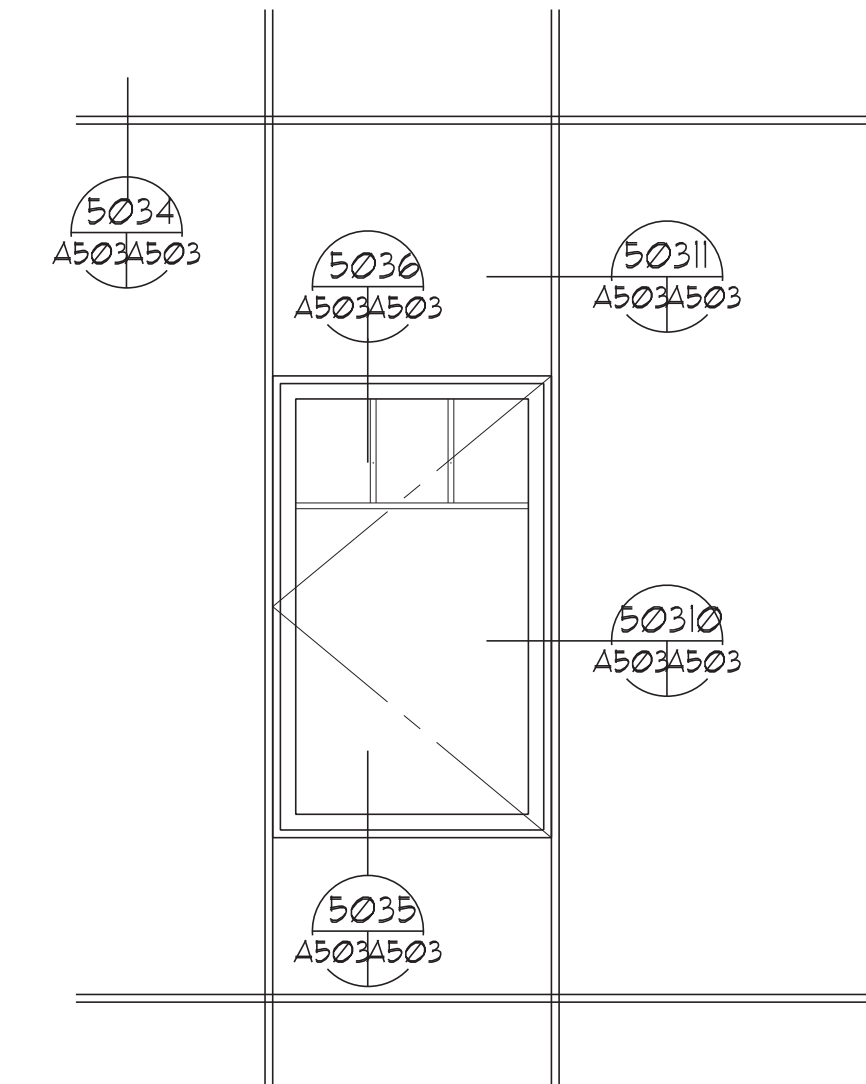


5021 STAIR 'B' - PLAN DETAIL
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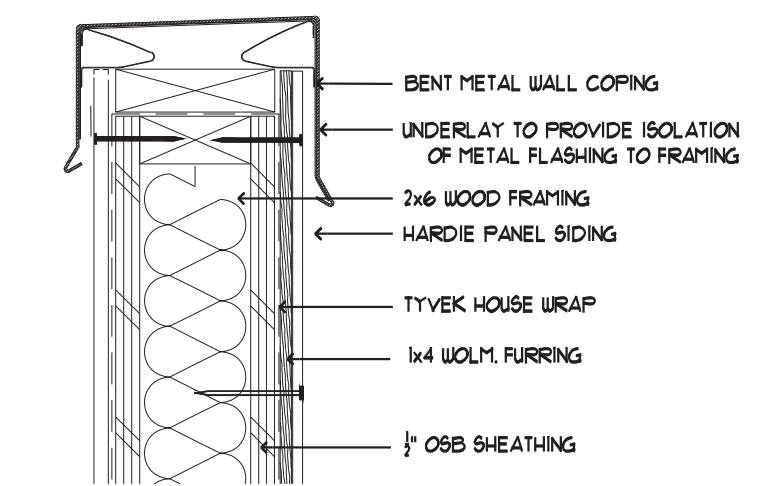
MERRILL PLACE - APARTMENTS
 PHASE I
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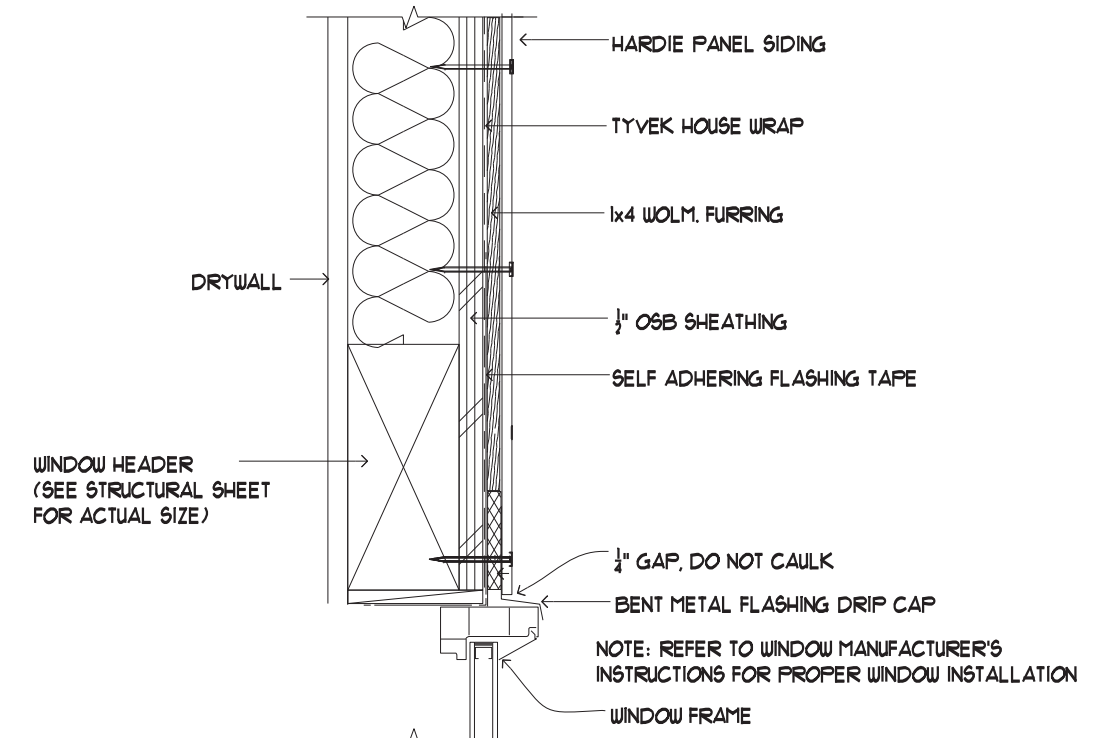
SHEET# A5.02
 DATE: 15 APRIL 2020
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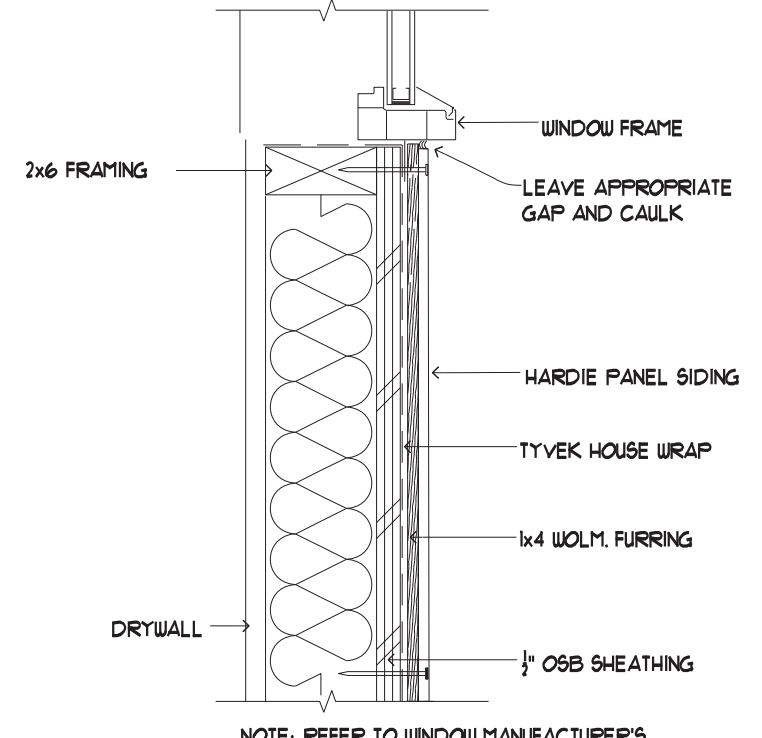
ENLARGED HARDIE PANEL ELEVATION
 1/2" = 1'-0"



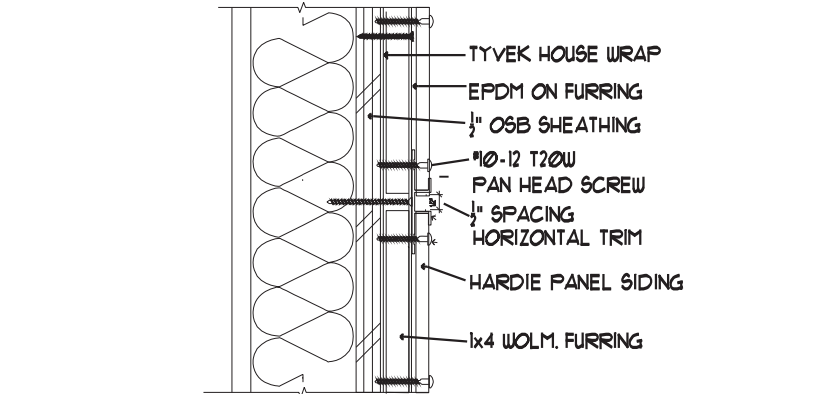
5031 PARAPET WALL COPING
 A5.03A5.03 1" = 1'-0"



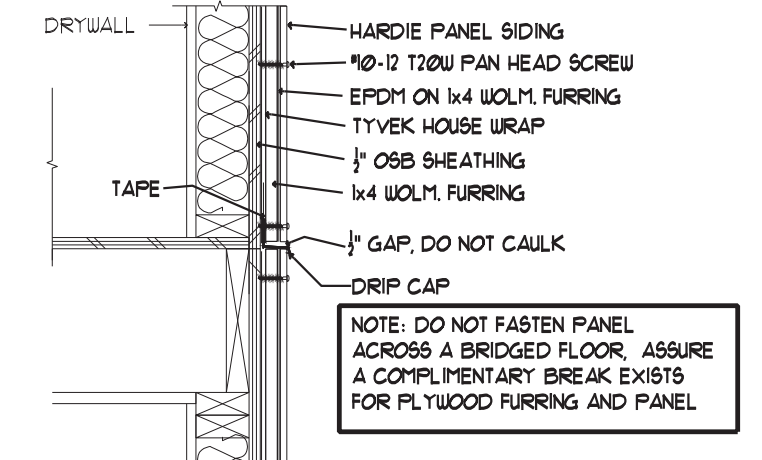
5030 WINDOW (DOOR) HEAD
 A5.03A5.03 1" = 1'-0"



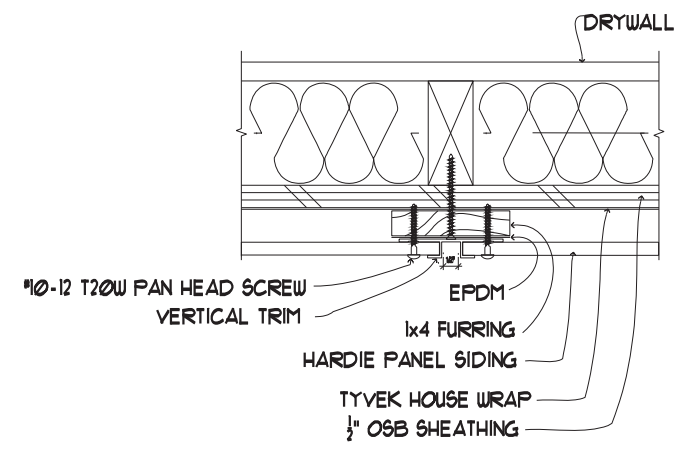
5035 WINDOW SILL
 A5.03A5.03 1" = 1'-0"



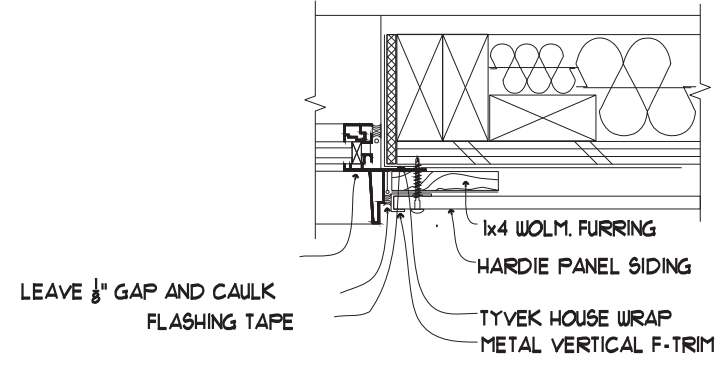
5034 HORIZONTAL REVEAL JOINT
 A5.03A5.03 1" = 1'-0"



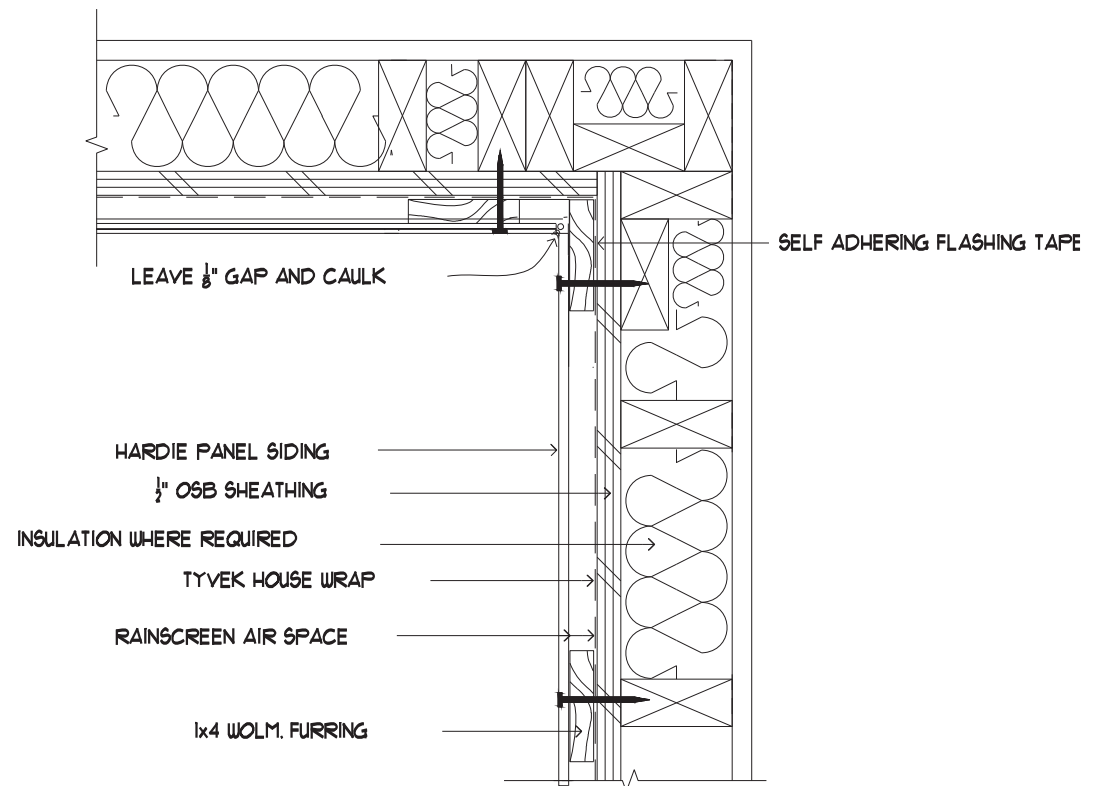
5033 FLOOR LINE
 A5.03A5.03 1" = 1'-0"



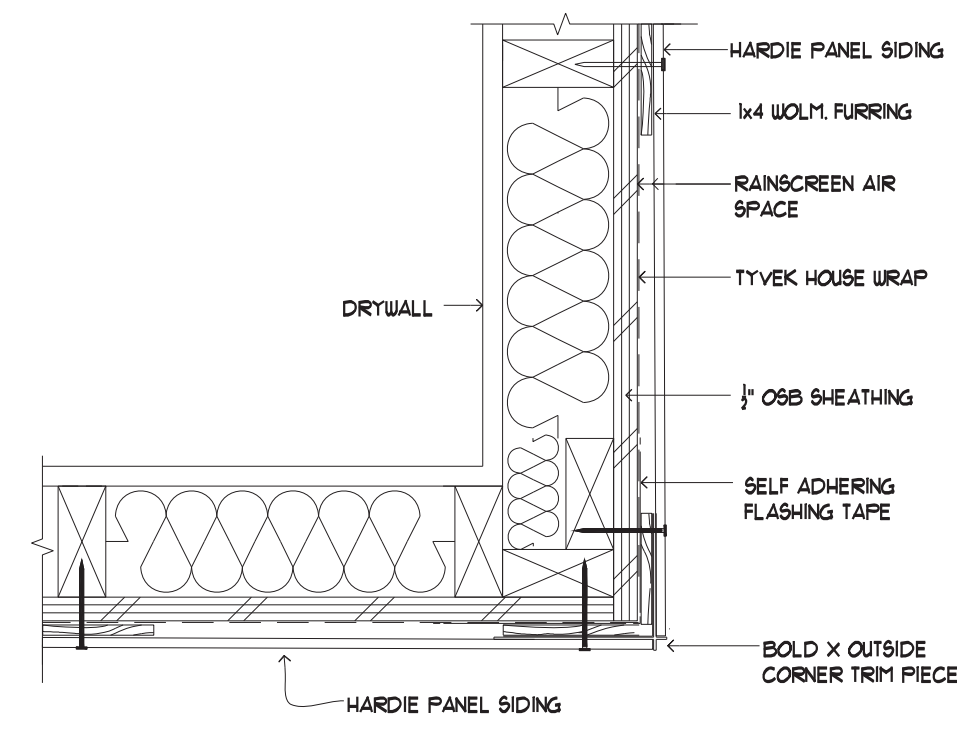
5031 VERT. REVEAL JOINT
 A5.03A5.03 1" = 1'-0"



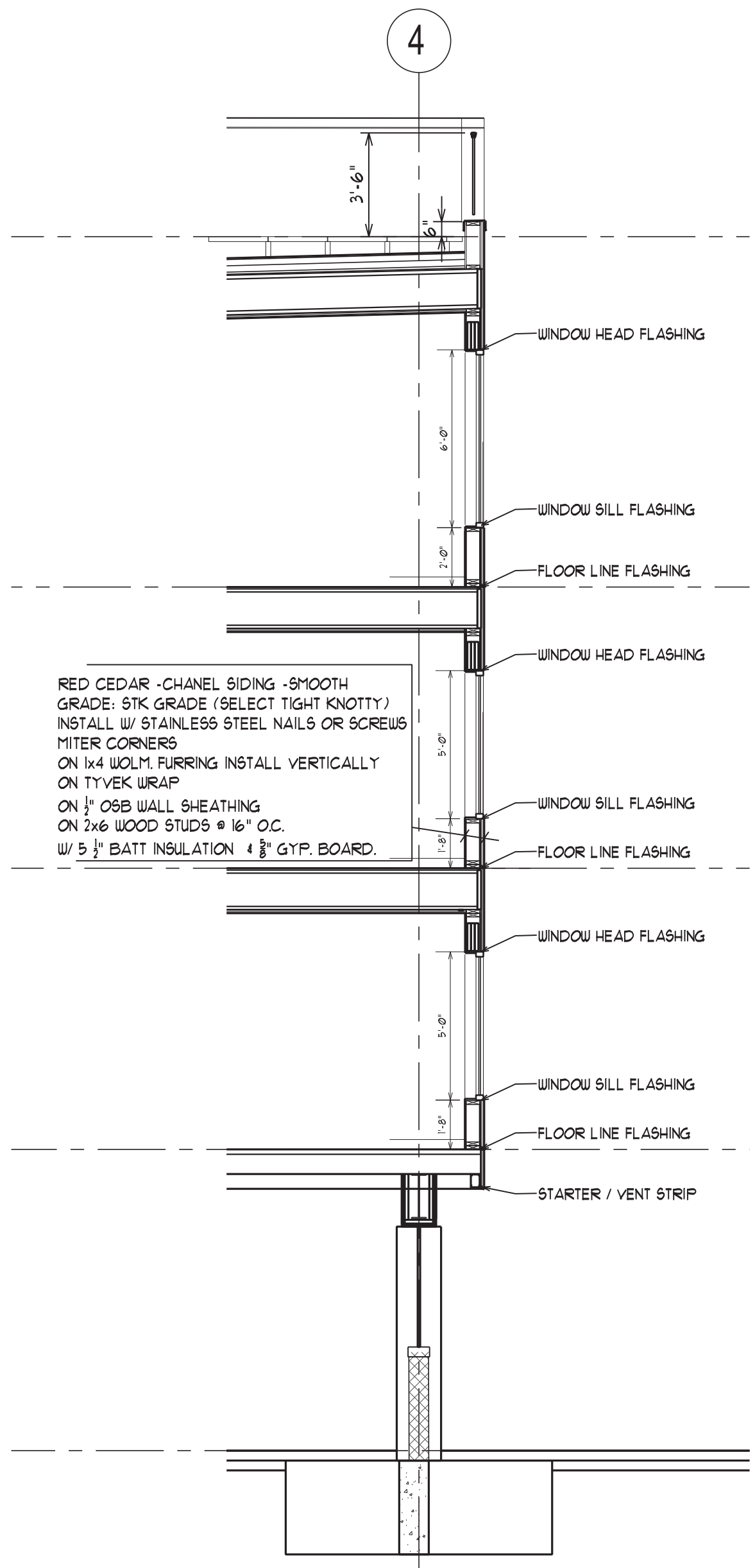
5030 WINDOW JAMB
 A5.03A5.03 1" = 1'-0"



5033 INSIDE CORNER
 A5.03A5.03 1" = 1'-0"

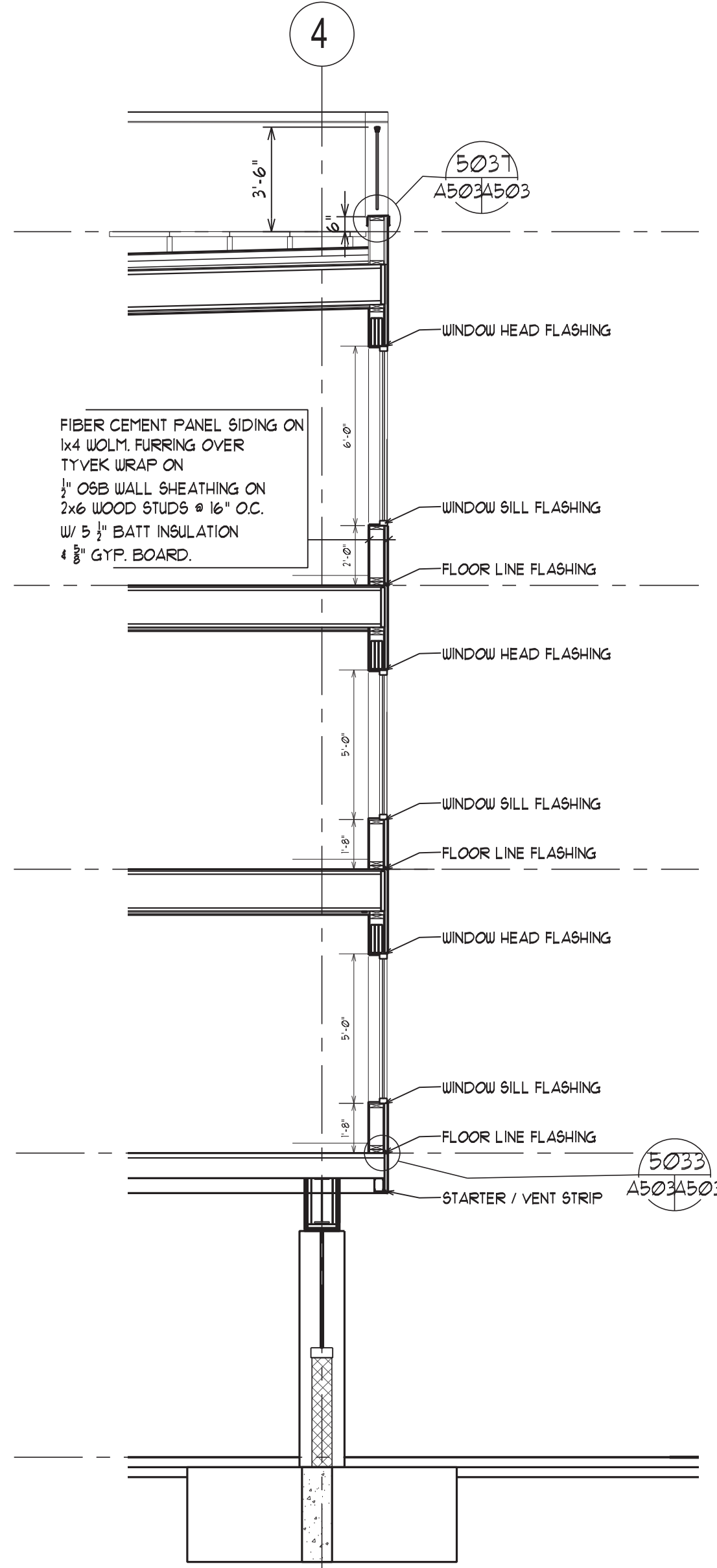


5030 OUTSIDE CORNER
 A5.03A5.03 1" = 1'-0"



5032 HORIZONTAL SIDING WALL SECTION
 A2.01A3.01 1/4" = 1'-0"

HORIZONTAL SIDING DETAILS ARE SIMILAR AS CEMENT FIBER BOARD DETAILS



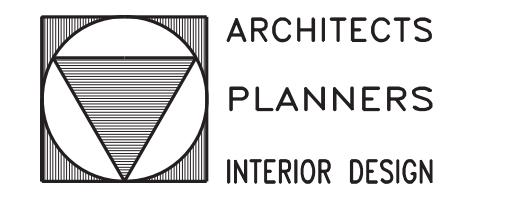
5031 HARDIE PANEL WALL SECTION
 A2.01A5.03 3/4" = 1'-0"

MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN

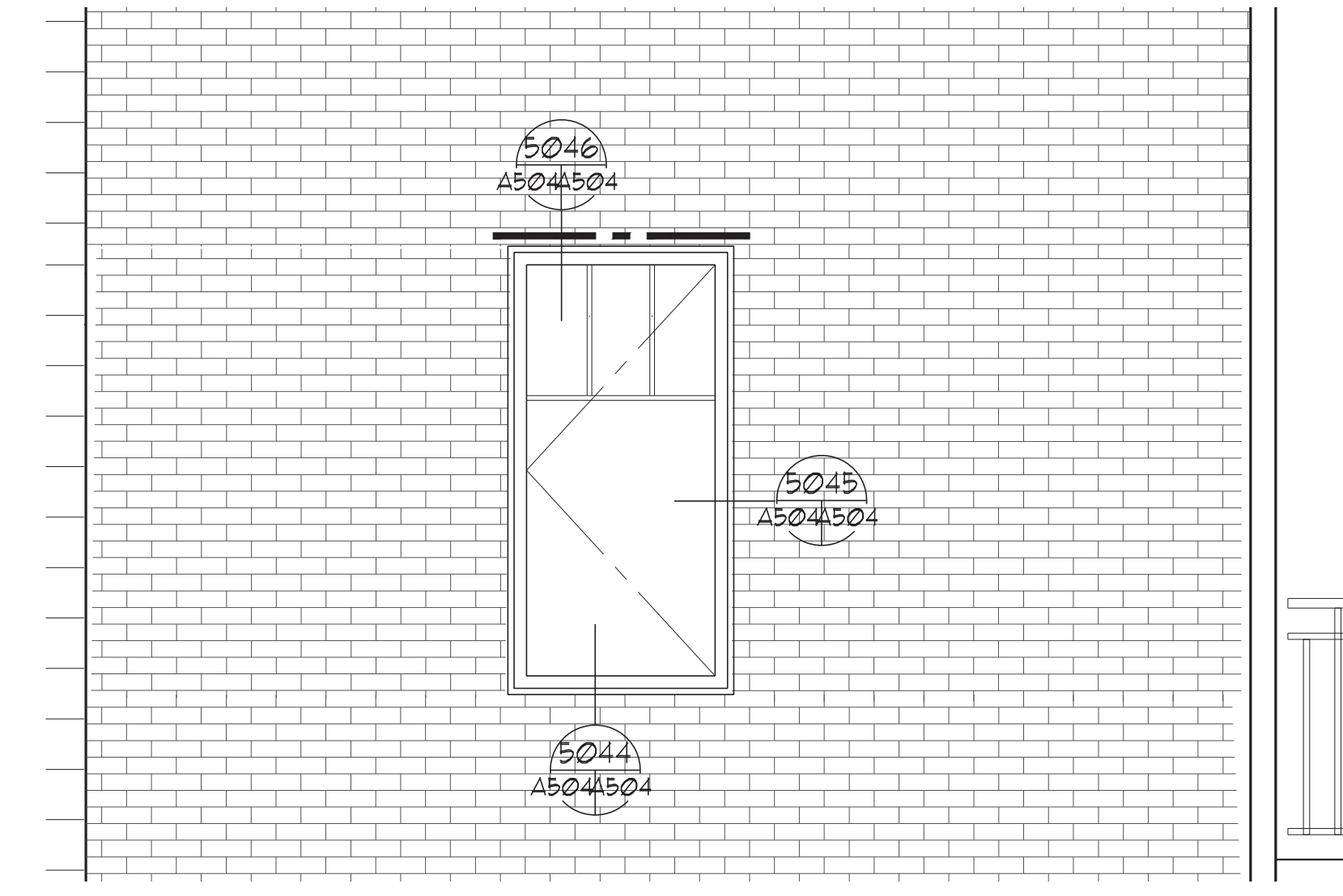
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SHEET# A5.03
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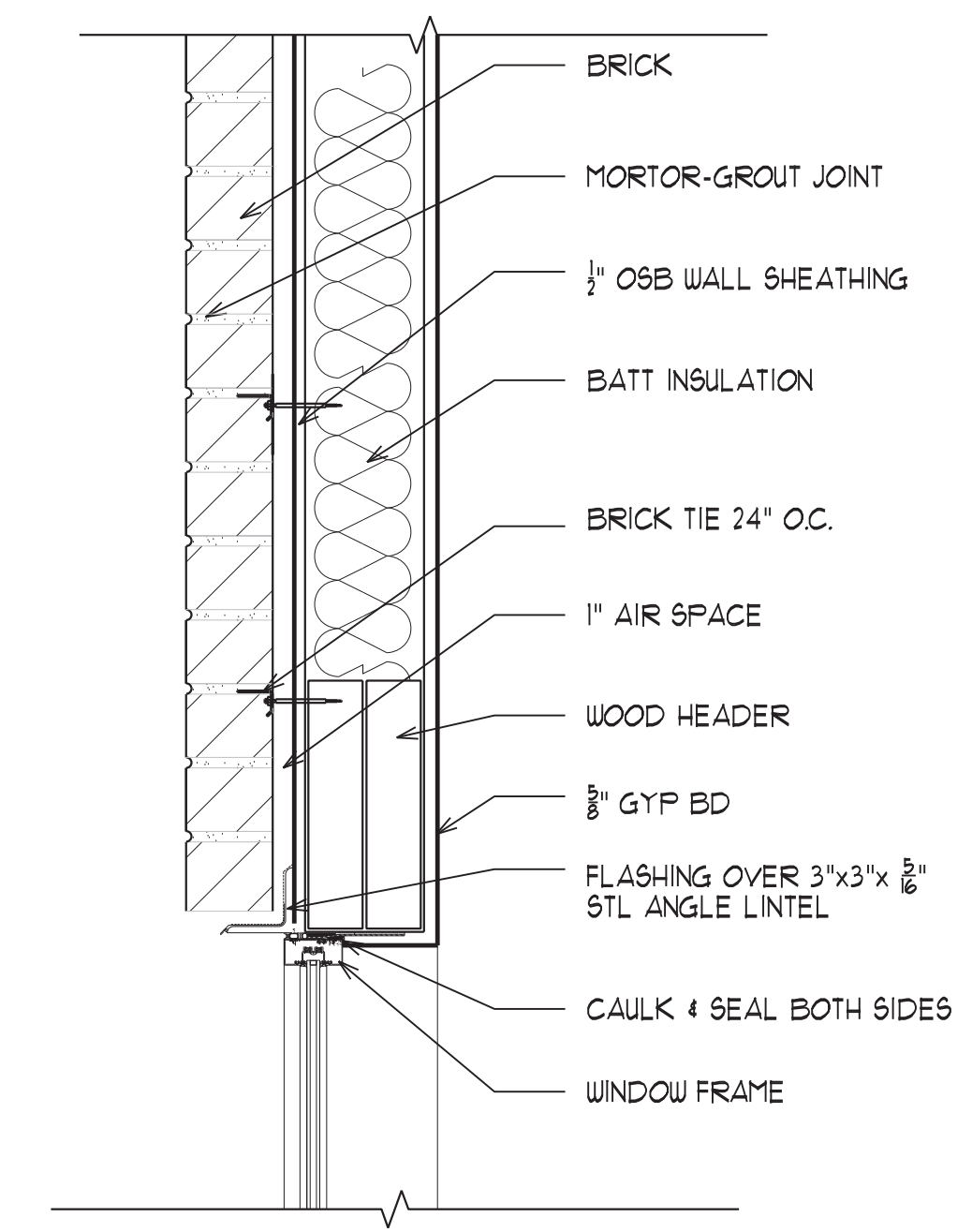
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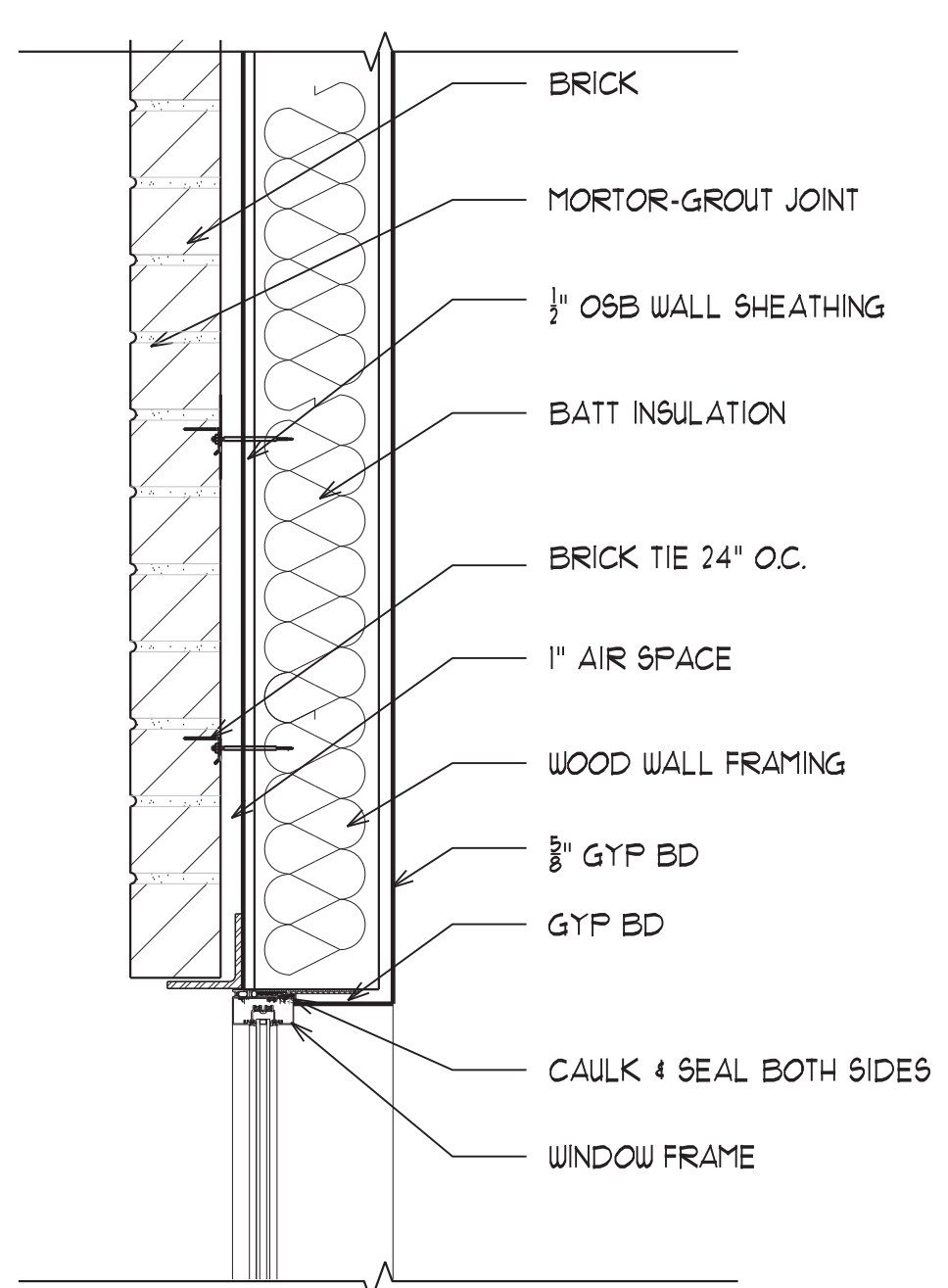
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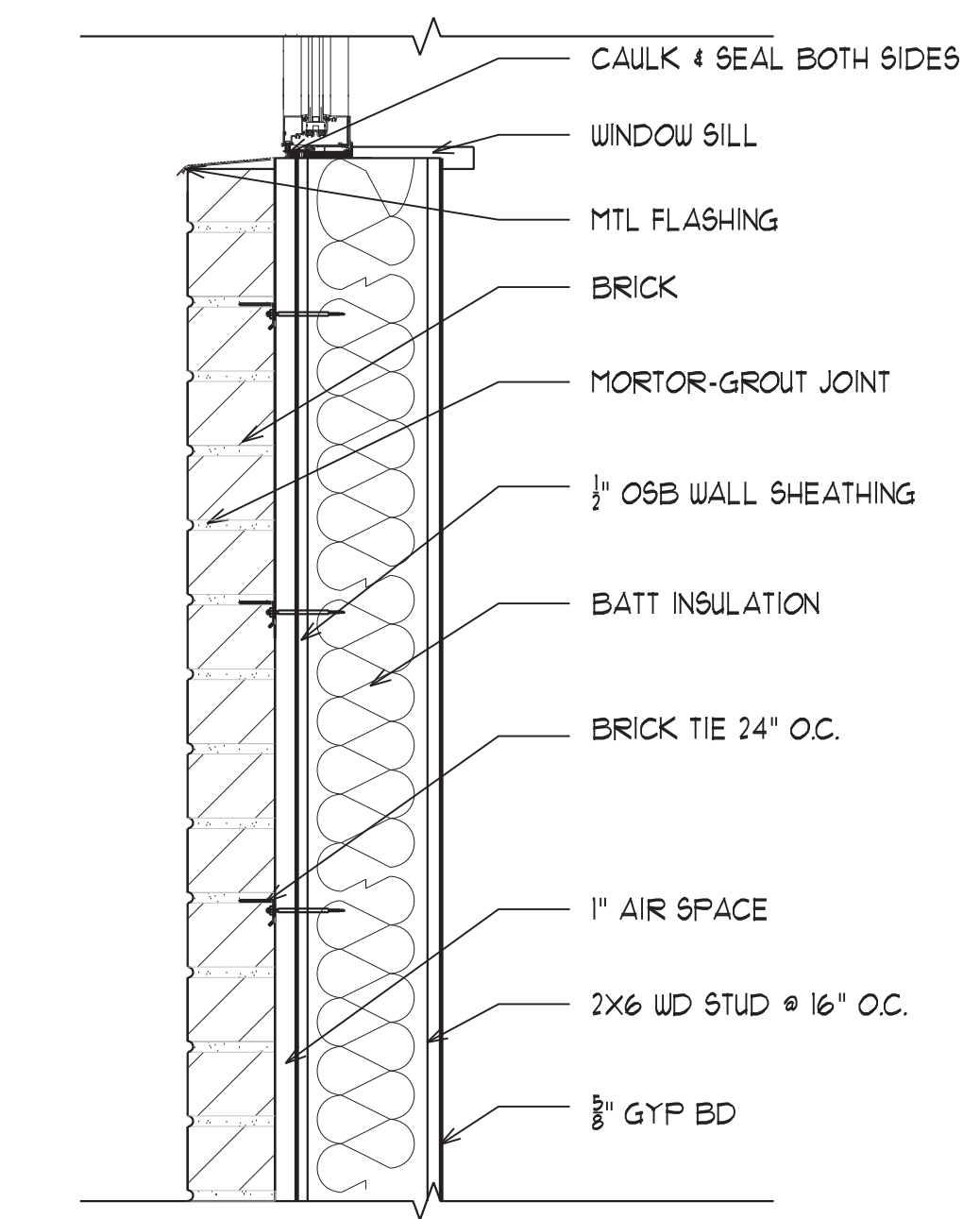
ENLARGED THIN BRICK ELEVATION
 1/2" = 1'-0"



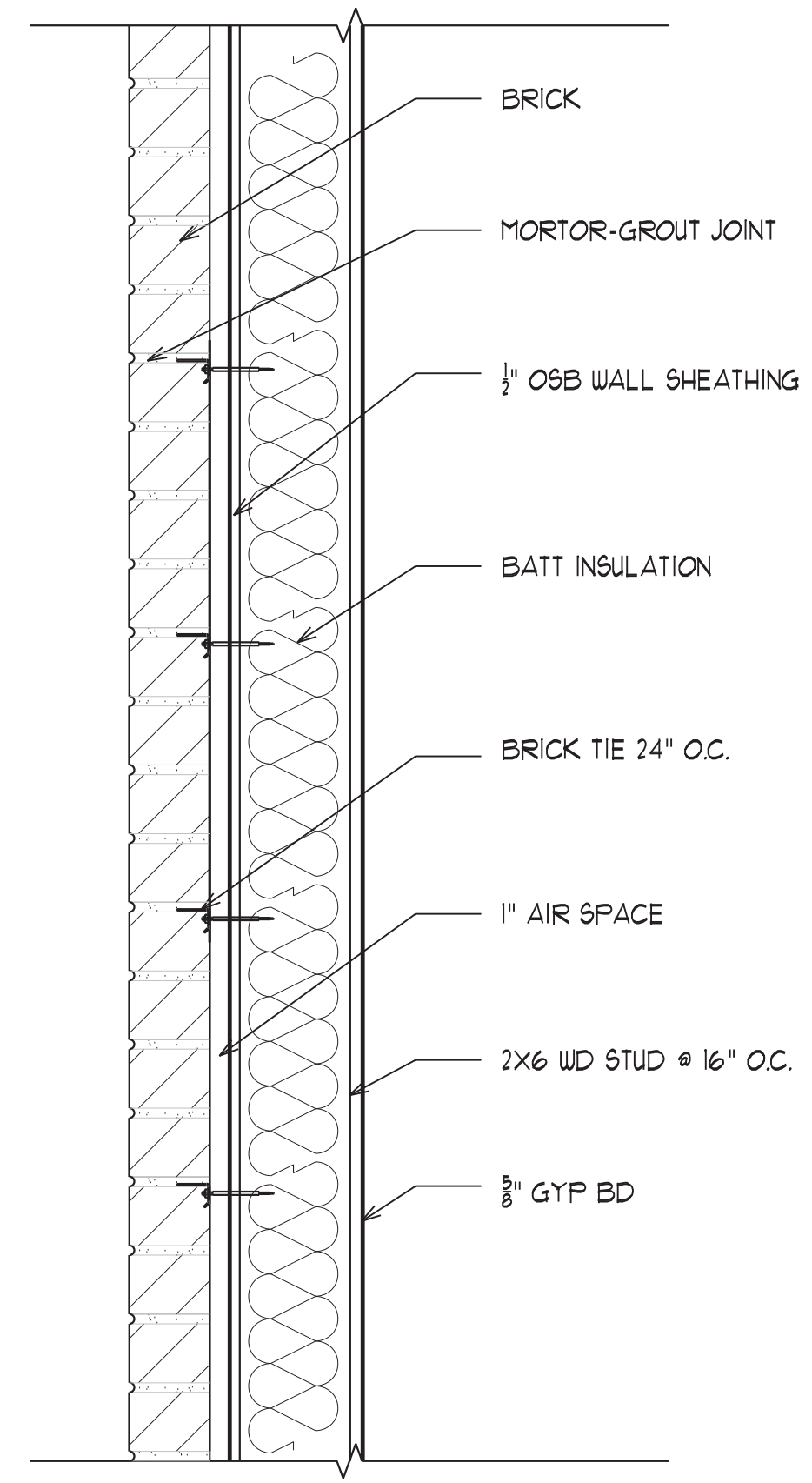
5045 WINDOW HEAD DETAIL
 A5044504 1 1/2" = 1'-0"



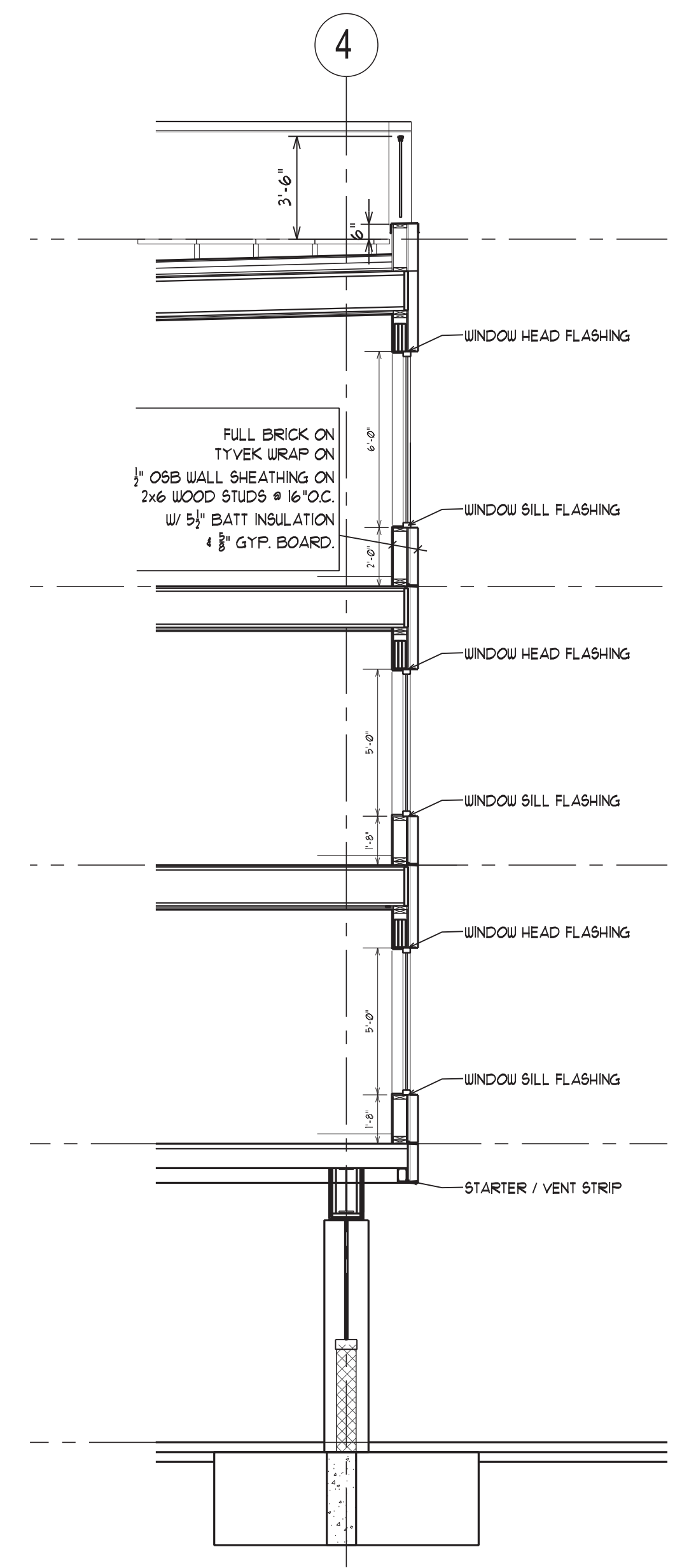
5046 WINDOW JAMB DETAIL
 A5044504 1 1/2" = 1'-0"



5044 WINDOW SILL DETAIL
 A5044504 1 1/2" = 1'-0"



5043 TYPICAL WALL
 A5044504 1 1/2" = 1'-0"



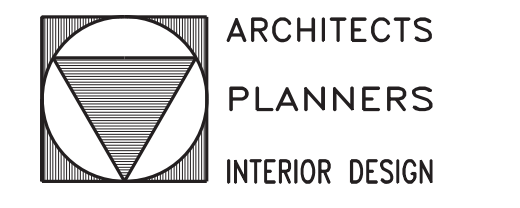
5041 THIN BRICK WALL SECTION
 A201A504 1/4" = 1'-0"

MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN

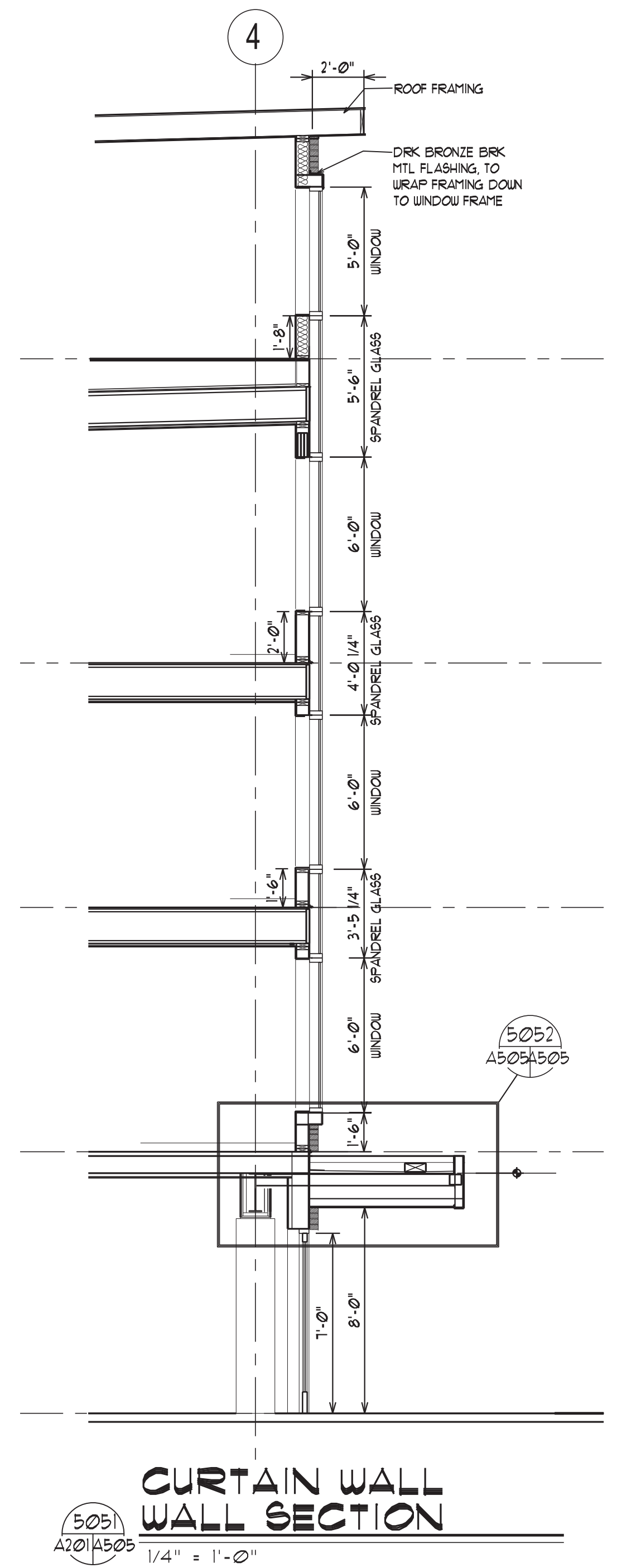
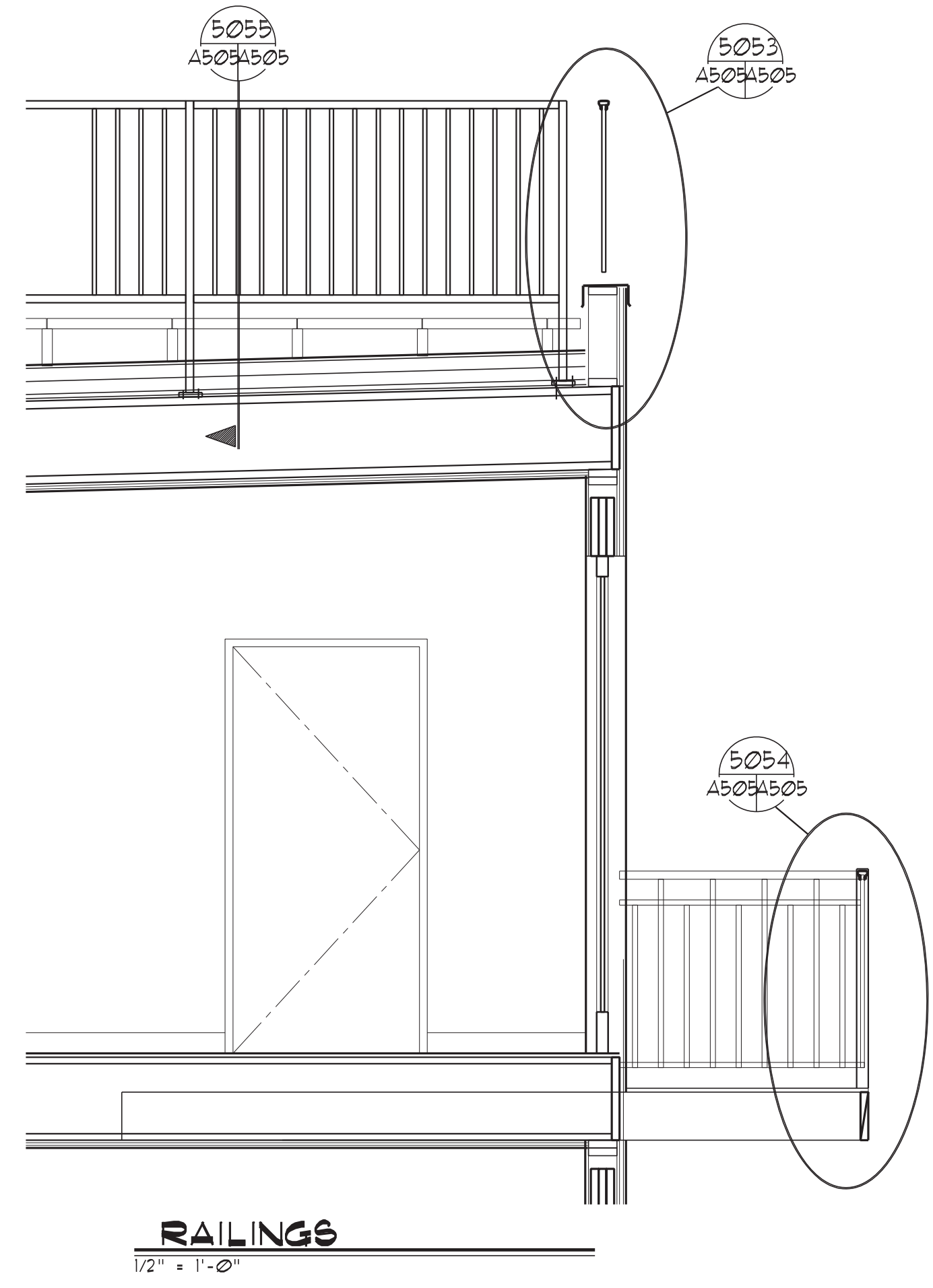
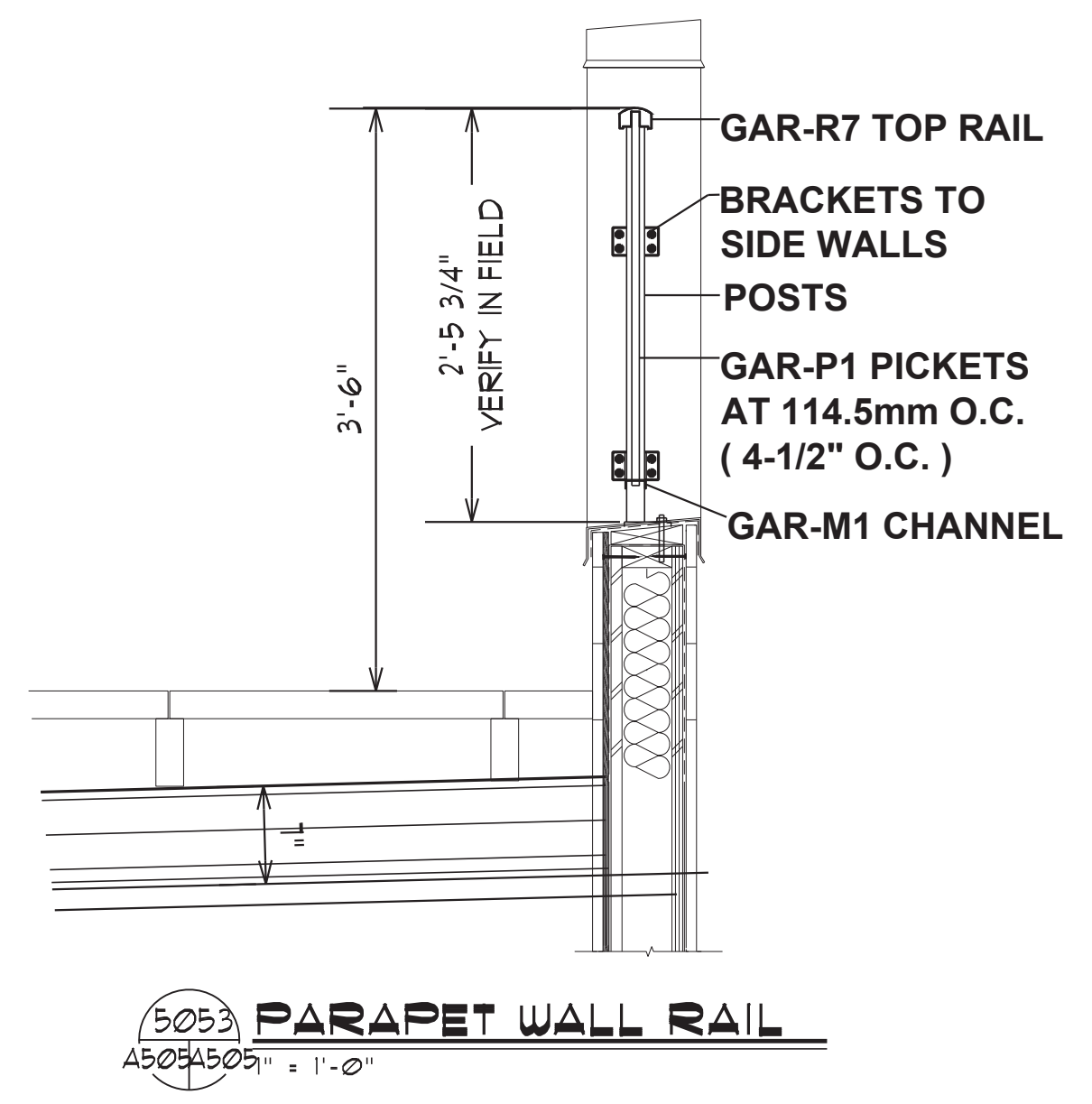
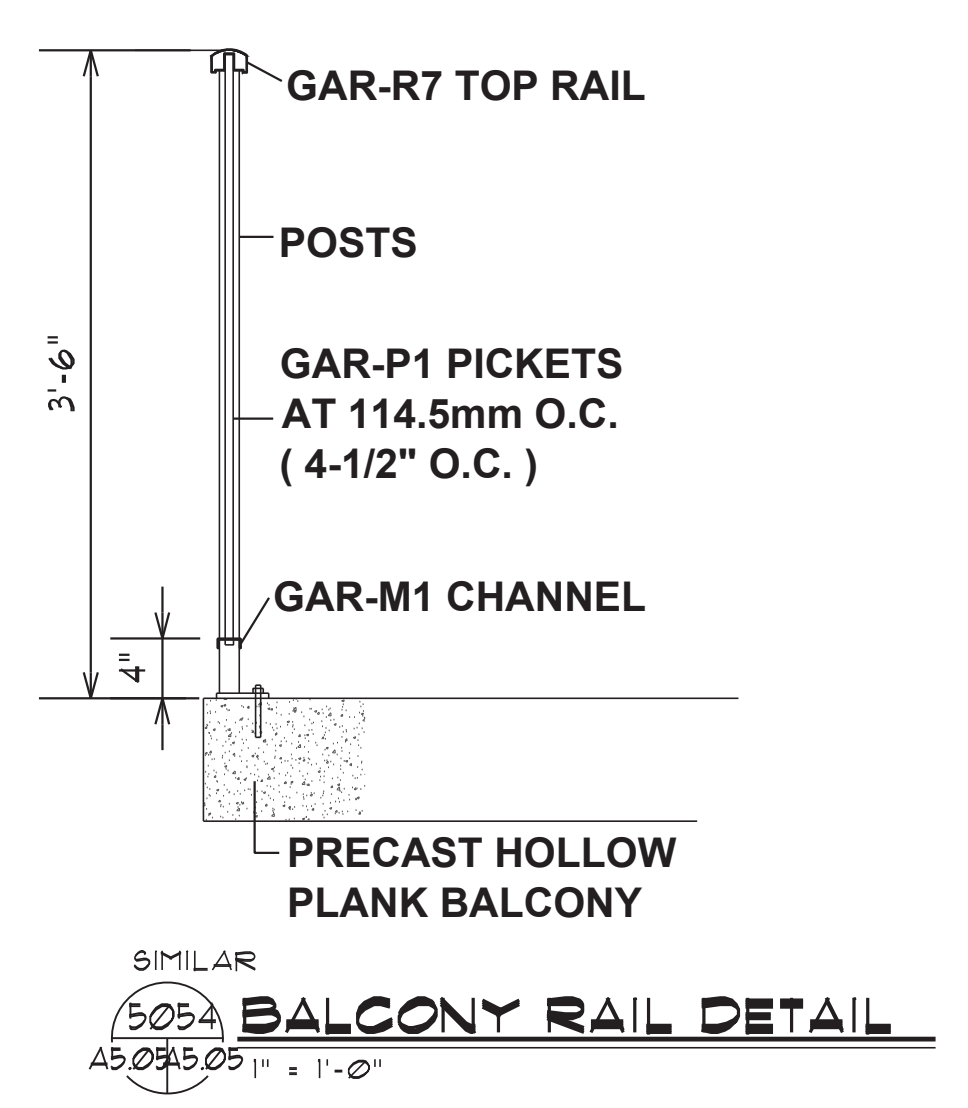
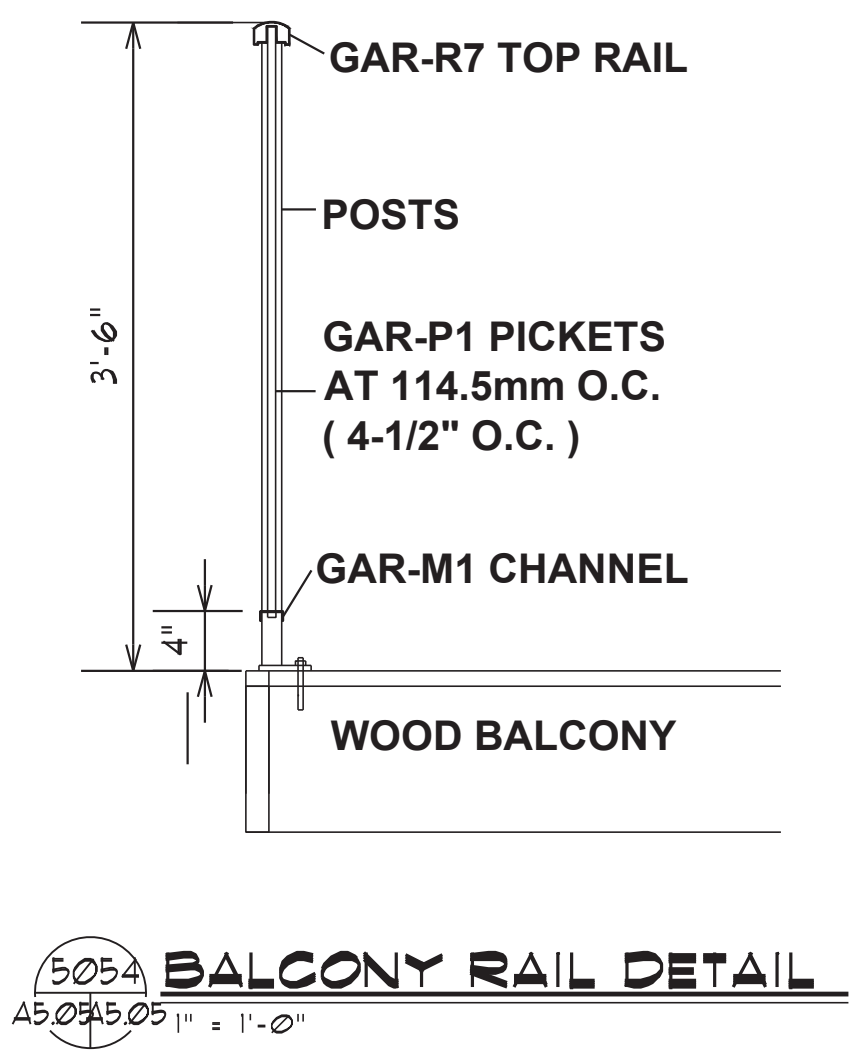
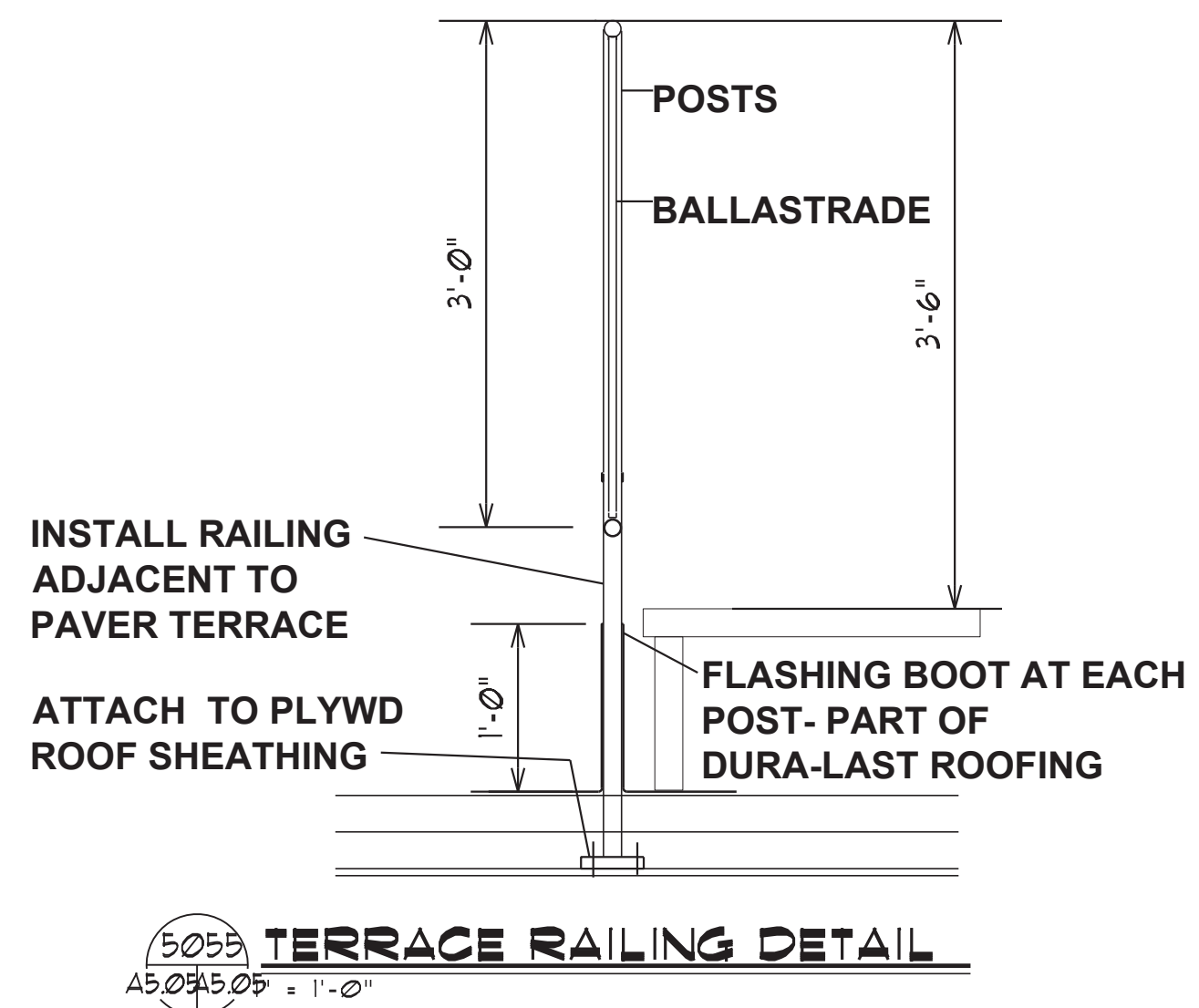
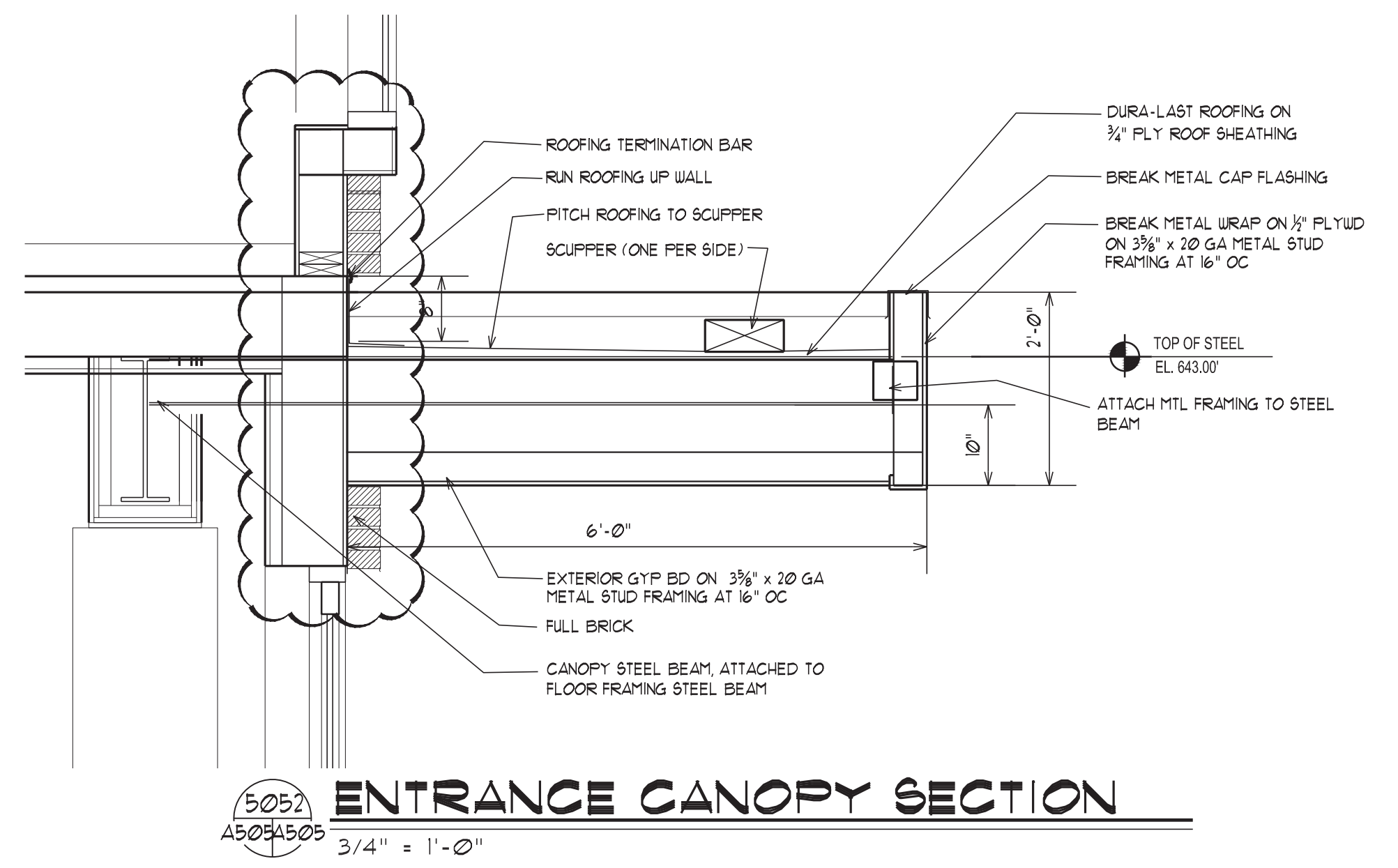
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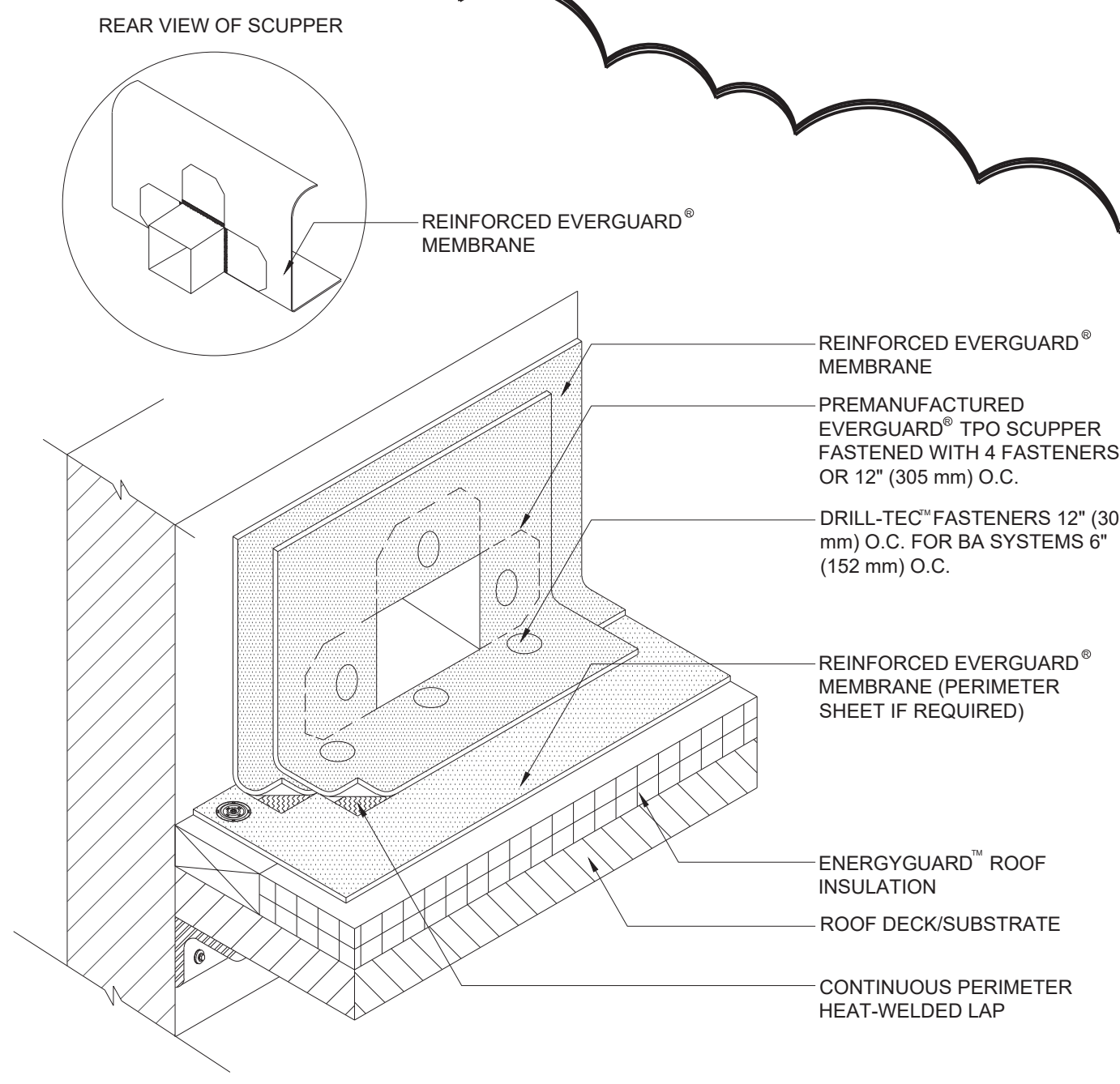
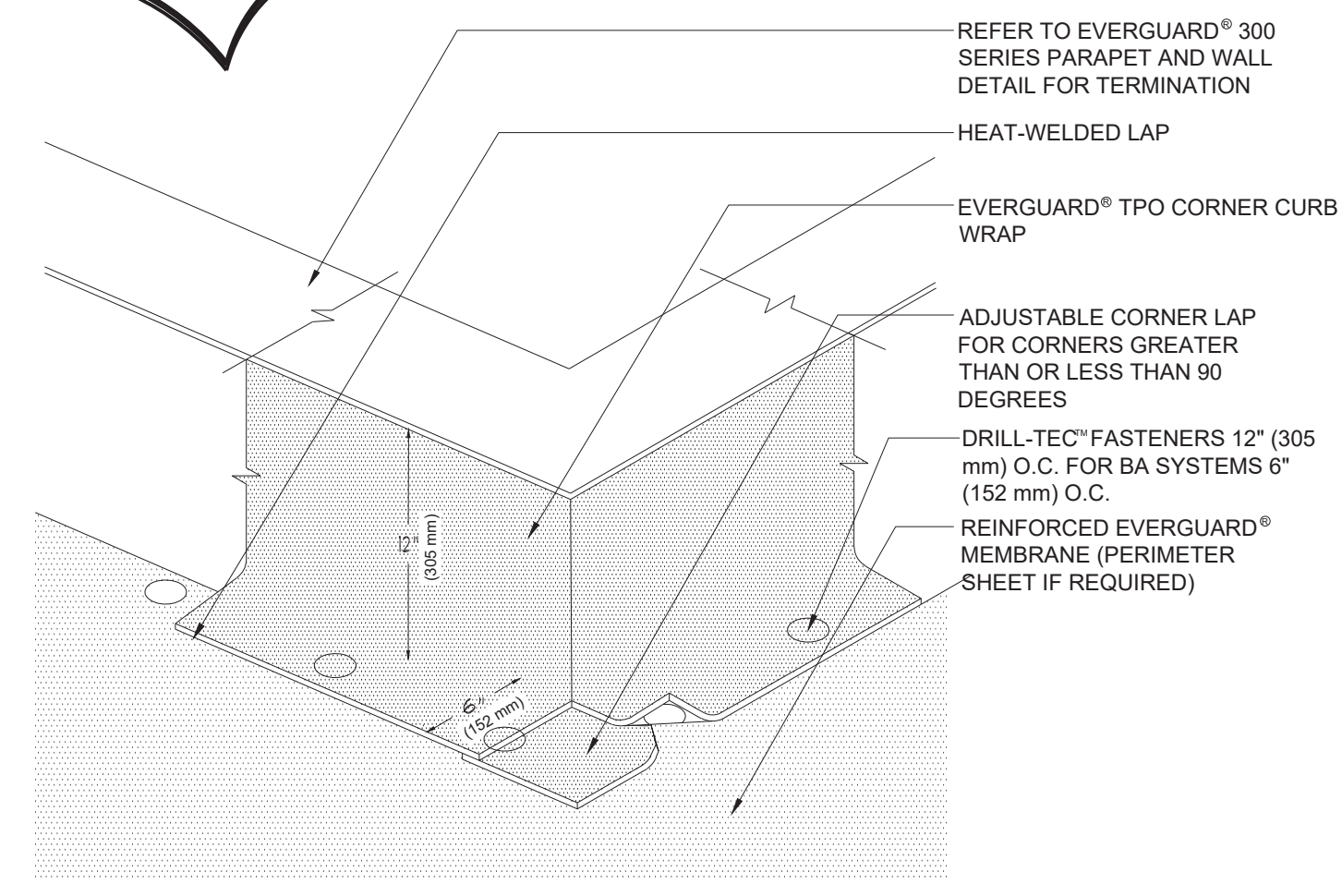
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 SUITE 104-B
 TROY, MICHIGAN 48064
 TEL: 248-654-1010
 FAX: 248-654-3002
 SCOTT@SMAARCH.COM



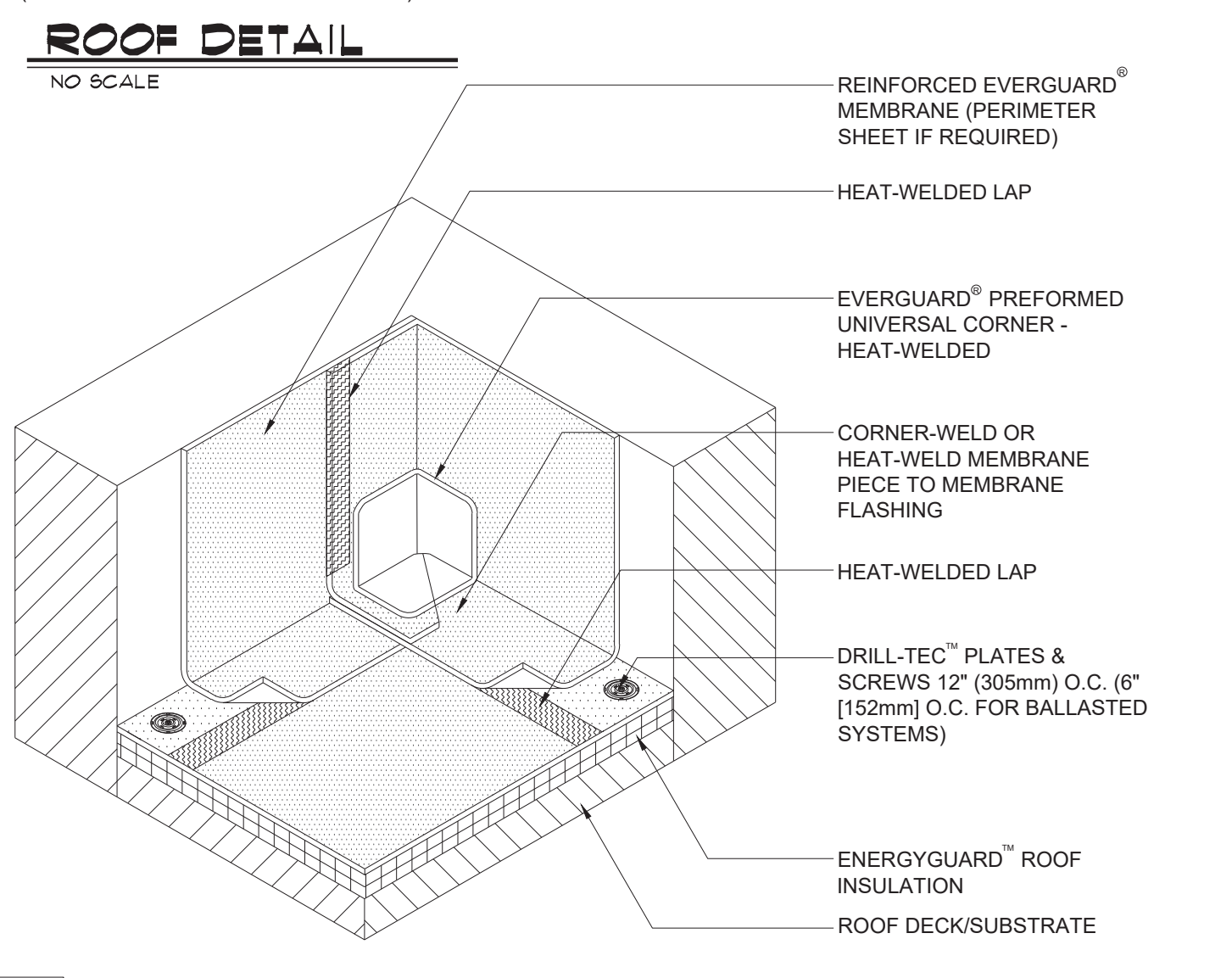
MERRILL PLACE - APARTMENTS
 PHASE I
 1312 SEWARD
 DETROIT, MICHIGAN

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 10 NOV 19 BID SET
 15 APRIL 2020 RE-BID SET

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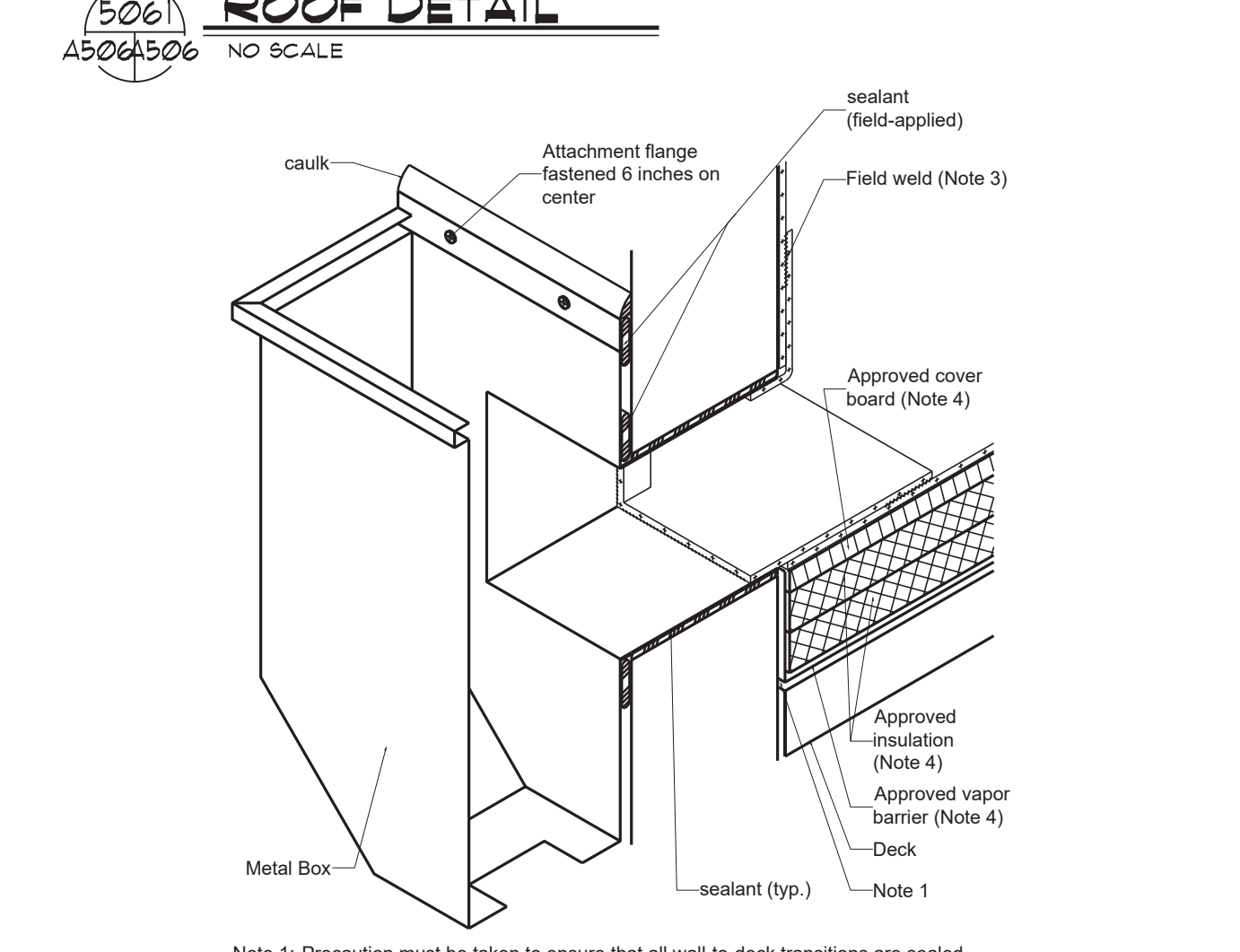


NOTE:
1. FOUR CORNER CURB WRAP PIECES ARE NEEDED TO COMPLETE. VARYING SIZES MAY BE NEEDED TO COMPLETE.
2. CORNER WRAP MAY BE ADHERED OR INSTALLED DRY.
3. 25 YEAR GUARANTEES AND ABOVE MUST USE EXTREME ACCESSORIES
4. APPLY EVERGUARD® TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD® DETAIL 115).

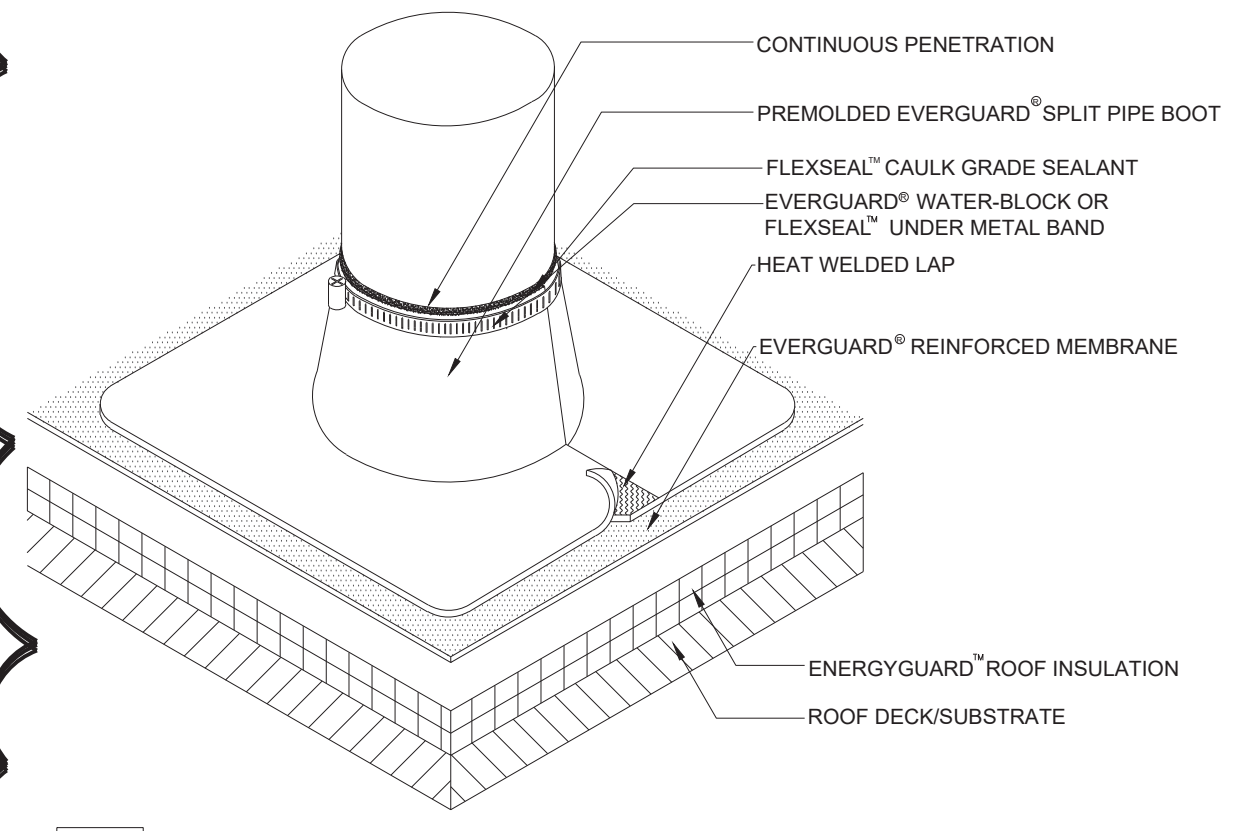


NOTE:
1. FOR INSULATION THICKNESS GREATER THAN 8" (203 mm), A HARD BOARD IS REQUIRED ON MECHANICAL SYSTEMS ONLY.
2. IF EVERGUARD® FREEDOM™ MEMBRANE IS USED, BONDING ADHESIVE IS NOT NEEDED AND WALL MUST BE PRIMED.
3. 25 YEAR GUARANTEES AND ABOVE MUST USE EXTREME ACCESSORIES
4. FLASHINGS MAY BE ADHERED OR INSTALLED DRY. SEE MANUAL FOR DIMENSIONS.
5. INSIDE CORNERS MAY ALSO BE FIELD-FABRICATED USING UNREINFORCED MEMBRANE.
6. APPLY EVERGUARD® TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD® DETAIL 115).

NOTE:
1. DETAIL TO BE USED IN CONJUNCTION WITH STANDARD GUIDE SPECIFICATION CONTAINING REQUIREMENTS FOR NAILERS, INSULATION ETC.
2. FOR INSULATION THICKNESS GREATER THAN 8" (203 mm), A HARD BOARD IS REQUIRED ON MECHANICAL SYSTEMS ONLY.
3. FOR SELF-ADHERED RAPIDSEAM™ TECHNOLOGY SYSTEMS, SEE EVERGUARD® DETAIL 330 FOR LAP APPLICATION.
4. 25 YEAR GUARANTEES AND ABOVE MUST USE EXTREME ACCESSORIES.
5. SCUPPER MUST ALSO BE SEALED ON OUTSIDE WALL.

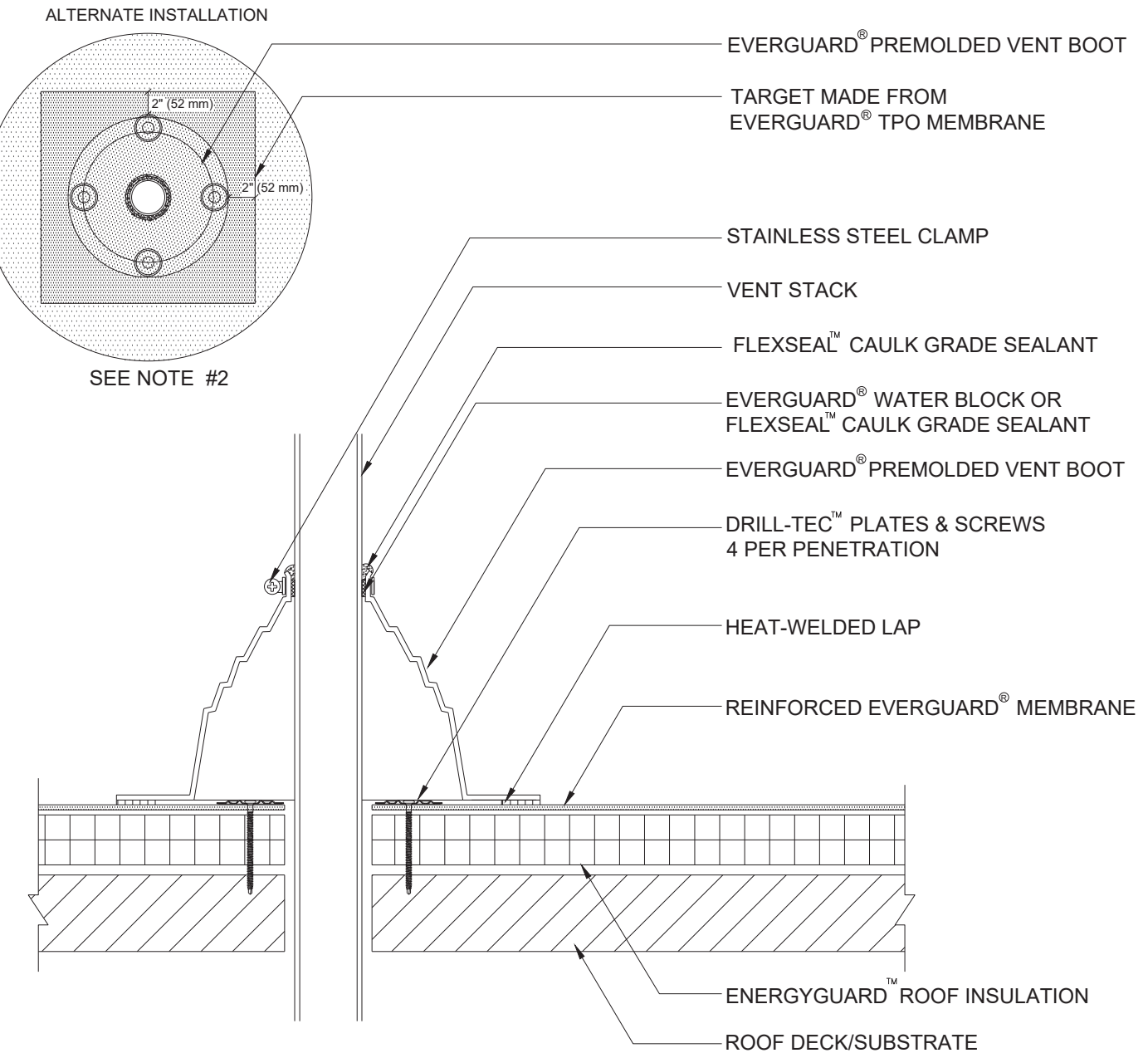


Note 1: Precaution must be taken to ensure that all wall-to-deck transitions are sealed.
Note 2: Collector box is back-sealed with sealant around scupper opening.
Note 3: All field welds shall be a minimum of 1-1/2 inches wide.
Note 4: Refer to specifications for vapor barrier, insulation and cover board requirements.



NOTE:
1. FOUR DRILL-TEC™ PLATES & SCREWS AROUND PENETRATION.
2. IF PLATES AND FASTENERS ENCR OACH INTO THE SEAM AREA OF THE POCKET, THEN A TARGET MUST BE ADDED FIRST TO COVER FASTENERS.
3. 25 YEAR GUARANTEES AND ABOVE MUST USE EXTREME ACCESSORIES.
4. APPLY EVERGUARD® TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD® DETAIL 115).

ROOF DETAIL
NO SCALE

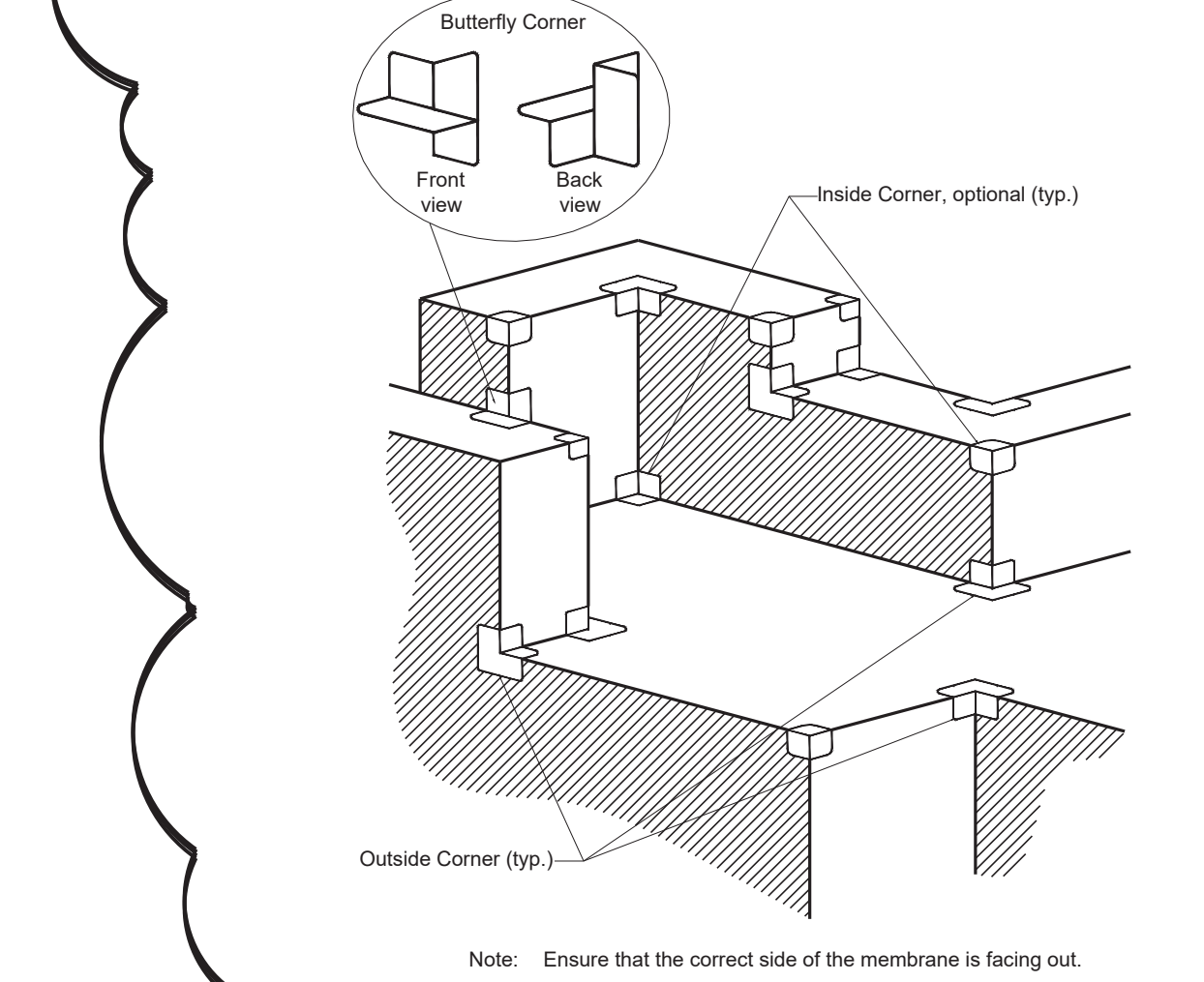


NOTE:
1. DO NOT CUT SIDE OF PREMOLDED BOOT. IT MUST BE PULLED OVER VENT PIPE.
2. IF THE PLATES AND FASTENERS INTRUDE INTO BOOT FLANGE AREA, THEN A TARGET MUST FIRST BE INSTALLED OVER PLATES AND FASTENERS BEFORE BOOT INSTALLATION.
3. FOR INSULATION THICKNESS GREATER THAN 8" (203 mm), A HARD BOARD IS REQUIRED ON MECHANICAL SYSTEMS ONLY.
4. 25 YEAR GUARANTEES AND ABOVE MUST USE EXTREME ACCESSORIES.
5. APPLY EVERGUARD® TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD® DETAIL 115).

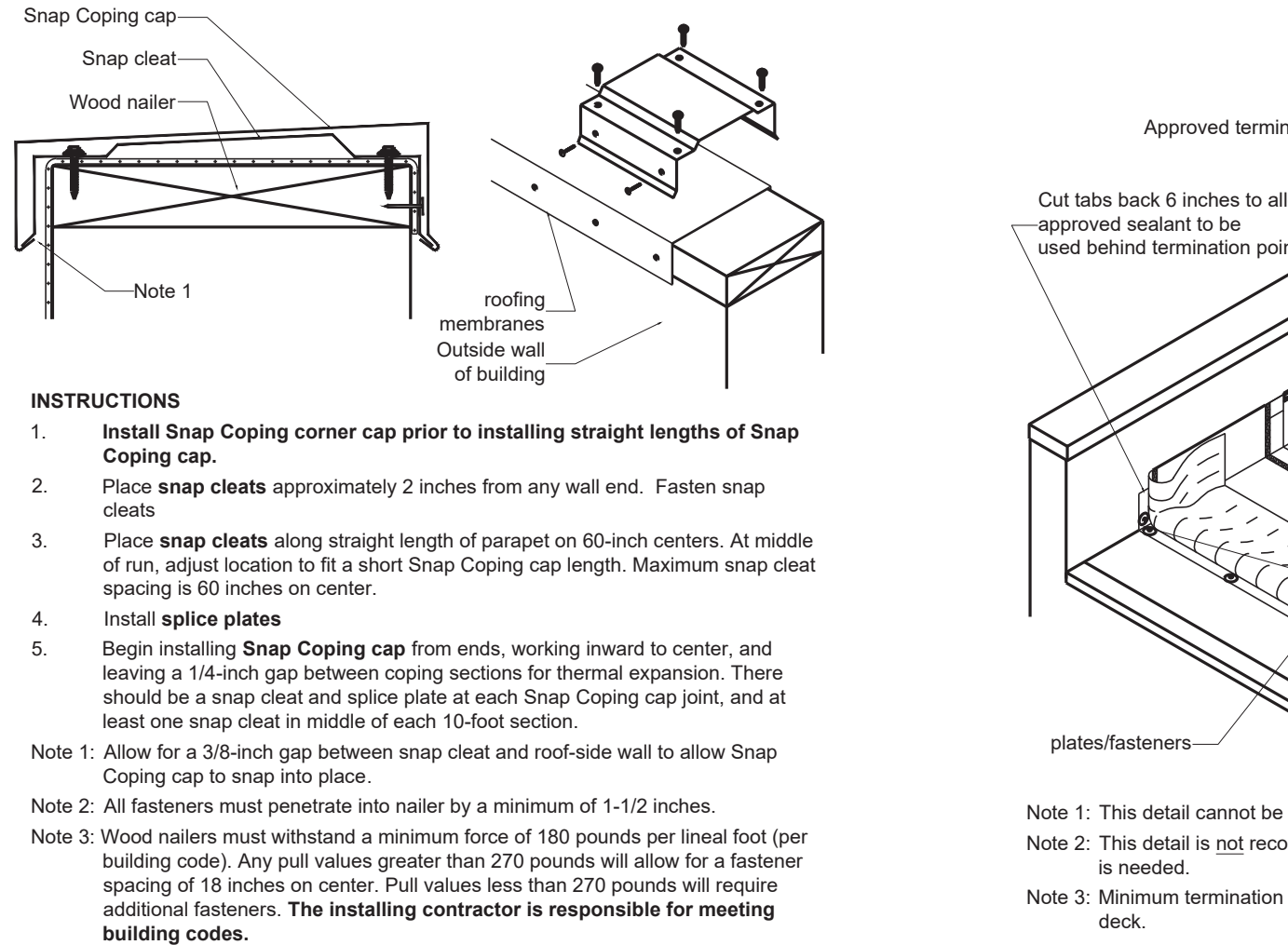
ROOF DETAIL
NO SCALE

ROOF DETAIL
NO SCALE

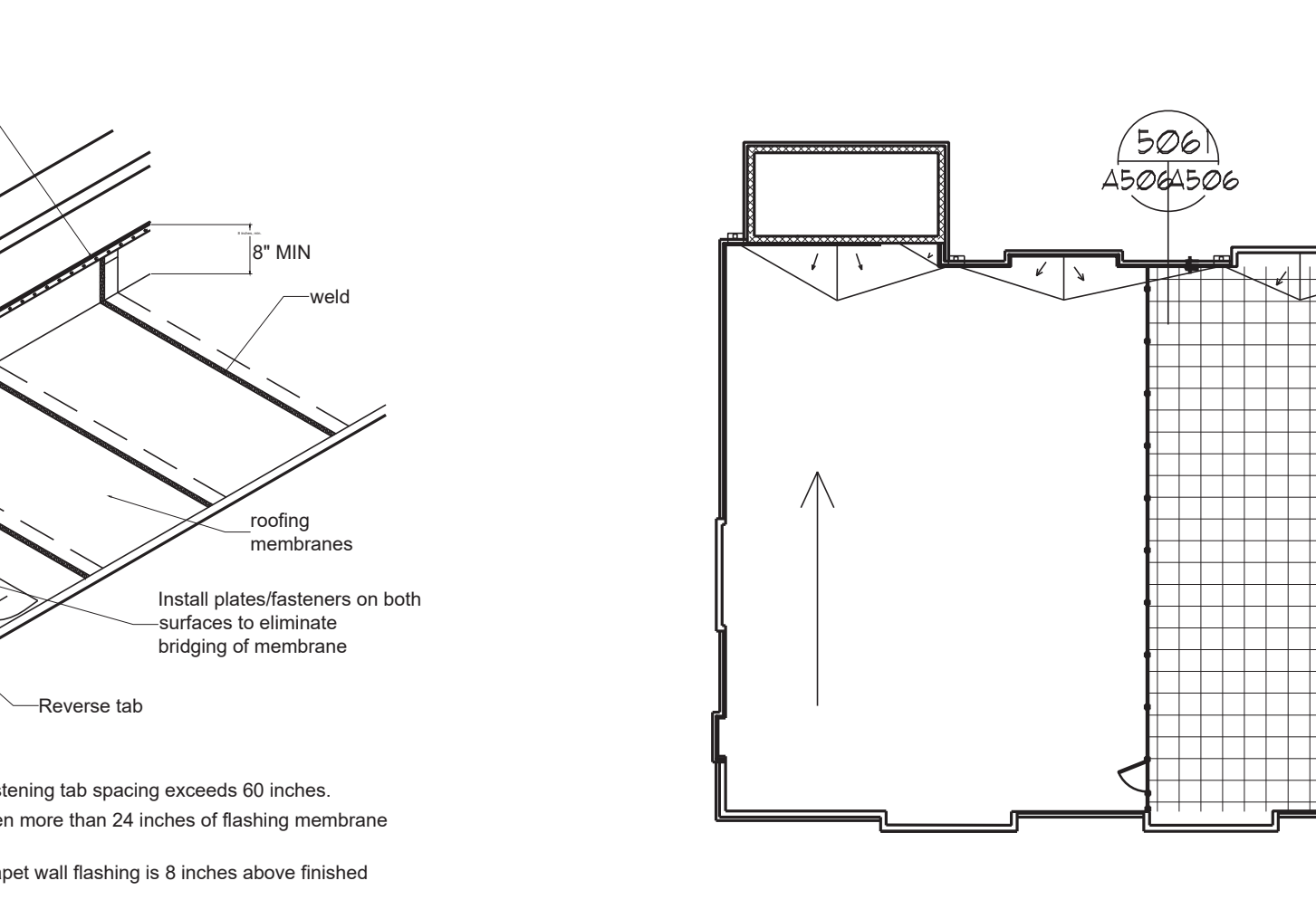
ROOF DETAIL
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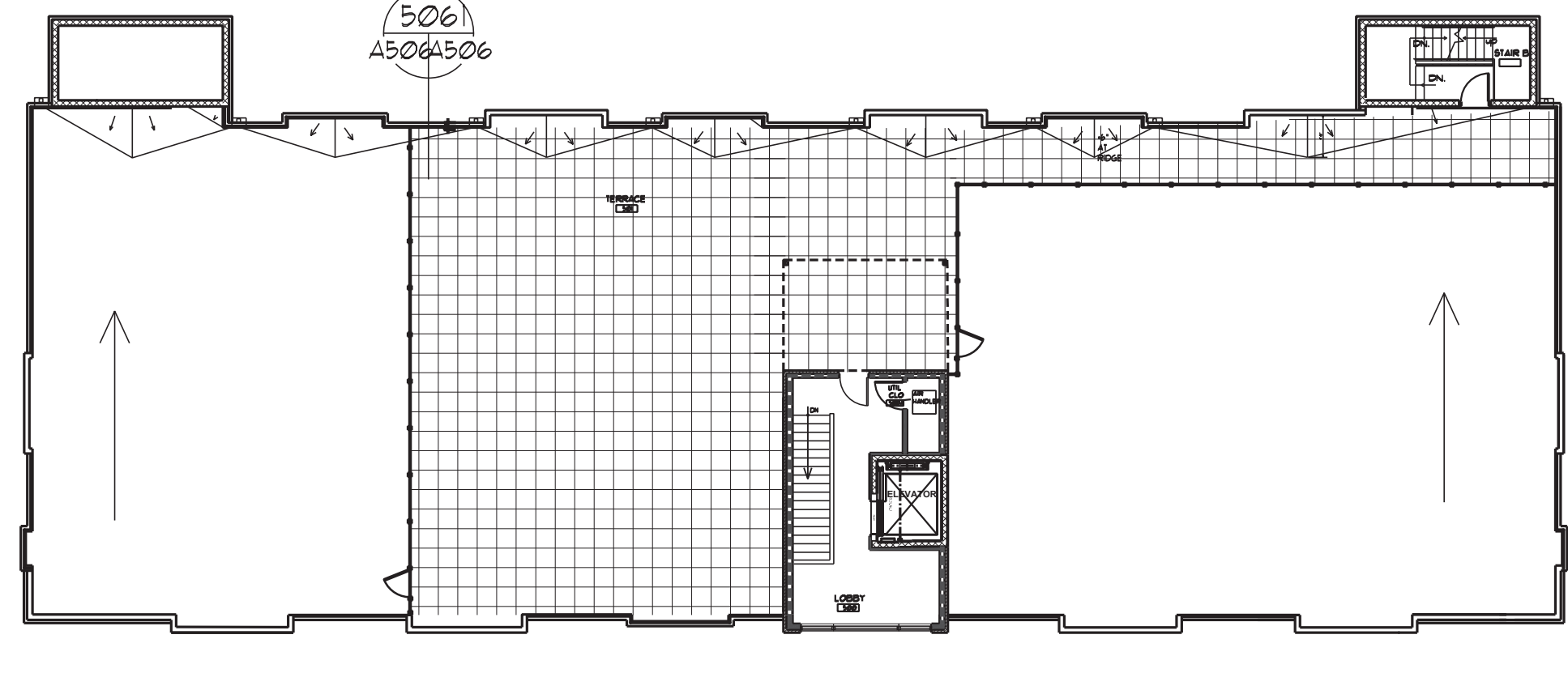
ROOF DETAIL
NO SCALE



ROOF DETAIL
NO SCALE



ROOF DETAIL
NO SCALE

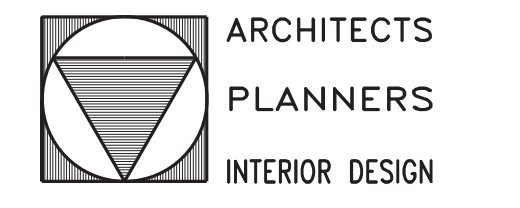


ROOF PLAN
NO SCALE

MERRILL PLACE - APARTMENTS
PHASE I
1312 SEWARD
DETROIT, MICHIGAN

ISSUED FOR:
6 SEPT 19
CHECK SET
10 NOV 19
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SHEET# A5.06
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JOB# 13054



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SCOTT@SMAARCH.COM

ROOF TERRACE DOOR SCHEDULE									
NO.	SIZE	TYPE	NEW	DOOR		FRAME		HARDWARE	REMARKS
				MAT'L	FIN.	MAT'L	FIN.		
B000	3'-0" x 1'-0" x 1-3/4"	R	•	GLASS/ALUM.	DARK BRONZE	ALUM	DARK BRONZE	13, 15, 17	3, 5
B00A	3'-0" x 1'-0" x 1-3/4"	B	•	WOOD	PAINT	MTL	DARK BRONZE	10, 17	4
B-5	3'-0" x 1'-0" x 1-3/4"	A	•	METAL	PAINT	MTL	DARK BRONZE	13, 16, 17	2, 4

DOOR GENERAL NOTES:

- A. ALL LEVERS & LOCKING MECHANISMS SHALL MEET BARRIER FREE REQUIREMENTS
- B. ALL NEW DOORS TO RECEIVE 1 1/2 PAIRS OF HINGES UNLESS NOTED OTHERWISE

DOOR REMARKS:

- 1. SEE ROOM FINISH SCHEDULE FOR PAINT SPEC
- 2. 20 MINUTE FIRE RATED DOOR & FRAME
- 3. THIS DOOR GETS APARTMENT SIGNAGE
- 4. THIS DOOR GETS GENERAL SIGNAGE
- 5. ADD INTERCOM SYSTEM AND DOOR OPEN HARDWARE

SIGNAGE

CONTRACTOR TO PROVIDE SIGNAGE TO ALL REQUIRED DOORS. IF ANY DOORS HAVE NOT BEEN CALLED OUT FOR SIGNAGE, CONTRACTOR TO PROVIDE APPROPRIATE SIGNAGE.

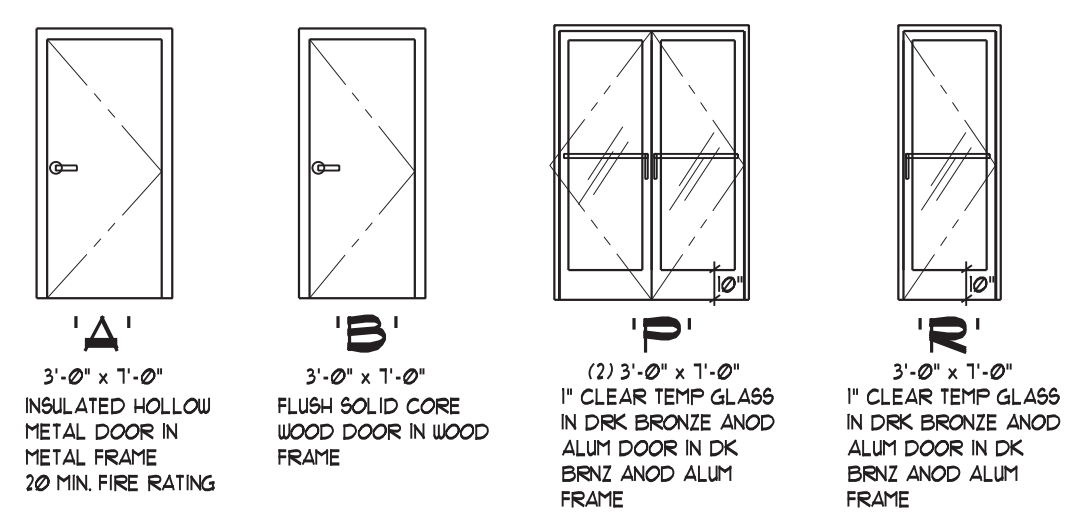
APARTMENT DOOR SIGNAGE
DESCRIPTION: METAL FRAME WITH ROOM NUMBER W/ ACRYLIC INSERT
MFR: SIGNS 4 MORE (1-748-857-0683) MOLLY
SIZE:
FINISHES: METAL / ACRYLIC

GENERAL SIGNAGE
MFR: SIGNS 4 MORE (1-748-857-0683) MOLLY
SIZE: 8"x3" GREY ACRYLIC WITH WHITE LETTERS

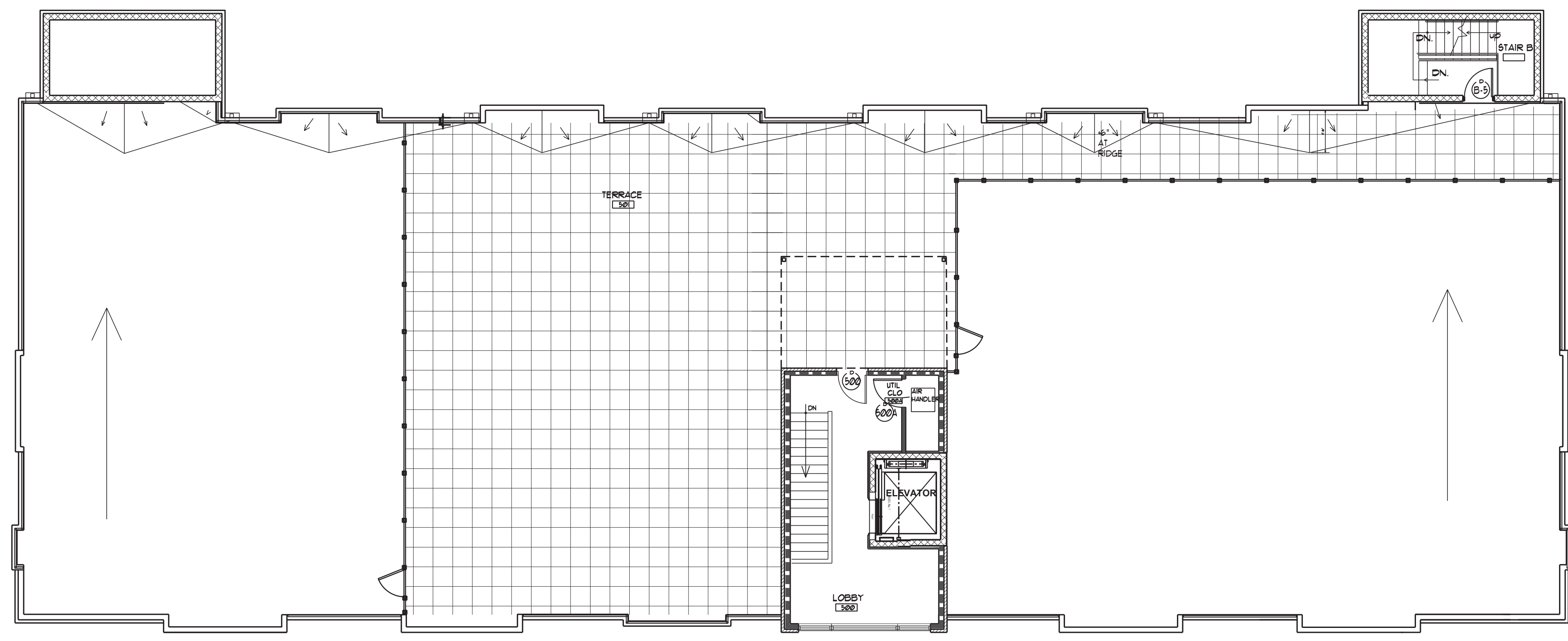
HARDWARE NOTES:

- 10. LOCK SET
MFR: SCHLAGE
STYLE: LEVER 'AL' SERIES #93
FINISH: #216 SATIN CHROME
-OR- APPROVED EQUAL
- 11. PASSAGE SET
MFR: SCHLAGE
STYLE: LEVER 'AL' SERIES #93
FINISH: #216 SATIN CHROME
-OR- APPROVED EQUAL
- 12. PRIVACY SET
MFR: SCHLAGE
STYLE: LEVER 'AL' SERIES #93
FINISH: #216 SATIN CHROME
-OR- APPROVED EQUAL
- 13. NEW CLOSER
MFR: LCN
MODEL: 4000
FINISH: DK BRONZE
-OR- APPROVED EQUAL
- 14. WIRE PULL HANDLE
- 15. PUSH BAR / PULL HANDLE
FINISH: DARK BRONZE
- 16. PANIC BAR PUSH / PULL HANDLE
- 17. APARTMENT DOOR -KEY SYSTEM
MFR: BUTTERFLY
REF: RIGGO SECURITY INC. JOE RICCOBONO 1-586-803-0003

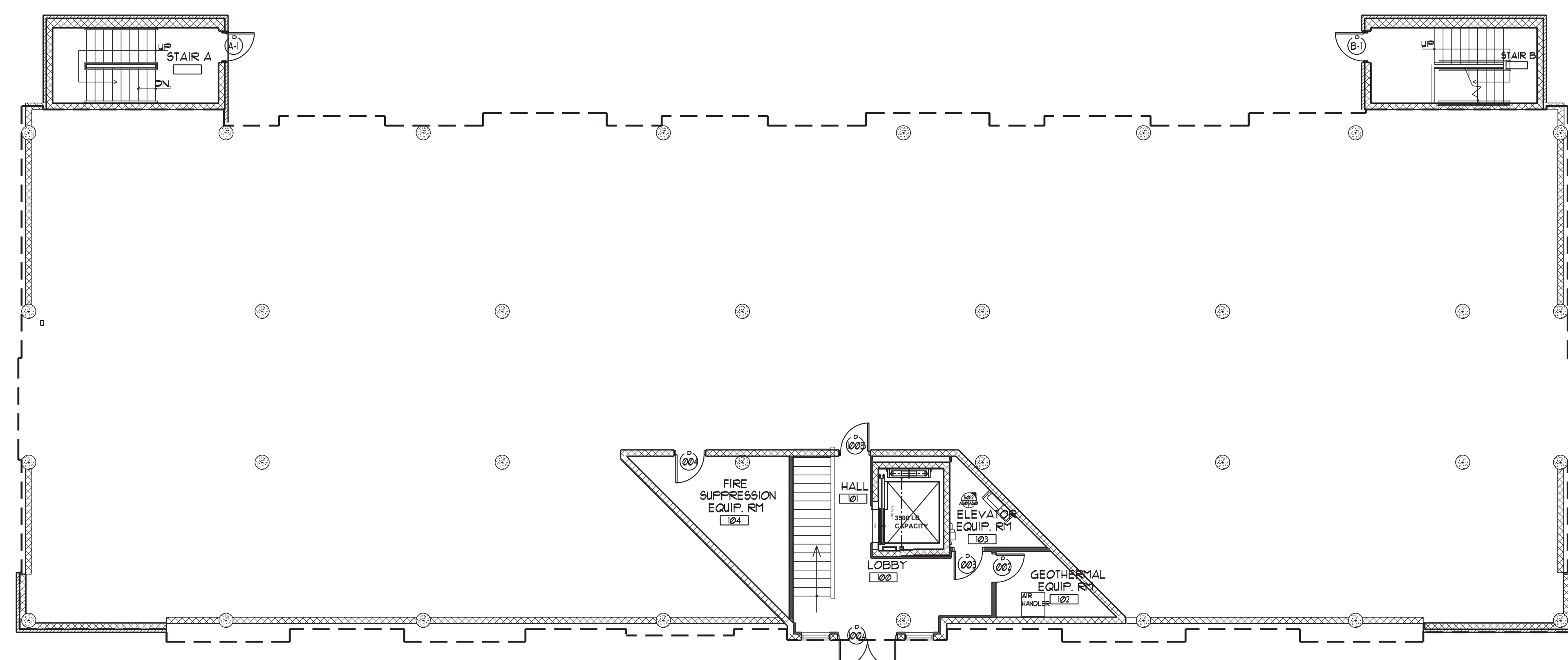
DOOR TYPES:



FIRST FLOOR DOOR SCHEDULE									
NO.	SIZE	TYPE	NEW	DOOR		FRAME		HARDWARE	REMARKS
				MAT'L	FIN.	MAT'L	FIN.		
100A	(2) 3'-0" x 1'-0" x 1-3/4"	F	•	GLASS/ALUM.	DARK BRONZE	ALUM	DARK BRONZE	13, 15	3
100B	3'-0" x 1'-0" x 1-3/4"	R	•	GLASS/ALUM.	DARK BRONZE	ALUM	DARK BRONZE	13, 15	3
002	3'-0" x 1'-0" x 1-3/4"	B	•	WOOD	PAINT	MTL	DARK BRONZE	10	4
003	3'-0" x 1'-0" x 1-3/4"	B	•	WOOD	PAINT	MTL	DARK BRONZE	10	4
004	3'-0" x 1'-0" x 1-3/4"	A	•	METAL	PAINT	MTL	DARK BRONZE	10	4
A-1	3'-0" x 1'-0" x 1-3/4"	A	•	METAL	PAINT	MTL	DARK BRONZE	16, 13	2
B-1	3'-0" x 1'-0" x 1-3/4"	A	•	METAL	PAINT	MTL	DARK BRONZE	16, 13	2



ROOF / TERRACE PLAN
1/8" = 1'-0"
NORTH



FIRST FLOOR PLAN
1/8" = 1'-0"
NORTH

MERRILL PLACE - APARTMENTS
PHASE I
1312 SEWARD
DETROIT, MICHIGAN

ISSUED FOR:
6 SEPT 19 CHECK SET
10 NOV 19 BID SET
15 APRIL 2020 RE-BID SET

SHEET# A6.01
DATE: 15 APRIL 2020
JOB# 13054

DOOR GENERAL NOTES:

- A. ALL LEVERS & LOCKING MECHANISMS SHALL MEET BARRIER FREE REQUIREMENTS
- B. ALL NEW DOORS TO RECEIVE 1 1/2 PAIRS OF HINGES UNLESS NOTED OTHERWISE

HARDWARE NOTES:

- I. LOCK SET
MFR: SCHLAGE
STYLE: LEVER 'AL' SERIES #3
FINISH: #626 SATIN CHROME
-OR- APPROVED EQUAL
- II. PASSAGE SET
MFR: SCHLAGE
STYLE: LEVER 'AL' SERIES #3
FINISH: #626 SATIN CHROME
-OR- APPROVED EQUAL
- III. PRIVACY SET
MFR: SCHLAGE
STYLE: LEVER 'AL' SERIES #3
FINISH: #626 SATIN CHROME
-OR- APPROVED EQUAL
- IV. NEW CLOSER
MFR: LCN
MODEL: #400
FINISH: DK BRONZE
-OR- APPROVED EQUAL
- V. WIRE FULL HANDLE
- VI. PUSH BAR / FULL HANDLE
FINISH: DARK BRONZE
- VII. PANIC BAR PUSH / FULL HANDLE
- VIII. APARTMENT DOOR - KEY SYSTEM
MFR: BUTTERFLY
REP: RICCO SECURITY, INC.
JOE RICCOBONO 1-586-803-0003

DOOR REMARKS:

- 1. SEE ROOM FINISH SCHEDULE, FOR PAINT SPEC
- 2. 20 MINUTE FIRE RATED DOOR & FRAME
- 3. THIS DOOR GETS APARTMENT SIGNAGE
- 4. THIS DOOR GETS GENERAL SIGNAGE

SIGNAGE

CONTRACTOR TO PROVIDE SIGNAGE TO ALL REQUIRED DOORS. IF ANY DOORS HAVE NOT BEEN CALLED OUT FOR SIGNAGE, CONTRACTOR TO PROVIDE APPROPRIATE SIGNAGE.

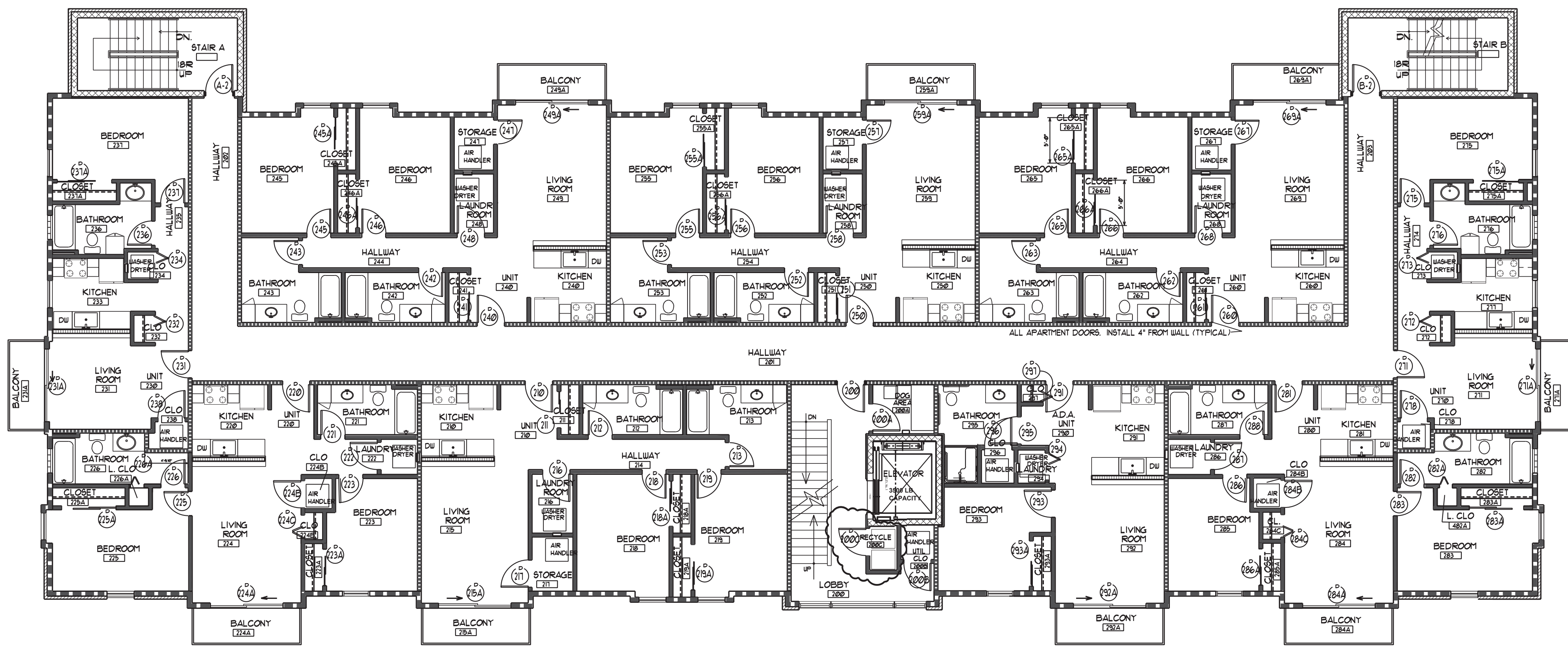
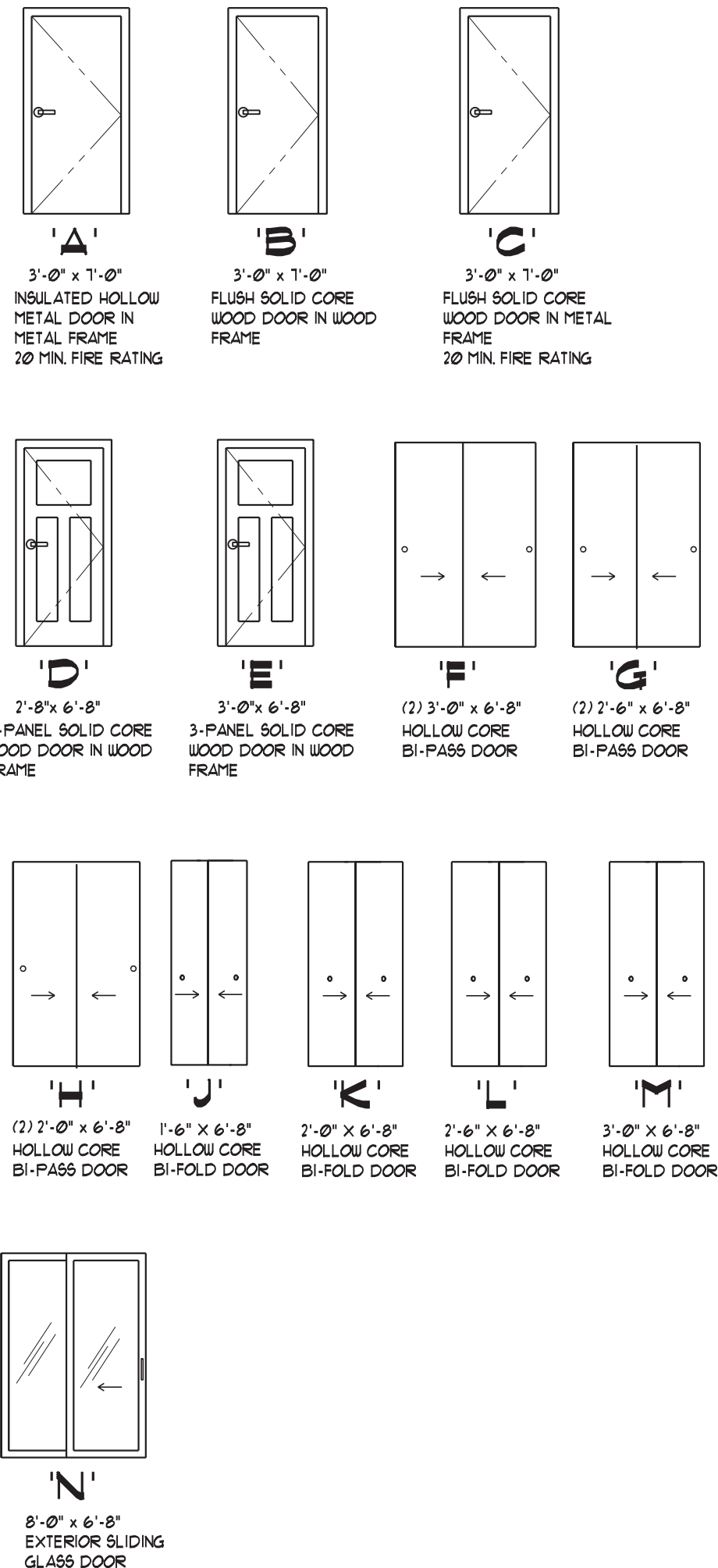
APARTMENT DOOR SIGNAGE
DESCRIPTION: METAL FRAME WITH ROOM NUMBER IN ACRYLIC INSERT
MFR: SIGNS 4 MORE (1-248-852-0683) MOLLY SIZE:
FINISHES: METAL / ACRYLIC

GENERAL SIGNAGE
MFR: SIGNS 4 MORE (1-248-852-0683) MOLLY SIZE:
8"x3" GREY ACRYLIC WITH WHITE LETTERS

SECOND FLOOR DOOR SCHEDULE

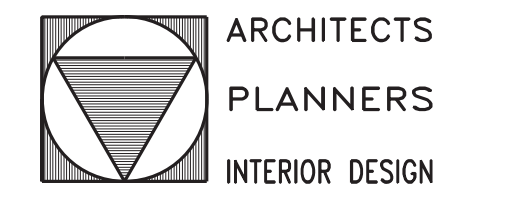
NO.	SIZE	TYPE	NEW	DOOR	FRAME	HARDWARE	REMARKS	NO.	SIZE	TYPE	NEW	DOOR	FRAME	HARDWARE	REMARKS	NO.	SIZE	TYPE	NEW	DOOR	FRAME	HARDWARE	REMARKS		
A-2	3'-0" x 7'-0" x 1-3/4"	A		METAL	PAINT	METAL	DARK BRONZE 13, 16, 2, 4	240	3'-0" x 7'-0" x 1-3/4"	C		WOOD	PAINT	METAL	DARK BRONZE 10, 13, 17, 2, 3	271	3'-0" x 7'-0" x 1-3/4"	C		WOOD	PAINT	METAL	DARK BRONZE 10, 13, 17, 2, 3		
B-2	3'-0" x 7'-0" x 1-3/4"	A		METAL	PAINT	METAL	DARK BRONZE 13, 16, 2, 4	241	(2) 2'-6" x 6'-8" x 1-3/4"	G		WOOD	PAINT	WOOD	PAINT 14	271A	8'-0" x 6'-8" x 1-3/4"	N		WOOD	PAINT	METAL	DARK BRONZE 14		
200	3'-0" x 7'-0" x 1-3/4"	A		METAL	PAINT	METAL	DARK BRONZE 13, 16, 17, 2, 3	242	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 12	272	3'-0" x 6'-8" x 1-3/4"	M		WOOD	PAINT	WOOD	PAINT 14		
200A	3'-0" x 7'-0" x 1-3/4"	B		WOOD	PAINT	WOOD	PAINT 11, 4	243	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 12	273	3'-0" x 6'-8" x 1-3/4"	M		WOOD	PAINT	WOOD	PAINT 14		
200B	3'-0" x 7'-0" x 1-3/4"	B		WOOD	PAINT	WOOD	PAINT 10, 4	245	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11	275	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11		
200C	3'-0" x 7'-0" x 1-3/4"	B		WOOD	PAINT	WOOD	PAINT 11, 4	245A	(2) 2'-6" x 6'-8" x 1-3/4"	G		WOOD	PAINT	WOOD	PAINT 14	275A	(2) 2'-6" x 6'-8" x 1-3/4"	G		WOOD	PAINT	WOOD	PAINT 14		
210	3'-0" x 7'-0" x 1-3/4"	C		WOOD	PAINT	METAL	DARK BRONZE 10, 13, 17, 2, 3	246	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11	276	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 12		
211	(2) 2'-0" x 6'-8" x 1-3/4"	H		WOOD	PAINT	WOOD	PAINT 14	246A	(2) 2'-6" x 6'-8" x 1-3/4"	G		WOOD	PAINT	WOOD	PAINT 14	276A	2'-8" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11		
212	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 12	247	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11	277	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11		
213	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 12	248	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11	278	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11		
215A	8'-0" x 6'-8" x 1-3/4"	N						249A	8'-0" x 6'-8" x 1-3/4"	N						281	3'-0" x 6'-8" x 1-3/4"	C		WOOD	PAINT	METAL	DARK BRONZE 10, 13, 17, 2, 3		
216	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11	250	3'-0" x 7'-0" x 1-3/4"	C		WOOD	STAIN	METAL	DARK BRONZE 10, 13, 17, 2, 3	282	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11		
217	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11	251	(2) 2'-6" x 6'-8" x 1-3/4"	G		WOOD	PAINT	WOOD	PAINT 14	282A	1'-6" x 6'-8" x 1-3/4"	J		WOOD	PAINT	WOOD	PAINT 14		
218	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11	252	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 12	283	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11		
218A	(2) 2'-6" x 6'-8" x 1-3/4"	G		WOOD	PAINT	WOOD	PAINT 14	253	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 12	283A	(2) 3'-0" x 6'-8" x 1-3/4"	F		WOOD	PAINT	WOOD	PAINT 14		
219	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11	255	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11	284A	8'-0" x 6'-8" x 1-3/4"	N							
219A	(2) 2'-6" x 6'-8" x 1-3/4"	G		WOOD	PAINT	WOOD	PAINT 14	255A	(2) 2'-6" x 6'-8" x 1-3/4"	G		WOOD	PAINT	WOOD	PAINT 14	284B	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11		
220	3'-0" x 7'-0" x 1-3/4"	C		WOOD	PAINT	METAL	DARK BRONZE 10, 13, 17, 2, 3	256	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11	284C	2'-6" x 6'-8" x 1-3/4"	L		WOOD	PAINT	WOOD	PAINT 14		
221	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 12	256A	(2) 2'-6" x 6'-8" x 1-3/4"	G		WOOD	PAINT	WOOD	PAINT 14	286	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11		
222	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11	257	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11	286A	(2) 2'-0" x 6'-8" x 1-3/4"	H		WOOD	PAINT	WOOD	PAINT 14		
223	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11	258	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11	287	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11		
223A	(2) 2'-0" x 6'-8" x 1-3/4"	H		WOOD	PAINT	WOOD	PAINT 14	259	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11	288	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 12		
224A	8'-0" x 6'-8" x 1-3/4"	N						259A	8'-0" x 6'-8" x 1-3/4"	N						291	3'-0" x 6'-8" x 1-3/4"	C		WOOD	PAINT	METAL	DARK BRONZE 10, 13, 17, 2, 3		
224B	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11	260	3'-0" x 7'-0" x 1-3/4"	C		WOOD	STAIN	METAL	DARK BRONZE 10, 13, 17, 2, 3	292A	8'-0" x 6'-8" x 1-3/4"	N							
224C	2'-6" x 6'-8" x 1-3/4"	L		WOOD	PAINT	WOOD	PAINT 14	261	(2) 2'-6" x 6'-8" x 1-3/4"	G		WOOD	PAINT	WOOD	PAINT 14	293	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11		
225	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11	262	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 12	293A	(2) 2'-6" x 6'-8" x 1-3/4"	G		WOOD	PAINT	WOOD	PAINT 14		
225A	(2) 3'-0" x 6'-8" x 1-3/4"	F		WOOD	PAINT	WOOD	PAINT 14	263	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 12	294	3'-0" x 6'-8" x 1-3/4"	M		WOOD	PAINT	WOOD	PAINT 14		
226	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 12	265	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11	295	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 12		
226A	1'-6" x 6'-8" x 1-3/4"	J		WOOD	PAINT	WOOD	PAINT 14	265A	(2) 2'-6" x 6'-8" x 1-3/4"	G		WOOD	PAINT	WOOD	PAINT 14	296	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11		
231	3'-0" x 7'-0" x 1-3/4"	C		WOOD	STAIN	METAL	DARK BRONZE 10, 13, 17, 2, 3	266	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11	297	2'-0" x 6'-8" x 1-3/4"	K		WOOD	PAINT	WOOD	PAINT 14		
231A	8'-0" x 6'-8" x 1-3/4"	N						266A	(2) 2'-6" x 6'-8" x 1-3/4"	G		WOOD	PAINT	WOOD	PAINT 14										
232	3'-0" x 6'-8" x 1-3/4"	M		WOOD	PAINT			267	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11										
234	3'-0" x 6'-8" x 1-3/4"	M		WOOD	PAINT			268	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11										
236	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 12	269A	8'-0" x 6'-8" x 1-3/4"	N															
237	2'-8" x 6'-8" x 1-3/4"	D		WOOD	PAINT	WOOD	PAINT 11																		
237A	(2) 3'-0" x 6'-8" x 1-3/4"	M		WOOD	PAINT																				
238	3'-0" x 6'-8" x 1-3/4"	E		WOOD	PAINT	WOOD	PAINT 11																		

DOOR TYPES:



SECOND FLOOR PLAN

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MERRILL PLACE - APARTMENTS
PHASE 1
1312 SEWARD
DETROIT, MICHIGAN

ISSUED FOR:
6 SEPT 19 CHECK SET
10 NOV 19 BID SET
15 APRIL 2020 RE-BID SET

DOOR GENERAL NOTES:

- A. ALL LEVERS & LOCKING MECHANISMS SHALL MEET BARRIER FREE REQUIREMENTS
- B. ALL NEW DOORS TO RECEIVE 1/2 PAIRS OF HINGES UNLESS NOTED OTHERWISE

HARDWARE NOTES:

- I. LOCK SET
MFG: SCHLAGE
STYLE: LEVER 'AL' SERIES '93
FINISH: '626 SATIN CHROME
-OR- APPROVED EQUAL
- II. PASSAGE SET
MFG: SCHLAGE
STYLE: LEVER 'AL' SERIES '93
FINISH: '626 SATIN CHROME
-OR- APPROVED EQUAL
- III. PRIVACY SET
MFG: SCHLAGE
STYLE: LEVER 'AL' SERIES '93
FINISH: '626 SATIN CHROME
-OR- APPROVED EQUAL
- IV. NEW CLOSER
MFG: LCN
MODEL: 4000
FINISH: DK BRONZE
-OR- APPROVED EQUAL
- V. WIRE PULL HANDLE
- VI. PUSH BAR / PULL HANDLE
FINISH: DARK BRONZE
- VII. PANIC BAR PUSH / PULL HANDLE
VIII. APARTMENT DOOR - KEY SYSTEM
MFG: BUTTERFLY
REF: RIGICO SECURITY, INC.
JOE RICCOBONO 1-586-803-0003

DOOR REMARKS:

- 1. SEE ROOM FINISH SCHEDULE FOR PAINT SPEC
- 2. 20 MINUTE FIRE RATED DOOR & FRAME
- 3. THIS DOOR GETS APARTMENT SIGNAGE
- 4. THIS DOOR GETS GENERAL SIGNAGE

SIGNAGE
CONTRACTOR TO PROVIDE SIGNAGE TO ALL REQUIRED DOORS. IF ANY DOORS HAVE NOT BEEN CALLED OUT FOR SIGNAGE, CONTRACTOR TO PROVIDE APPROPRIATE SIGNAGE.

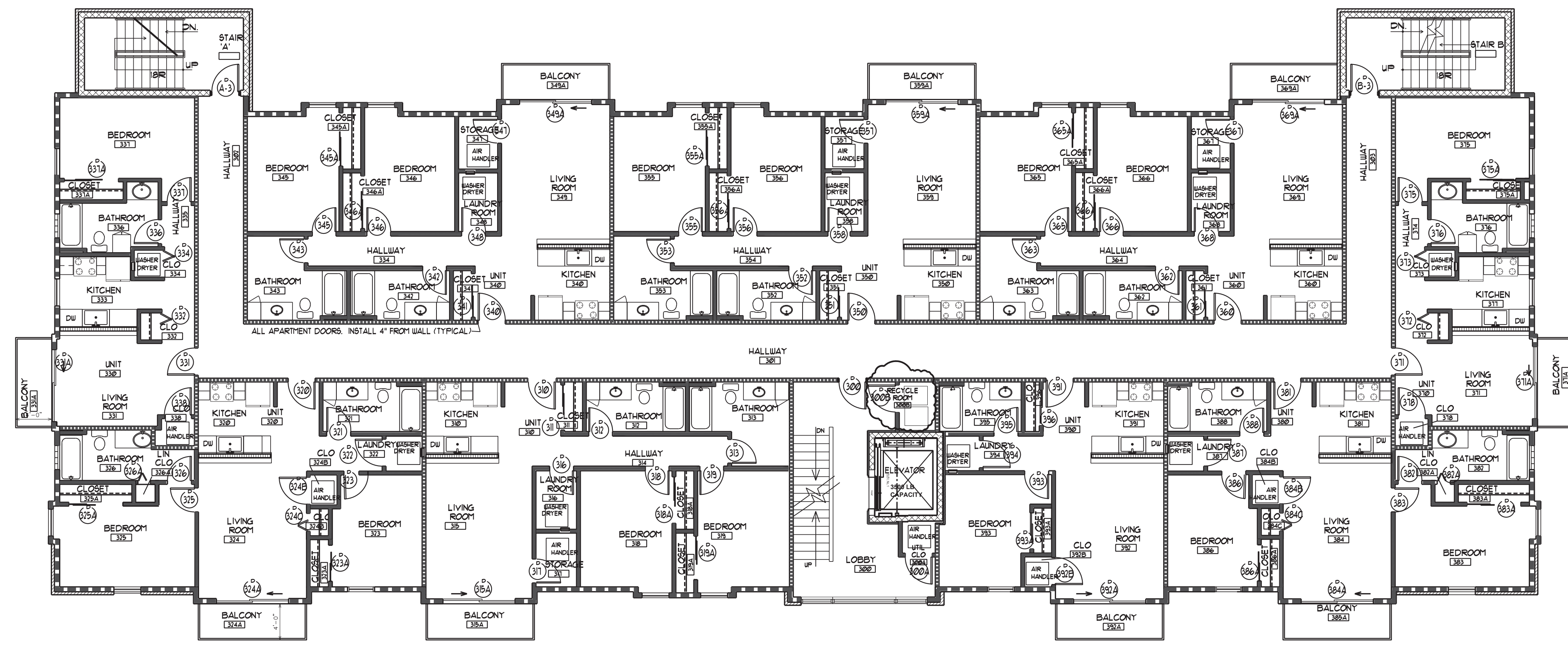
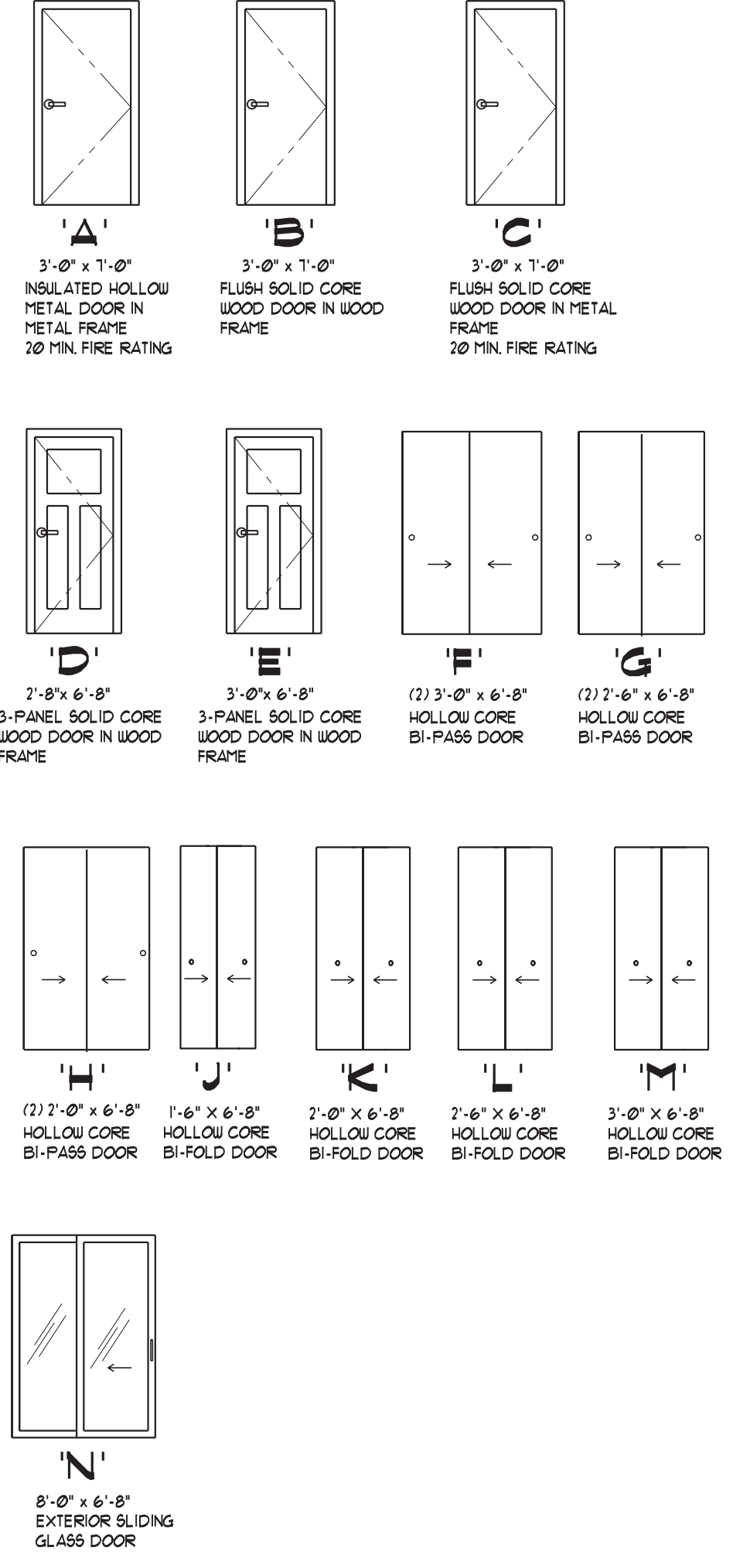
APARTMENT DOOR SIGNAGE
DESCRIPTION: METAL FRAME WITH ROOM NUMBER W/ ACRYLIC INSERT
MFG: SIGNS 4 MORE (1-248-852-0683) MOLLY
SIZE:
FINISHES: METAL / ACRYLIC

GENERAL SIGNAGE
MFG: SIGNS 4 MORE (1-248-852-0683) MOLLY
SIZE:
8"x3" GREY ACRYLIC WITH WHITE LETTERS

THIRD FLOOR DOOR SCHEDULE

NO.	SIZE	TYPE	NEW	DOOR	FRAME	HARDWARE	REMARKS	NO.	SIZE	TYPE	NEW	DOOR	FRAME	HARDWARE	REMARKS	NO.	SIZE	TYPE	NEW	DOOR	FRAME	HARDWARE	REMARKS	
A-3	3'-0" x 7'-0" x 1-3/4"	A	•	METAL PAINT	METAL	DARK BRONZE	13, 16, 2, 4	340	3'-0" x 7'-0" x 1-3/4"	C	•	WOOD PAINT	METAL	DARK BRONZE	10, 13, 17, 2, 3	371A	3'-0" x 7'-0" x 1-3/4"	C	•	WOOD PAINT	METAL	DARK BRONZE	10, 13, 17, 2, 3	
B-3	3'-0" x 7'-0" x 1-3/4"	A	•	METAL PAINT	METAL	DARK BRONZE	13, 16, 2, 4	341	(2) 2'-6" x 6'-8" x 1-3/4"	G	•	WOOD PAINT	WOOD PAINT	14	371B	8'-0" x 6'-8" x 1-3/4"	N	•	WOOD PAINT				14	
300	3'-0" x 7'-0" x 1-3/4"	A	•	METAL PAINT	METAL	DARK BRONZE	13, 16, 17, 2, 3	342	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT	12	372	3'-0" x 6'-8" x 1-3/4"	M	•	WOOD PAINT				14	
300A	3'-0" x 7'-0" x 1-3/4"	B	•	WOOD PAINT	WOOD PAINT		10, 4	343	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT	12	373	3'-0" x 6'-8" x 1-3/4"	M	•	WOOD PAINT				14	
300A	3'-0" x 7'-0" x 1-3/4"	B	•	WOOD PAINT	WOOD PAINT		11, 4	345	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT	11	375	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT			11	
310	3'-0" x 7'-0" x 1-3/4"	C	•	WOOD PAINT	METAL	DARK BRONZE	10, 13, 17, 2, 3	345A	(2) 2'-6" x 6'-8" x 1-3/4"	G	•	WOOD PAINT		14	375A	(2) 2'-6" x 6'-8" x 1-3/4"	G	•	WOOD PAINT				14	
311	(2) 2'-0" x 6'-8" x 1-3/4"	H	•	WOOD PAINT			14	346	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT	11	376	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT			12	
312	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT		12	346A	(2) 2'-6" x 6'-8" x 1-3/4"	G	•	WOOD PAINT		14	376A	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT			11	
313	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT		12	347	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT	11	378	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT			11	
315A	8'-0" x 6'-8" x 1-3/4"	N	•					348	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT	11	381	3'-0" x 6'-8" x 1-3/4"	C	•	WOOD PAINT	METAL	DARK BRONZE	10, 13, 17, 2, 3		
316	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT		11	349A	8'-0" x 6'-8" x 1-3/4"	N	•				382	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT			11	
317	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT		11	350	3'-0" x 7'-0" x 1-3/4"	C	•	WOOD STAIN	METAL	DARK BRONZE	10, 13, 17, 2, 3	382A	1'-6" x 6'-8" x 1-3/4"	J	•	WOOD PAINT				14
318	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT		11	351	(2) 2'-6" x 6'-8" x 1-3/4"	G	•	WOOD PAINT		14	383	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT			11	
318A	(2) 2'-6" x 6'-8" x 1-3/4"	G	•	WOOD PAINT			14	352	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT	12	383A	(2) 3'-0" x 6'-8" x 1-3/4"	F	•	WOOD PAINT				14	
319	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT		11	353	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT	12	384A	8'-0" x 6'-8" x 1-3/4"	N	•						
319A	(2) 2'-6" x 6'-8" x 1-3/4"	G	•	WOOD PAINT			14	355	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT	11	384B	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT			11	
320	3'-0" x 7'-0" x 1-3/4"	C	•	WOOD PAINT	METAL	DARK BRONZE	10, 13, 17, 2, 3	355A	(2) 2'-6" x 6'-8" x 1-3/4"	G	•	WOOD PAINT		14	384C	2'-6" x 6'-8" x 1-3/4"	L	•	WOOD PAINT				14	
321	2'-8" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT		12	356	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT	11	386	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT			11	
322	3'-0" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT		11	356A	(2) 2'-6" x 6'-8" x 1-3/4"	G	•	WOOD PAINT		14	386A	(2) 2'-0" x 6'-8" x 1-3/4"	H	•	WOOD PAINT				14	
323	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT		11	357	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT	11	381	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT			11	
323A	(2) 2'-0" x 6'-8" x 1-3/4"	H	•	WOOD PAINT			14	358	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT	11	388	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT			12	
324A	8'-0" x 6'-8" x 1-3/4"	N	•					359A	8'-0" x 6'-8" x 1-3/4"	N	•				391	3'-0" x 6'-8" x 1-3/4"	C	•	WOOD PAINT	METAL	DARK BRONZE	10, 13, 17, 2, 4		
324B	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT		11	360	3'-0" x 7'-0" x 1-3/4"	C	•	WOOD STAIN	METAL	DARK BRONZE	10, 13, 17, 2, 3	392A	8'-0" x 6'-8" x 1-3/4"	N	•					
324C	2'-6" x 6'-8" x 1-3/4"	L	•	WOOD PAINT			14	361	(2) 2'-6" x 6'-8" x 1-3/4"	G	•	WOOD PAINT		14	392B	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT			11	
325	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT		11	362	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT	12	393	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT			11	
325A	(2) 3'-0" x 6'-8" x 1-3/4"	F	•	WOOD PAINT			14	363	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT	12	393A	(2) 2'-0" x 6'-8" x 1-3/4"	H	•	WOOD PAINT				14	
326	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT		12	365	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT	11	394	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT			12	
326A	1'-6" x 6'-8" x 1-3/4"	J	•	WOOD PAINT			14	365A	(2) 2'-6" x 6'-8" x 1-3/4"	G	•	WOOD PAINT		14	395	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT			11	
331	3'-0" x 7'-0" x 1-3/4"	C	•	WOOD STAIN	METAL	DARK BRONZE	10, 13, 17, 2, 3	366	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT	11	396	(2) 2'-0" x 6'-8" x 1-3/4"	H	•	WOOD PAINT				14	
331A	8'-0" x 6'-8" x 1-3/4"	N	•					366A	(2) 2'-6" x 6'-8" x 1-3/4"	G	•	WOOD PAINT		14										
332	3'-0" x 6'-8" x 1-3/4"	M	•	WOOD PAINT			14	367	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT	11										
333	3'-0" x 6'-8" x 1-3/4"	M	•	WOOD PAINT			14	368	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT	11										
334	3'-0" x 6'-8" x 1-3/4"	M	•	WOOD PAINT			14	369A	8'-0" x 6'-8" x 1-3/4"	N	•													
336	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT		12																	
337	2'-8" x 6'-8" x 1-3/4"	D	•	WOOD PAINT	WOOD PAINT		11																	
337A	(2) 3'-0" x 6'-8" x 1-3/4"	M	•	WOOD PAINT			14																	
338	3'-0" x 6'-8" x 1-3/4"	E	•	WOOD PAINT	WOOD PAINT		11																	

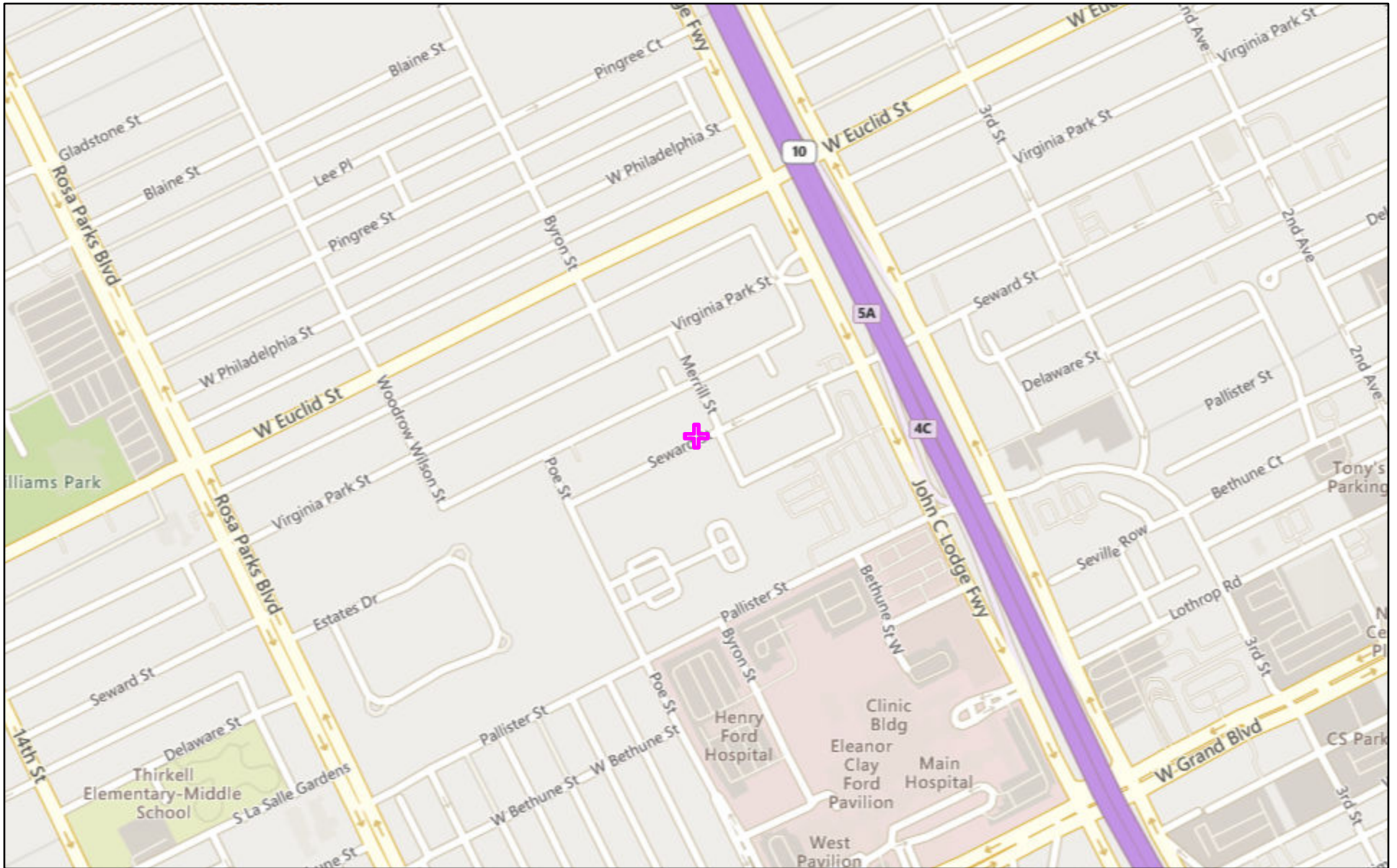
DOOR TYPES:



THIRD FLOOR PLAN
1/4" = 1'-0"

ISSUED FOR:
6 SEPT 19
CHECK SET
10 NOV 19
BID SET
15 APRIL 2020
RE-BID SET

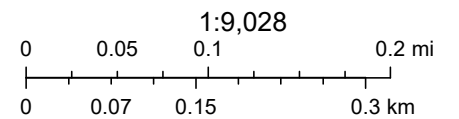
SHEET# A6.03
DATE: 15 APRIL 2020
JOB# 13054



March 23, 2022

 Search Result (point)

 National Register of Historic Places





Environmental & Engineering Services Nationwide



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INCENTIVES CONSULTING

MSHDA NOISE ASSESSMENT

Vacant Land

1312 Seward Avenue | Detroit, Michigan
PM Project Number 01-11372-0-0004

Prepared for:

Merrill Development LLC

18710 Grand River Avenue, Suite 351
Detroit, Michigan 48223

Prepared by:

PM Environmental, Inc.

3340 Ranger Road
Lansing, Michigan 48906

Know Your Risk.
Take Control.
Work with the Experts.

www.pmenv.com



Corporate Headquarters
Lansing, Michigan
3340 Ranger Road, Lansing, MI 48906
f: 877.884.6775
t: 517.321.3331

Michigan Locations
Berkley Bay City
Grand Rapids Lansing
Oak Park

December 16, 2021

Ms. Sauda Ahmad-Green
Merrill Development, LLC
18710 Grand River Avenue, Suite 351
Detroit, Michigan 48223

**Re: Desktop Noise Assessment of the Vacant Land
Located at 1312 Seward Avenue, Detroit, Michigan, Detroit, Michigan
PM Environmental, Inc. Project No. 01-11372-0-0004**

Dear Ms. Ahmad-Green:

PM Environmental, Inc. (PM) has completed the Desktop Noise Assessment of the above referenced property. This Desktop Noise Assessment was conducted in general accordance with the US Department of Housing and Urban Development (HUD) Noise Abatement and Control standards contained in 24 CFR 51B. This report was also prepared in conformance with Michigan State Housing Development Authority's (MSHDA's) Environmental Review Requirements for 2021.

The purpose of the Desktop Noise Assessment was to gather sufficient information to develop an independent professional opinion regarding possible noise concerns associated with the subject property through designated Noise Assessment Locations (NALs) on the subject property.

The Desktop Noise Assessment for the above referenced property represents the product of PM's professional expertise and judgment in the environmental consulting industry, and it is reasonable for **MERRILL DEVELOPMENT, LLC, CITY OF DETROIT, HOUSING AND REVITALIZATION DEPARTMENT, MICHIGAN ECONOMIC DEVELOPMENT CORPORATION, AND THE MICHIGAN STATE HOUSING DEVELOPMENT AUTHORITY** to rely on PM's Desktop Noise Assessment report.

If you have any questions related to this report, please do not hesitate to contact our office at 248.336.9988.

Sincerely,
PM ENVIRONMENTAL, INC.

Devon Nagengast
Staff Consultant

Carey Kratz
Regional Manager – Due Diligence

TABLE OF CONTENTS

1.0 Introduction 1
2.0 Evaluation of Noise Sources 2
 2.1: Airports 2
 2.2: Major Roadways 2
 2.3: Railroads..... 3
3.0 Calculations 4
4.0 Conclusions 4
5.0 References..... 4

APPENDICES

- Appendix A: NAL Location Map
- Appendix B: Airport Noise Contour Map
- Appendix C: Noise Source Information
- Appendix D: Day-Night Level Electronic Assessments

1.0 INTRODUCTION

PM Environmental, Inc. (PM) was retained to conduct a Desktop Noise Assessment of the Vacant Land located at 1312 Seward Avenue, Detroit, Wayne County, Michigan (hereafter referred to as the “subject property”). This Desktop Noise Assessment was conducted in general accordance with the US Department of Housing and Urban Development (HUD) Noise Abatement and Control standards contained in 24 CFR 51B. This report was also prepared in conformance with MSHDA’s Environmental Review Requirements for 2021.

THIS REPORT WAS PREPARED FOR THE EXCLUSIVE USE OF MERRILL DEVELOPMENT, LLC, CITY OF DETROIT, HOUSING AND REVITALIZATION DEPARTMENT, MICHIGAN ECONOMIC DEVELOPMENT CORPORATION, AND THE MICHIGAN STATE HOUSING DEVELOPMENT AUTHORITY, EACH OF WHOM MAY RELY ON THE REPORT’S CONTENTS.

The proposed development/rehabilitation utilizes state sources of funding. This assessment was conducted to provide the noise level and associated noise category at each designated Noise Assessment Location (NAL) at the subject property. This assessment does not include an evaluation of noise attenuation but general guidance is provided at the end of this assessment.

MSHDA requires that a noise assessment be completed properties that are located within 1,000 feet of a major roadway, 3,000 feet of a railroad, or 15 miles of a military or FAA-regulated airports.

The noise level calculated at a NAL is known as the day-night average sound level or DNL. A calculated DNL can fall within three categories:

1. Acceptable: DNL not exceeding 65 decibels (dB)
2. Normally Unacceptable: DNL above the 65 dB threshold but not exceeding 75 dB
3. Unacceptable: DNL above 75 dB

Two NALs (NAL #1 and NAL #2) on the subject property were used for this analysis based on proximity to noise sources. A map with the subject property boundaries, buildings, and NALs is included as Appendix A.

The following is a summary of the applicable noise sources identified at each NAL.

NAL #1 (northeast corner of the proposed building)

Noise Source with Applicable Distance	Name	Distance to NAL
Airports	Coleman A. Young International	4.17 miles northeast
	Windsor International	8.82 miles southeast
	Oakland Troy	12.54 miles northwest
Busy Roads	West Euclid Street	612 feet northwest
	Southbound John C. Lodge Service Drive	673 feet east
	John C. Lodge Freeway	806 feet east
	Northbound John C. Lodge On-ramp	917 feet east
	Northbound John C. Lodge Service Drive	951 feet east
	Southbound John C. Lodge Off-ramp	973 feet southeast

NAL #2 (southeast corner of the proposed building)

Noise Source with Applicable Distance	Name	Distance to NAL
Airports	Coleman A. Young International	4.17 miles northeast
	Windsor International	8.79 miles southeast
	Oakland Troy	12.57 miles northwest
Busy Roads	West Euclid Street	769 feet northwest
	Southbound John C. Lodge Service Drive	670 feet east
	John C. Lodge Freeway	802 feet east
	Northbound John C. Lodge On-ramp	932 feet east
	Northbound John C. Lodge Service Drive	946 feet east
	Southbound John C. Lodge Off-ramp	747 feet southeast

The noise sources identified within the table are further discussed below.

2.0 EVALUATION OF NOISE SOURCES

2.1: Airports

Coleman A. Young International Airport is located approximately 4.17 miles northeast of the subject property. Based on the Noise Contour Map for the airport (Appendix B), the airport is not within a distance of concern.

Windsor Airport is located approximately 8.8 miles southeast of the subject property. Based on the Noise Contour Map for the airport (Appendix B), the airport is not within a distance of concern.

Oakland Troy Airport (Y47) is located approximately 12.6 miles northwest of the subject property. This airport is the county’s executive airport with business travelers and tourists using private, corporate, and charter aircraft. Based on the small size and lack of commercial jet traffic, the airport is not within a distance of concern.

2.2: Major Roadways

The major roadways near the site are:

- West Euclid Street
- Southbound John C. Lodge Service Drive
- John C. Lodge Freeway
- Northbound John C. Lodge Service Drive
- Northbound John C. Lodge On-ramp
- Southbound John C. Lodge Off-ramp

West Euclid Street has single-lane eastbound and westbound sections. The speed limit is 25 miles per hour (mph) near the subject property. There are no stop signs within 600 feet of the subject property. Traffic counts were obtained through the Michigan Department of Transportation (MDOT). Projections were calculated through 2031. A growth rate of 1% per year compounded was judged appropriate as traffic levels are expected to remain relatively stable. AADT data was available for 2020. However, due to what appeared to be much lower than expected traffic

associated with COVID restrictions, the 2020 data was not utilized in the calculation. Traffic projections are included in Appendix C.

Southbound John C. Lodge Service Drive is a one-way service drive with three southbound lanes. The speed limit is 35 mph near the subject property. There are no stop signs within 600 feet of the subject property. Traffic counts were obtained through the MDOT. Projections were calculated through 2031. A growth rate of 1% per year compounded was judged appropriate as traffic levels are expected to remain relatively stable. AADT data was available for 2020. However, due to what appeared to be much lower than expected traffic associated with COVID restrictions, the 2020 data was not utilized in the calculation. Traffic projections are included in Appendix C.

John C. Lodge Freeway has four-lane northbound and southbound sections with a center median. There are no stop signs within 600 feet of the subject property. The speed limit is 55 mph near the subject property. There are no stop signs within 600 feet of the subject property. Traffic counts were obtained through the MDOT. Projections were calculated through 2031. A growth rate of 1% per year compounded was judged appropriate as traffic levels are expected to remain relatively stable. AADT data was available for 2020. However, due to what appeared to be much lower than expected traffic associated with COVID restrictions, the 2020 data was not utilized in the calculation. Traffic projections are included in Appendix C.

Northbound John C. Lodge Service Drive is a one-way service drive with three southbound lanes. The speed limit is 35 mph near the subject property. There are no stop signs within 600 feet of the subject property. Traffic counts were obtained through the MDOT. Projections were calculated through 2031. A growth rate of 1% per year compounded was judged appropriate as traffic levels are expected to remain relatively stable. AADT data was available for 2020. However, due to what appeared to be much lower than expected traffic associated with COVID restrictions, the 2020 data was not utilized in the calculation. Traffic projections are included in Appendix C.

Northbound John C. Lodge On-ramp is a one-lane on-ramp. The speed limit is expected to vary based on the nature of the roadway; however, PM approximated the average speed near the subject property to be 55 mph. There are no stop signs within 600 feet of the subject property. Traffic counts were obtained through the MDOT. Projections were calculated through 2031. A growth rate of 1% per year compounded was judged appropriate as traffic levels are expected to remain relatively stable. AADT data was available for 2020. However, due to what appeared to be much lower than expected traffic associated with COVID restrictions, the 2020 data was not utilized in the calculation. Traffic projections are included in Appendix C.

Southbound John C. Lodge Off-ramp is a one-lane off-ramp. The speed limit is expected to vary based on the nature of the roadway; however, PM approximated the average speed near the subject property to be 55 mph. There are no stop signs within 600 feet of the subject property. Traffic counts were obtained through the MDOT. Projections were calculated through 2031. A growth rate of 1% per year compounded was judged appropriate as traffic levels are expected to remain relatively stable. AADT data was available for 2020. However, due to what appeared to be much lower than expected traffic associated with COVID restrictions, the 2020 data was not utilized in the calculation. Traffic projections are included in Appendix C.

2.3: Railroads

No railroad tracks were identified within 3,000 feet of the subject property.

3.0 CALCULATIONS

Using the HUD DNL calculator, the combined noise level from the nearby roadways, as predicted for operations in 2031, at NAL #1, is 65 dB. This result is Acceptable.

Using the HUD DNL calculator, the combined noise level from the nearby roadways, as predicted for operations in 203, at NAL #2, is 66 dB. This result is Normally Unacceptable.

Noise DNL calculator worksheets for each NAL are provided in Appendix D.

4.0 CONCLUSIONS

The following is a summary of the findings of this assessment.

NAL #	Combined Source DNL (dB)	Category
1	66	Normally Unacceptable
2	66	Normally Unacceptable

HUD ATTENUATION GUIDANCE

The "Normally Unacceptable" noise zone includes community noise levels from above 65 dB to 75 dB. Approvals in this noise zone require a minimum of 5 dB additional sound attenuation for buildings having noise-sensitive uses if the day-night average sound level is greater than 65 dB but does not exceed 70 dB, or a minimum of 10 dB of additional sound attenuation if the day-night average sound level is greater than 70 dB but does not exceed 75 dB (HUD generally gives a 1 dB variance up to 76 dB). The project architect will need to complete attenuation documentation for the project by completing either a Sound Transmission Classification Assessment Tool (STraCAT) form or HUD Figure 19. Interior noise levels must be mitigation for 45 dB or less.

5.0 REFERENCES

- 24 CFR Part 51 Subpart B
- The Noise Guidebook, U.S. Department of Housing and Urban Development,
- Michigan Department of Transportation (MDOT)
- <https://www.hudexchange.info/programs/environmental-review/dnl-calculator/>

Appendix A





LEGEND:

- SUBJECT PROPERTY
- PARCEL / LOT BOUNDARIES
- APPROXIMATE FORMER/HISTORICAL SITE FEATURES
- PROPOSED SITE FEATURES
- PROPOSED FENCE
- WATER
- GAS
- SEWER (UNDETERMINED SANITARY AND/OR STORM)
- FORMER CHURCH
- FORMER DWELLING
- FORMER GARAGE

NOTE:

1. LOCATION OF HISTORICAL SITE FEATURES ARE APPROXIMATE ONLY.
2. REFERENCES: AERIAL PHOTOGRAPH FROM GOOGLE EARTH, IMAGERY DATE 4/7/2017.

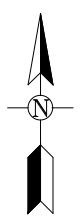


FIGURE 1
NAL LOCATION MAP

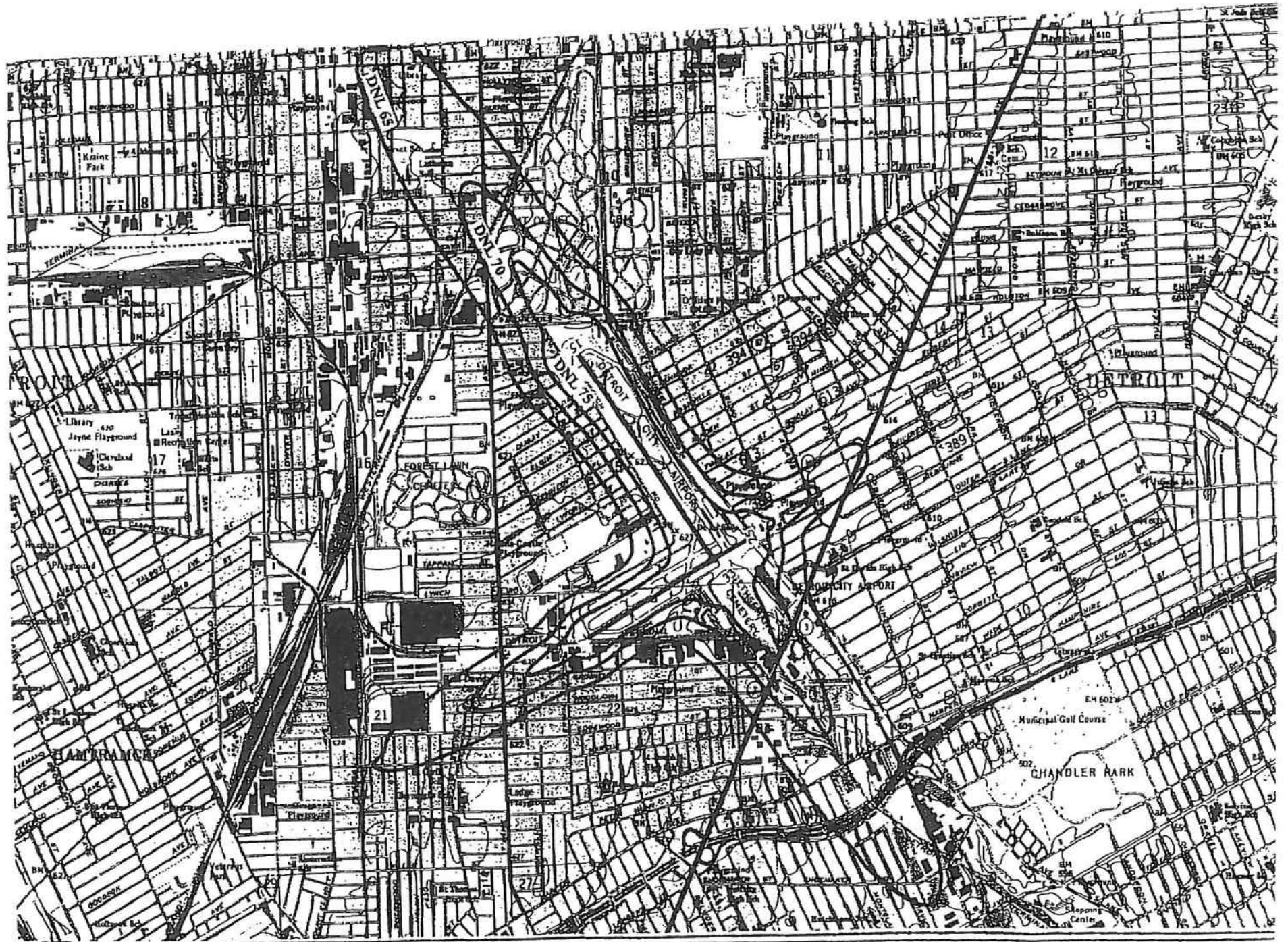
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DETROIT, MI

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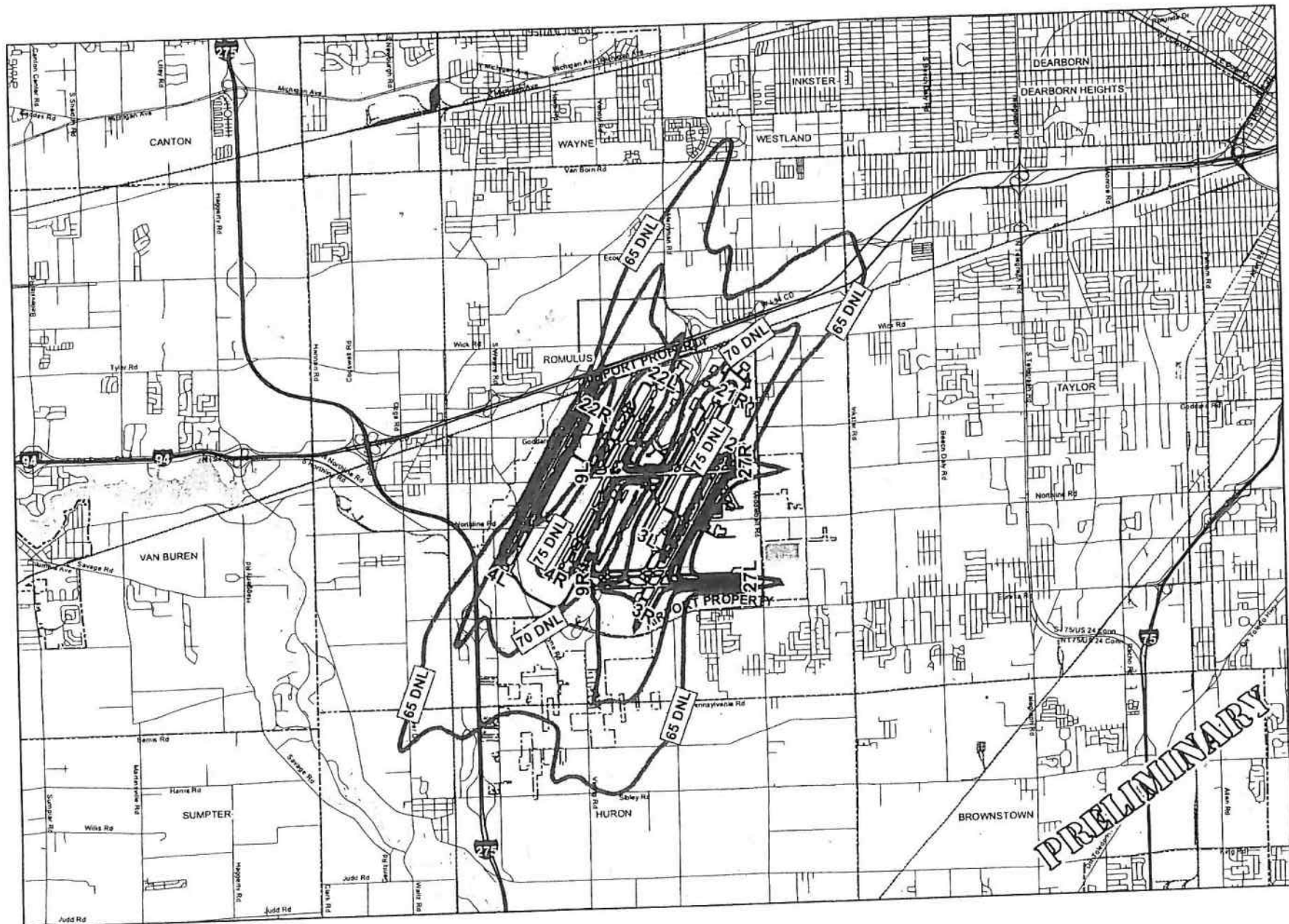
Appendix B





CITY OF DETROIT
 AIRPORT DEPARTMENT

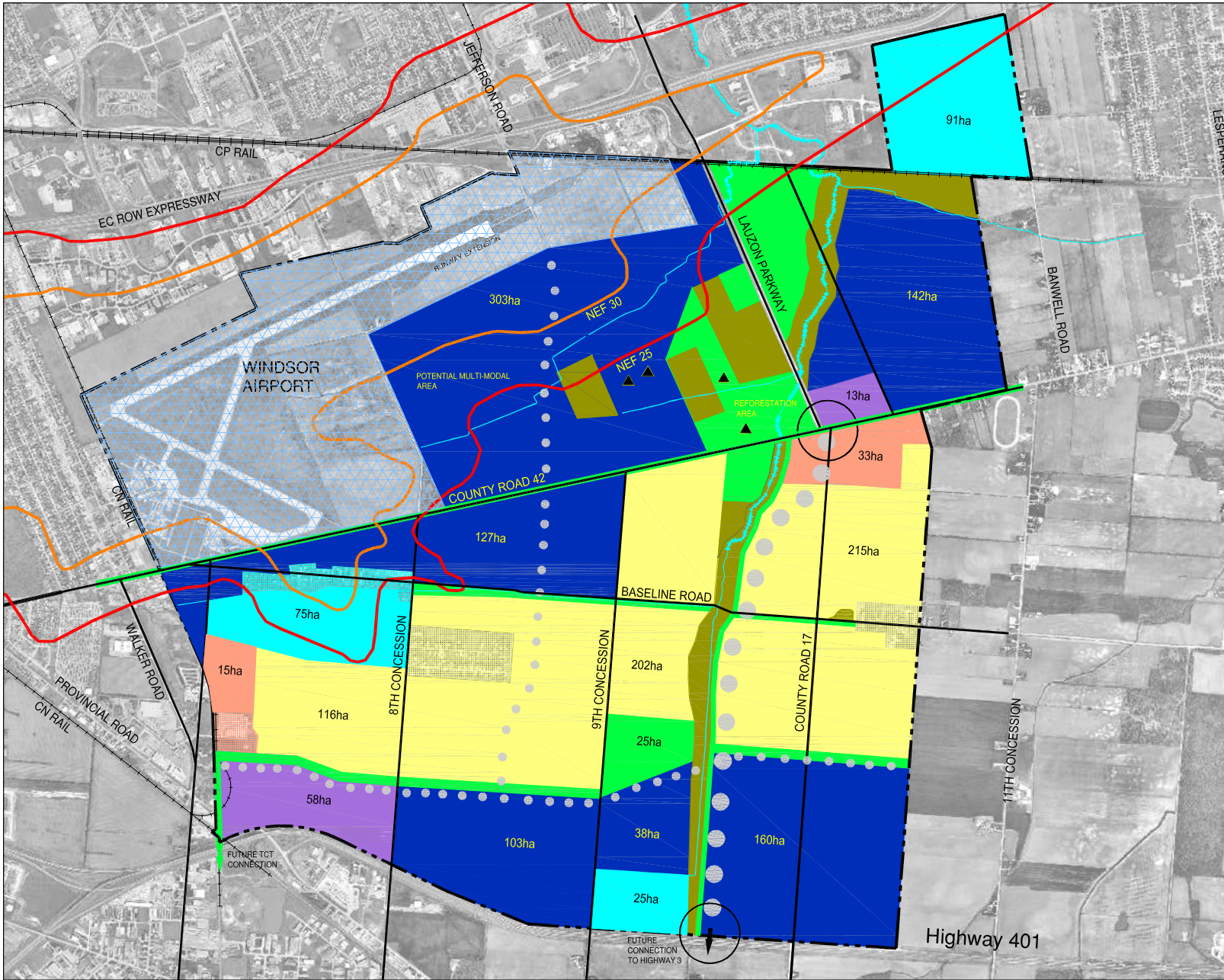
1996 BAS 'E
 NOISE EXPOSURE CONTOURS



Existing (2004) Noise Contour

Source: Michigan Department of Natural Resources: SEMCOG

DETROIT METROPOLITAN WAYNE COUNTY AIRPORT



LEGEND:

- Residential
- Commercial
- Mixed Use
- Industrial
- Business Park
- Natural Heritage/EPA
- Open Space
- Airport Lands
- Future Roads (potential location*)
- Potential Interchange
- Natural Corridor Linkage Opportunities

* Final location to be determined through the Class EA process.

LAND USE:

Residential	550ha
Mixed Use	50ha
Commercial	70ha
Business Park	190ha
Industrial	875ha
Airport	420ha

Stantec Consulting Limited

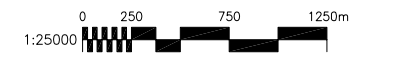
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 Fax. (519)645-6575
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CITY OF WINDSOR

**WINDSOR ANNEXED AREA
MASTER PLAN STUDY**

CONCEPT 1

September 2006 614-01073CP1.dwg





Appendix C



Auto and Heavy Truck 10-year ADT Projections

West Euclid Street

	Cars	% Change	Trucks	% Change
2018	1729	NA	30	NA
2019	1720	-1	71	137
	Avg % change:	-1	Avg % change:	137
	Avg % change (Last 5-yr Trend):	-1	Avg % change (Last 5-yr Trend):	137
	% Change/Year Assumption	1	%/Year Change Assumption	1

2031 Projections

	Cars	Trucks
2018	1729	30
2019	1720	71
2020	1737	72
2021	1755	72
2022	1772	73
2023	1790	74
2024	1808	75
2025	1826	75
2026	1844	76
2027	1863	77
2028	1881	78
2029	1900	78
2030	1919	79
2031	1938	80

Predicted 2031 Auto AADT	Predicted 2031 Truck AADT
1938	80

Auto and Heavy Truck 10-year ADT Projections

Southbound John C. Lodge Service Drive

	Cars	% Change	Trucks	% Change
2018	2591	NA	45	NA
2019	2578	-1	105	133
	Avg % change:	-1	Avg % change:	133
	Avg % change (Last 5-yr Trend):	-1	Avg % change (Last 5-yr Trend):	133
	% Change/Year Assumption	1	%/Year Change Assumption	1

2031 Projections

	Cars	Trucks
2018	2591	45
2019	2578	105
2020	2604	106
2021	2630	107
2022	2656	108
2023	2683	109
2024	2710	110
2025	2737	111
2026	2764	113
2027	2792	114
2028	2820	115
2029	2848	116
2030	2876	117
2031	2905	118

Predicted 2031 Auto AADT	Predicted 2031 Truck AADT
2905	118

Auto and Heavy Truck 10-year ADT Projections

John C. Lodge Freeway

	Cars	% Change	Trucks	% Change
2018	119997	NA	1680	NA
2019	115351	-4	6806	305
	Avg % change:	-4	Avg % change:	305
	Avg % change (Last 5-yr Trend):	-4	Avg % change (Last 5-yr Trend):	305
	% Change/Year Assumption	1	%/Year Change Assumption	1

2031 Projections

	Cars	Trucks
2018	119997	1680
2019	115351	6806
2020	116505	6874
2021	117670	6943
2022	118846	7012
2023	120035	7082
2024	121235	7153
2025	122447	7225
2026	123672	7297
2027	124909	7370
2028	126158	7444
2029	127419	7518
2030	128693	7593
2031	129980	7669

Predicted 2031 Auto AADT	Predicted 2031 Truck AADT
129980	7669

Auto and Heavy Truck 10-year ADT Projections

Northbound John C. Lodge Service Drive

	Cars	% Change	Trucks	% Change
2018	1802	NA	31	NA
2019	1793	0	72	132
	Avg % change:	0	Avg % change:	132
	Avg % change (Last 5-yr Trend):	0	Avg % change (Last 5-yr Trend):	132
	% Change/Year Assumption	1	%/Year Change Assumption	1

2031 Projections

	Cars	Trucks
2018	1802	31
2019	1793	72
2020	1811	73
2021	1829	73
2022	1847	74
2023	1866	75
2024	1884	76
2025	1903	76
2026	1922	77
2027	1942	78
2028	1961	79
2029	1981	80
2030	2000	80
2031	2020	81

Predicted 2031 Auto AADT	Predicted 2031 Truck AADT
2020	81

Auto and Heavy Truck 10-year ADT Projections

Northbound John C. Lodge On-ramp

	Cars	% Change	Trucks	% Change
2018	4070	NA	326	NA
2019	4050	0	324	-1
	Avg % change:	0	Avg % change:	-1
	Avg % change (Last 5-yr Trend):	0	Avg % change (Last 5-yr Trend):	-1
	% Change/Year Assumption	1	%/Year Change Assumption	1

2031 Projections

	Cars	Trucks
2018	4070	326
2019	4050	324
2020	4091	327
2021	4131	331
2022	4173	334
2023	4214	337
2024	4257	341
2025	4299	344
2026	4342	347
2027	4386	351
2028	4429	354
2029	4474	358
2030	4518	361
2031	4564	365

Predicted 2031 Auto AADT	Predicted 2031 Truck AADT
4564	365

Auto and Heavy Truck 10-year ADT Projections

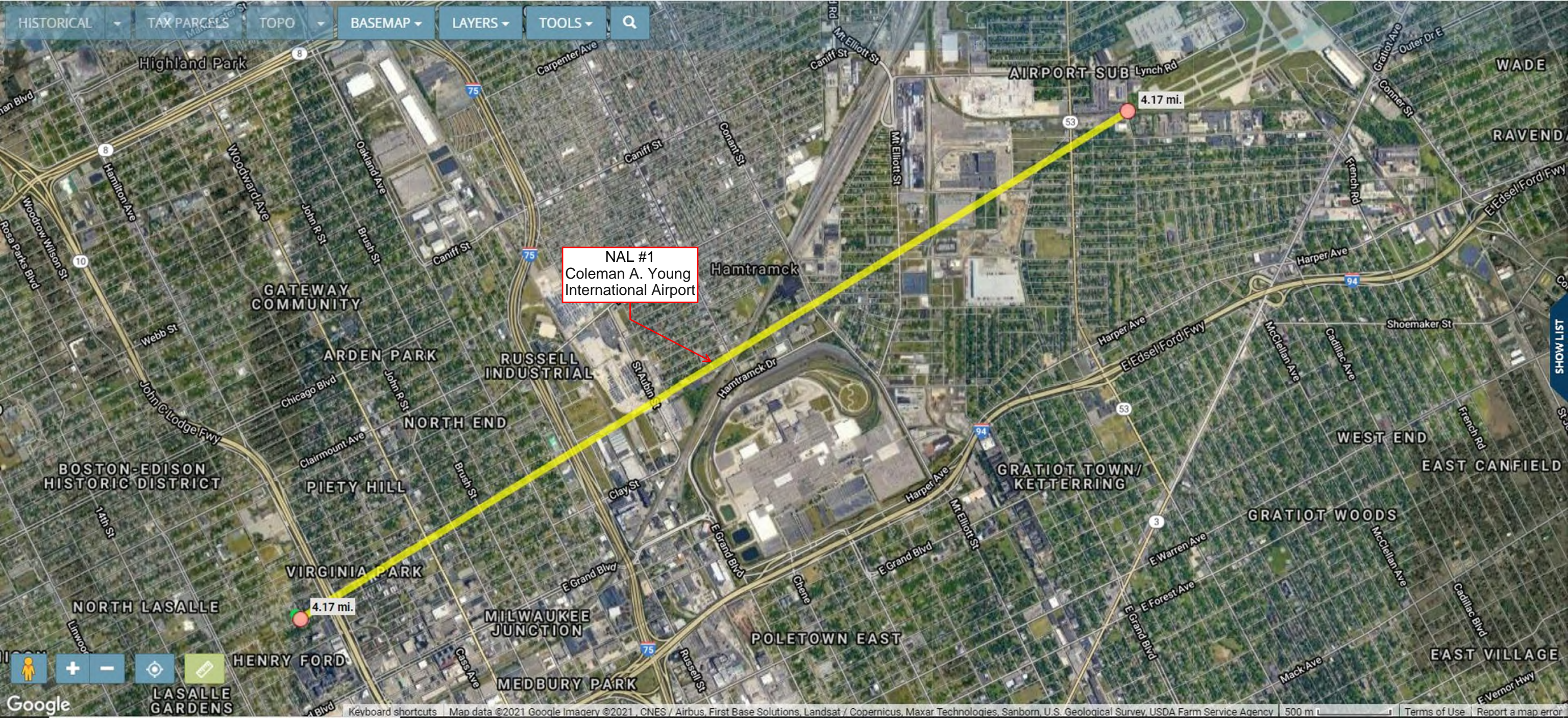
Southbound John C. Lodge Off-ramp

	Cars	% Change	Trucks	% Change
2018	4451	NA	357	NA
2019	4429	0	355	-1
	Avg % change:	0	Avg % change:	-1
	Avg % change (Last 5-yr Trend):	0	Avg % change (Last 5-yr Trend):	-1
	% Change/Year Assumption	1	%/Year Change Assumption	1

2031 Projections

	Cars	Trucks
2018	4451	357
2019	4429	355
2020	4473	359
2021	4518	362
2022	4563	366
2023	4609	369
2024	4655	373
2025	4701	377
2026	4748	381
2027	4796	384
2028	4844	388
2029	4892	392
2030	4941	396
2031	4991	400

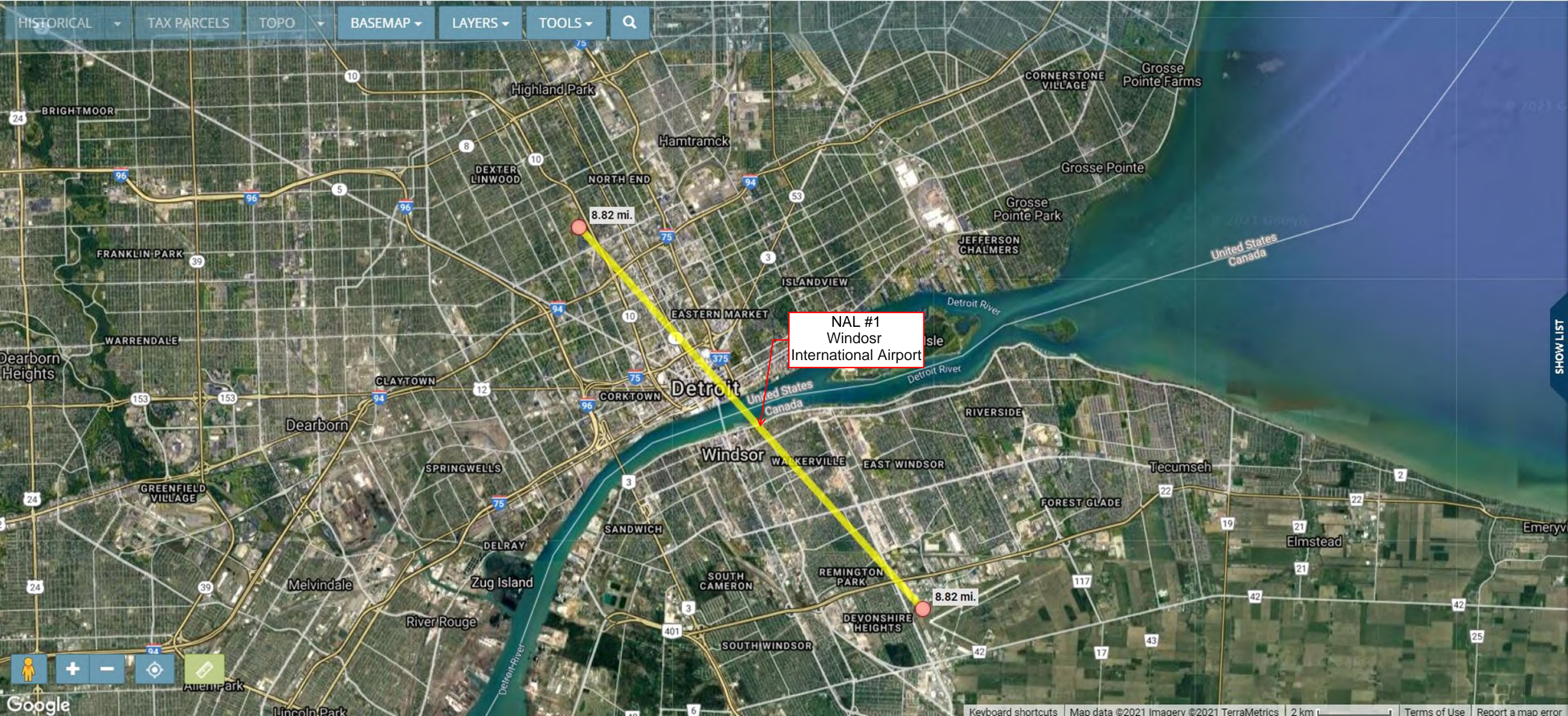
Predicted 2031 Auto AADT	Predicted 2031 Truck AADT
4991	400



NAL #1
Coleman A. Young
International Airport

4.17 mi.

4.17 mi.

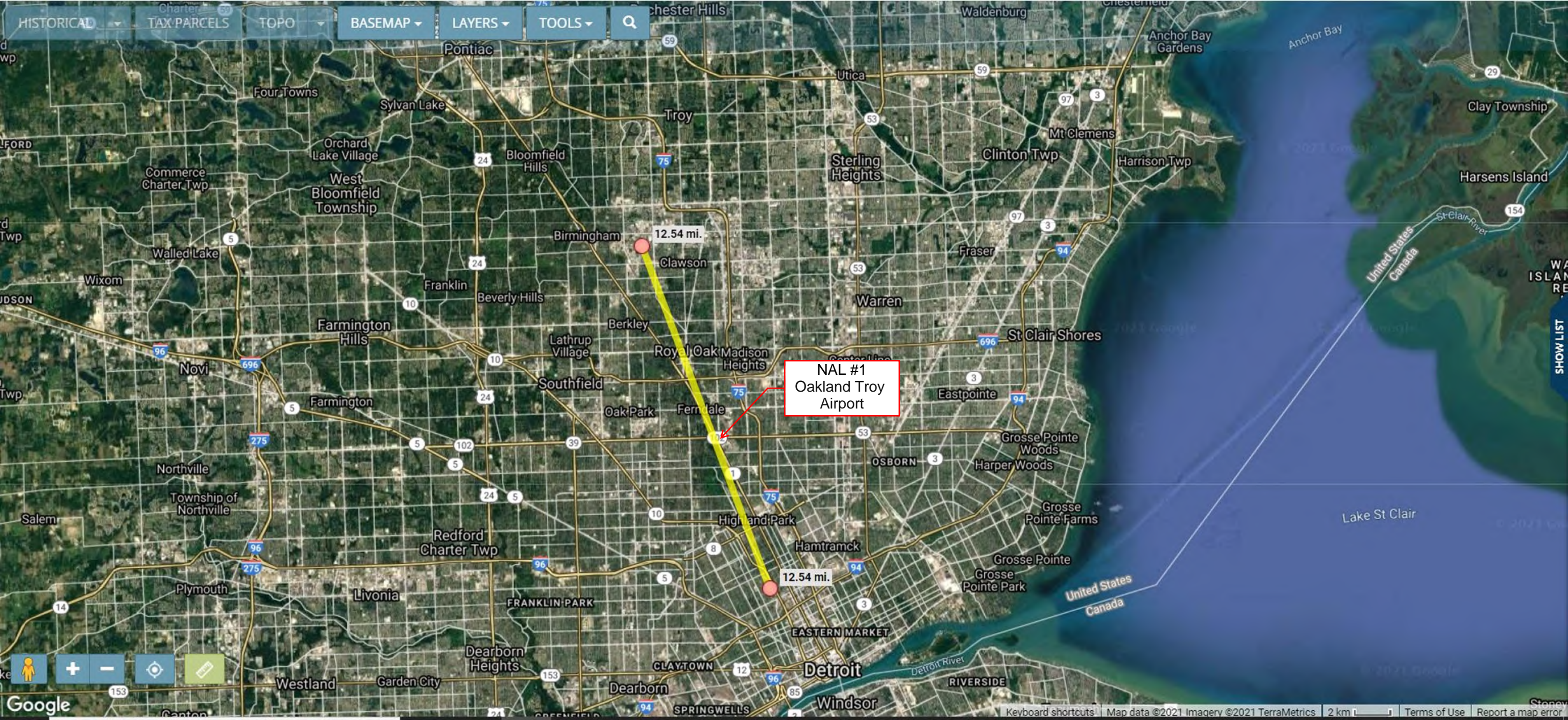


NAL #1
Windsor
International Airport

8.82 mi.

8.82 mi.

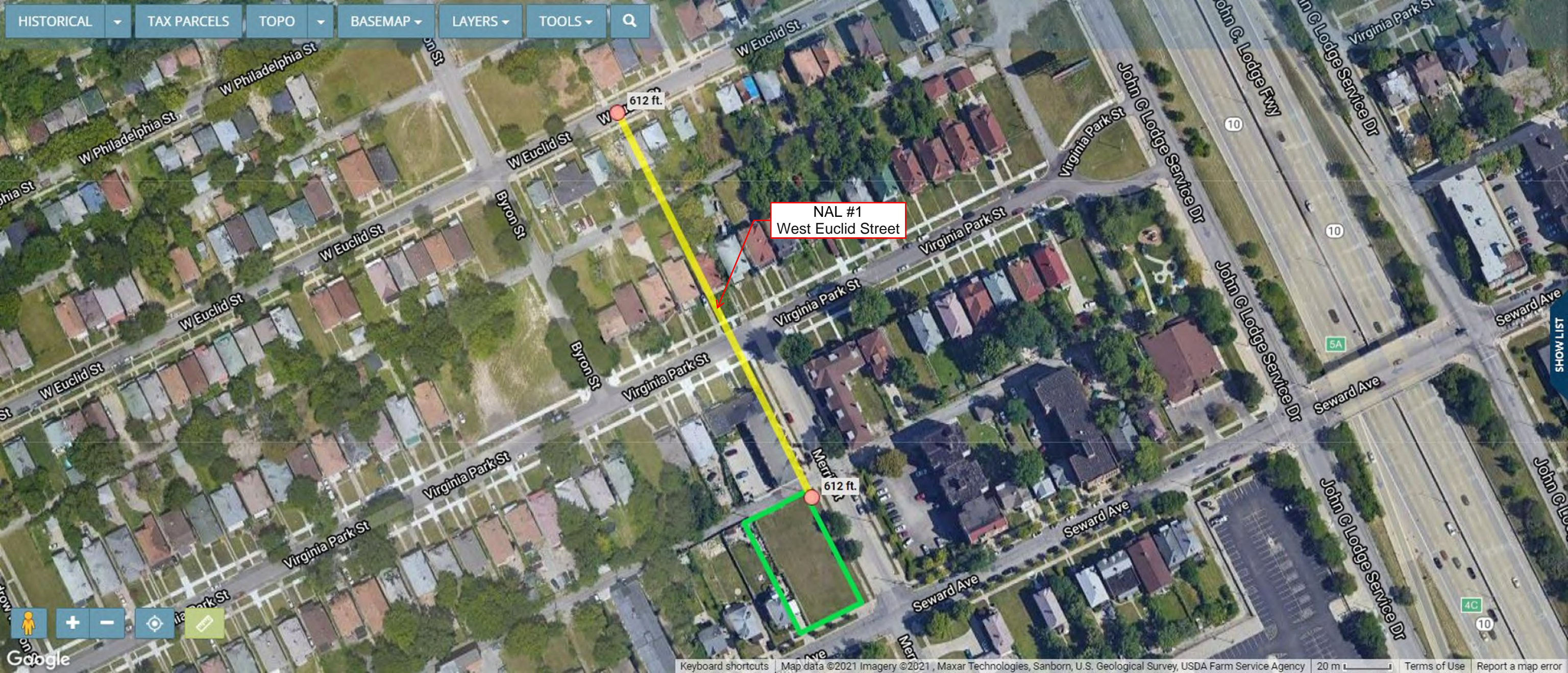
SHOW LIST



NAL #1
Oakland Troy
Airport

12.54 mi.

12.54 mi.

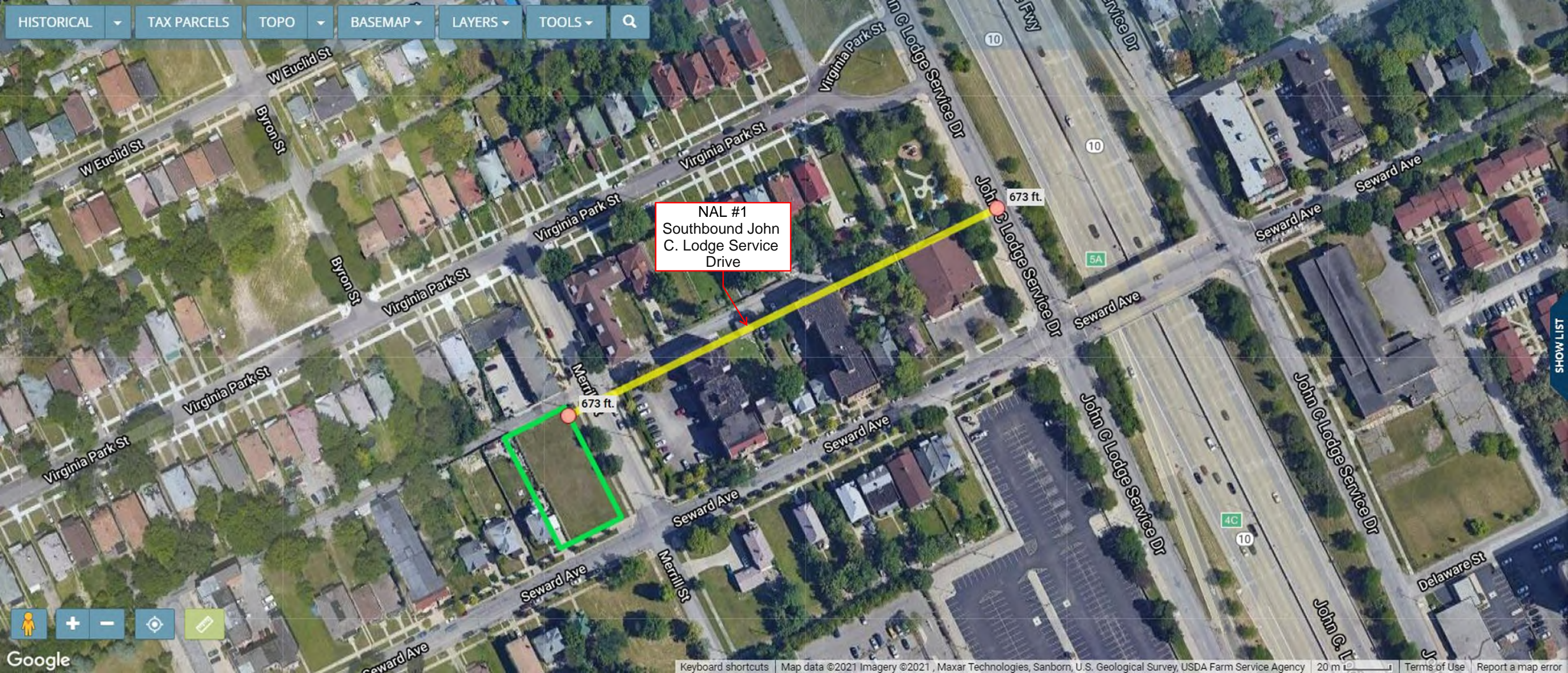


NAL #1
West Euclid Street

612 ft.

612 ft.

SHOW LIST



NAL #1
Southbound John
C. Lodge Service
Drive

673 ft.

673 ft.



SHOW LIST

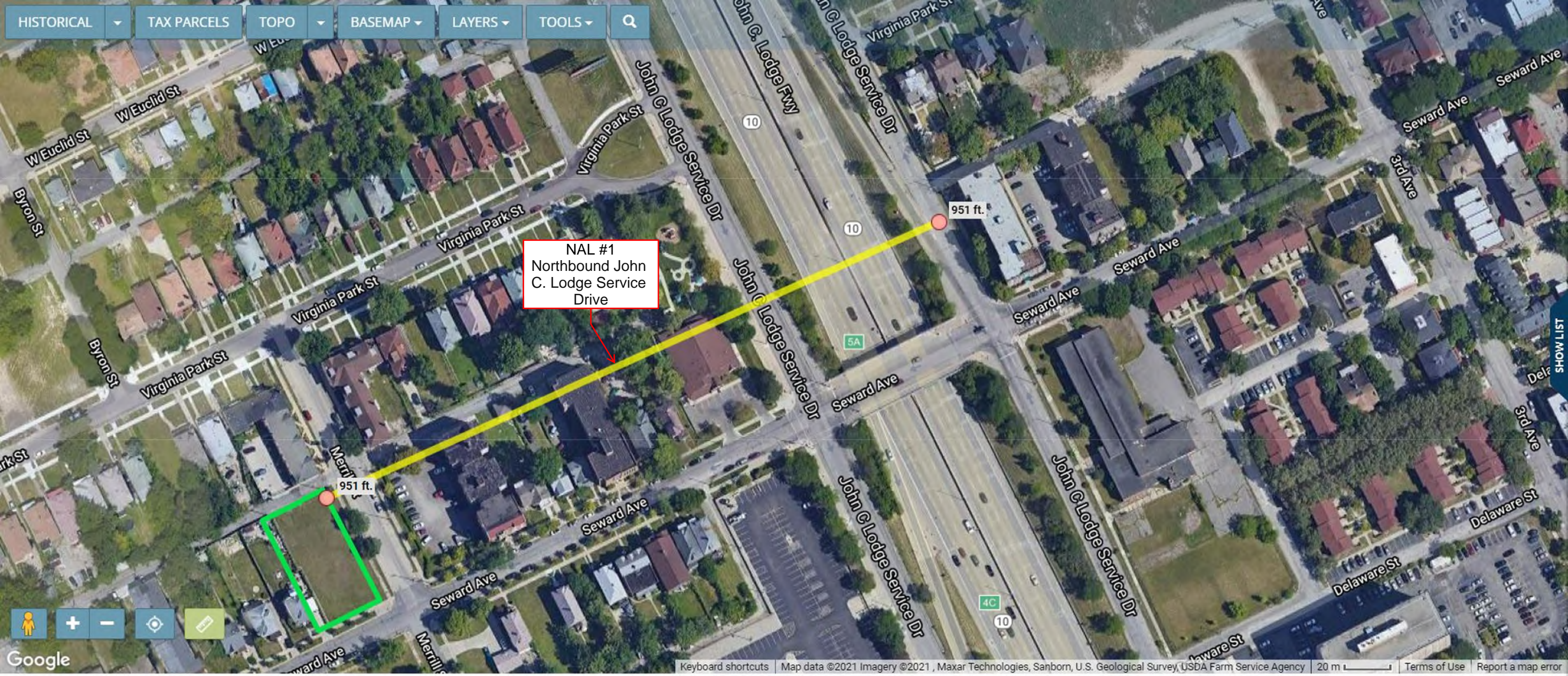


NAL #1
John C. Lodge
Freeway

806 ft.

806 ft.

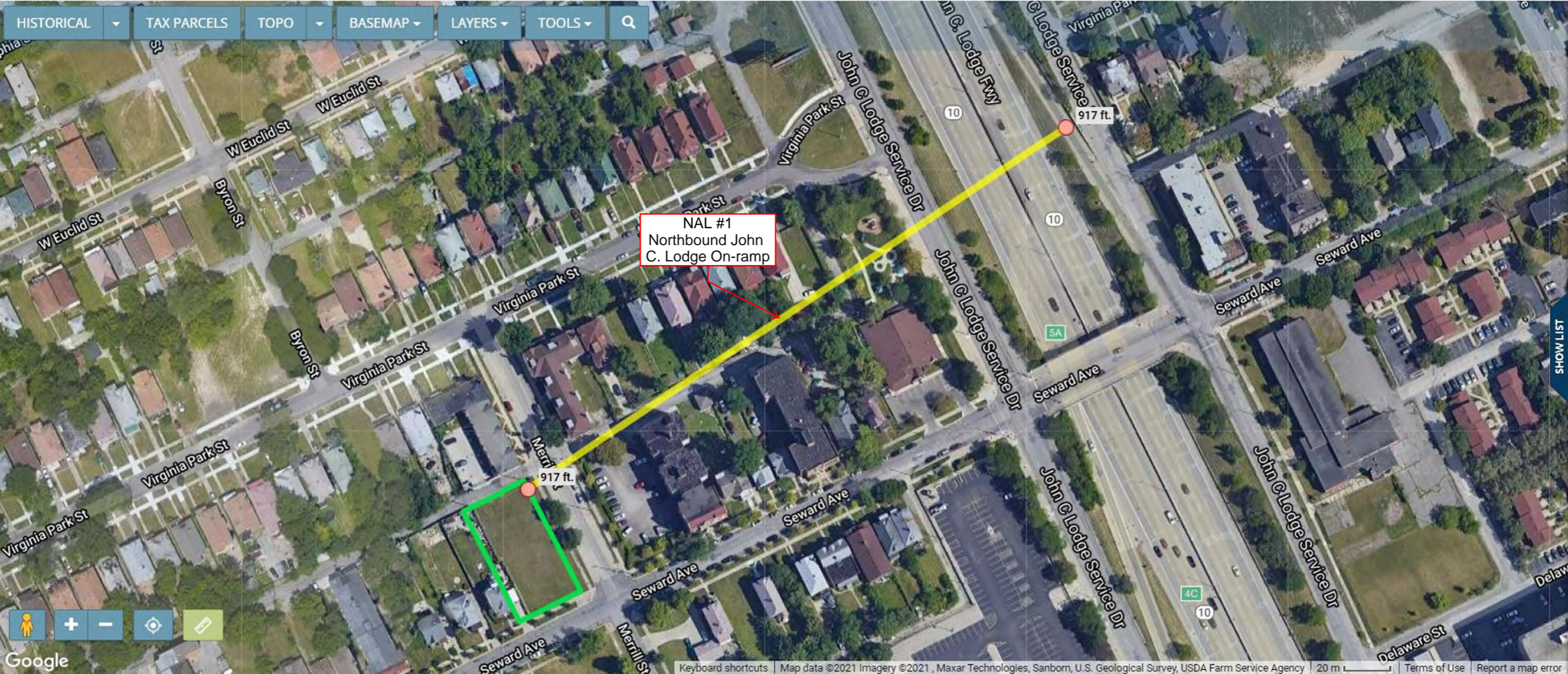
SHOW LIST



NAL #1
Northbound John
C. Lodge Service
Drive

951 ft.

951 ft.



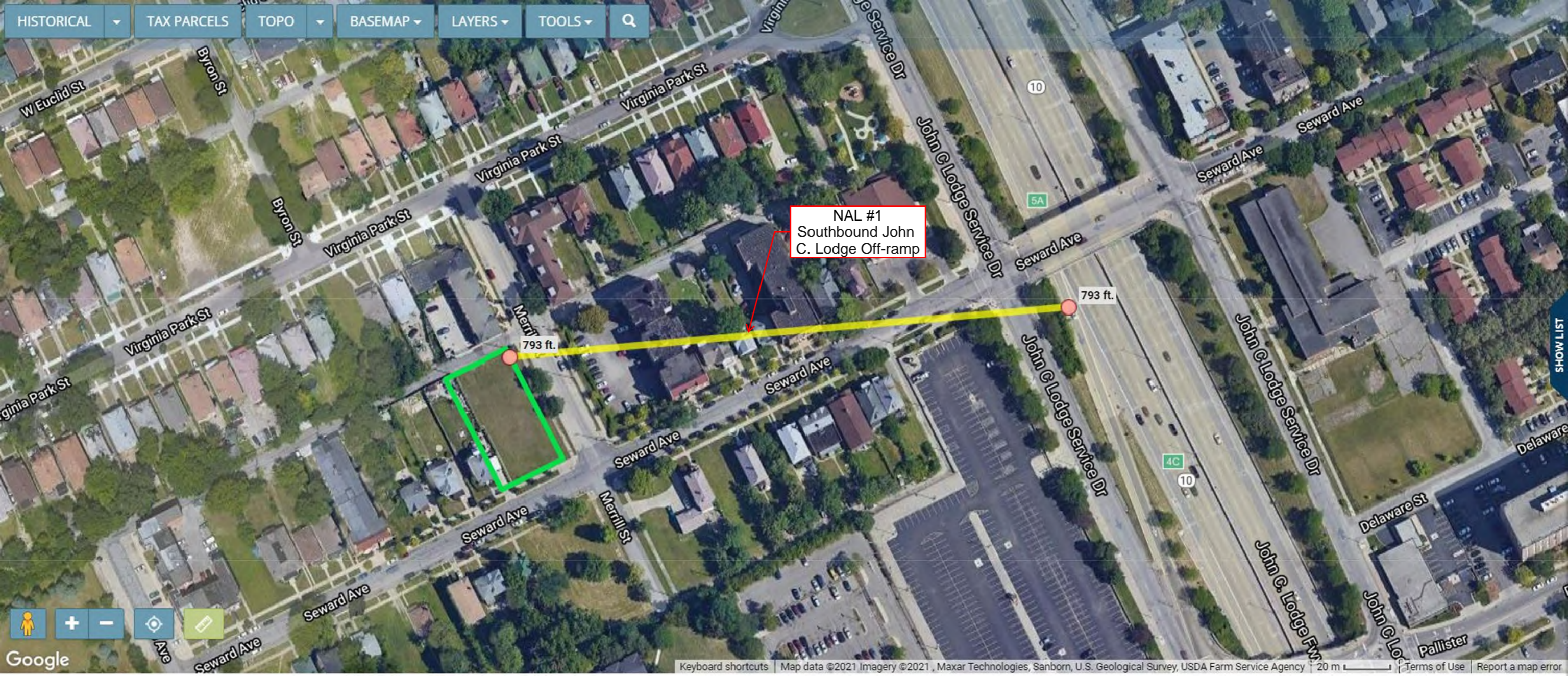
NAL #1
Northbound John
C. Lodge On-ramp

917 ft.

917 ft.



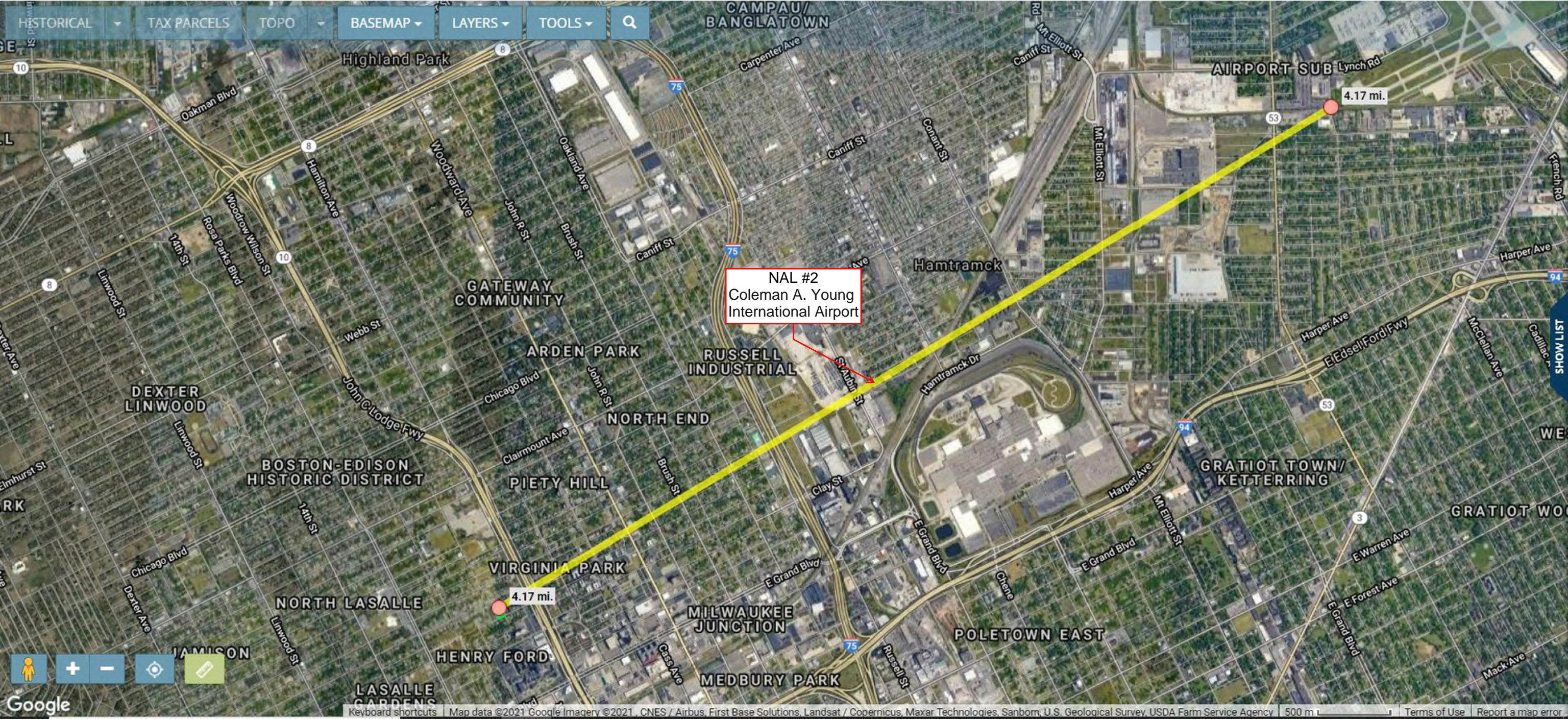
SHOW LIST



NAL #1
Southbound John
C. Lodge Off-ramp

793 ft.

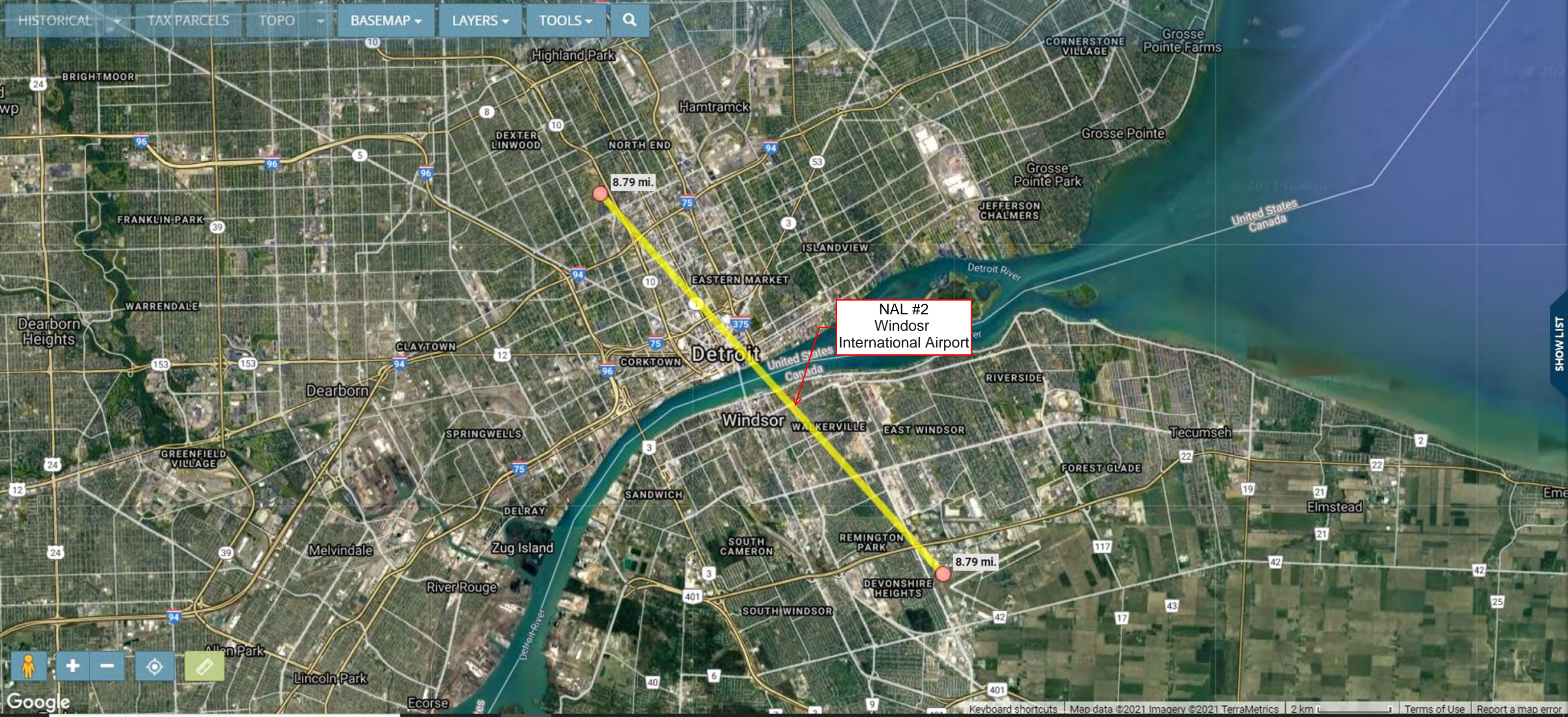
793 ft.



NAL #2
Coleman A. Young
International Airport

4.17 mi.

4.17 mi.

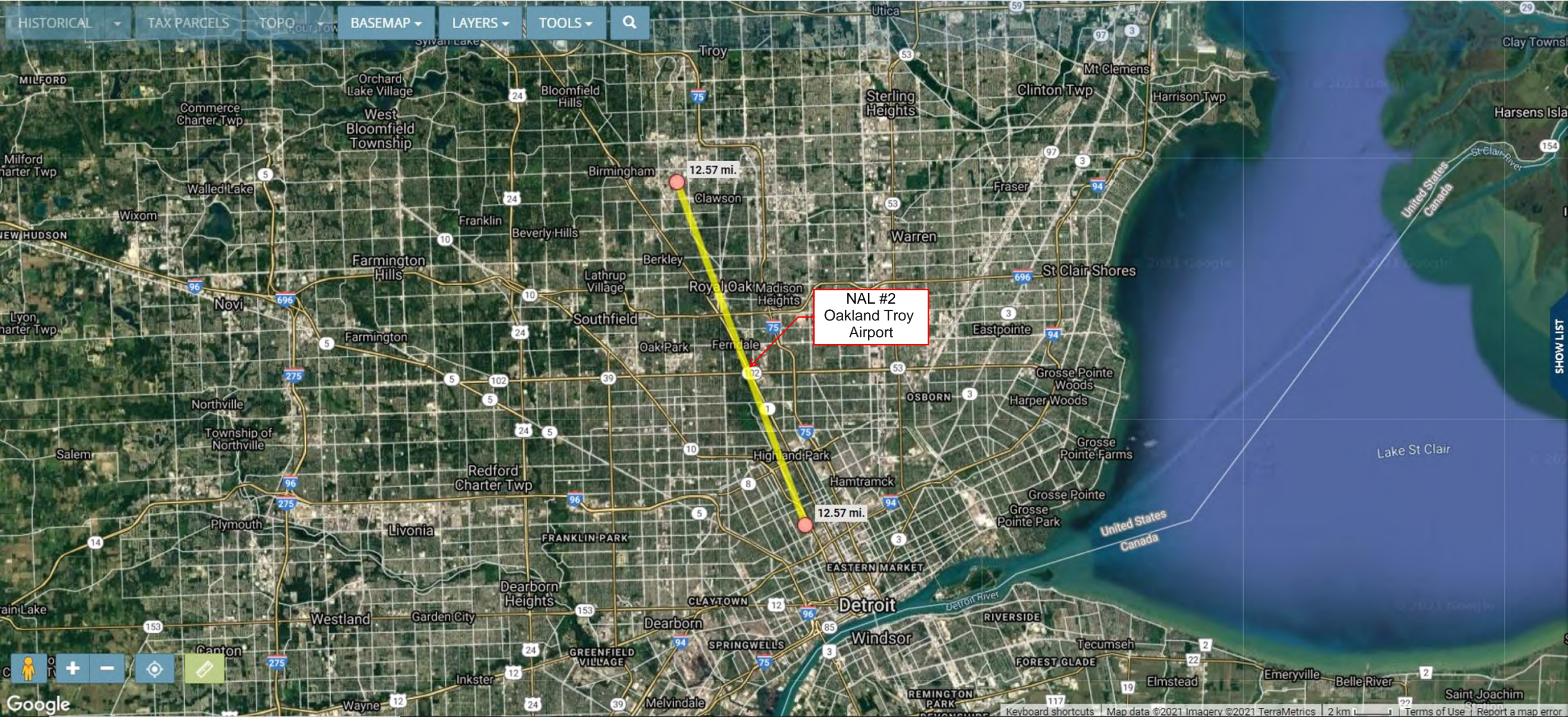


NAL #2
Windsor
International Airport

8.79 mi.

8.79 mi.

SHOW LIST



NAL #2
Oakland Troy
Airport

12.57 mi.

12.57 mi.



NAL #2
West Euclid Street

769 ft.

769 ft.

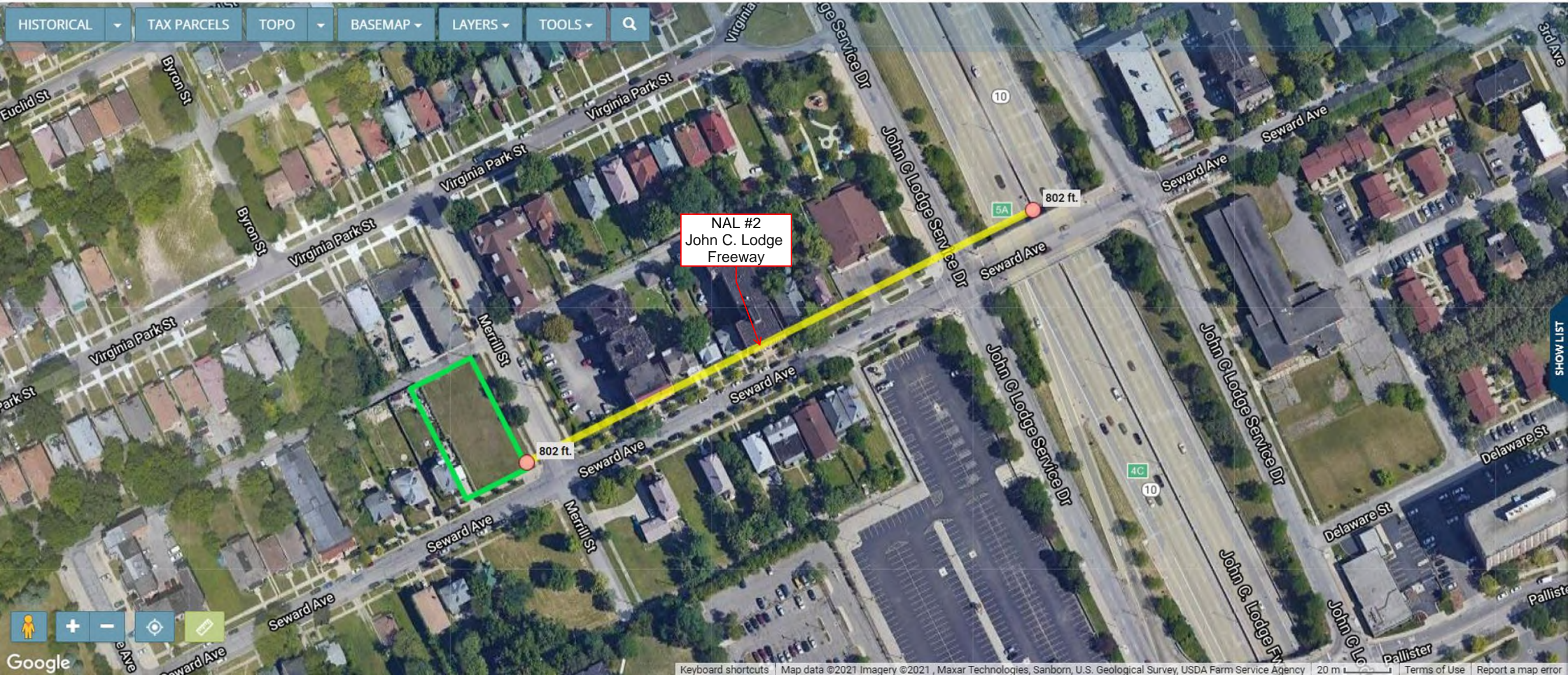
SHOW LIST



NAL #2
Southbound John
C. Lodge Service
Drive

670 ft.

670 ft.



NAL #2
John C. Lodge
Freeway

802 ft.

802 ft.

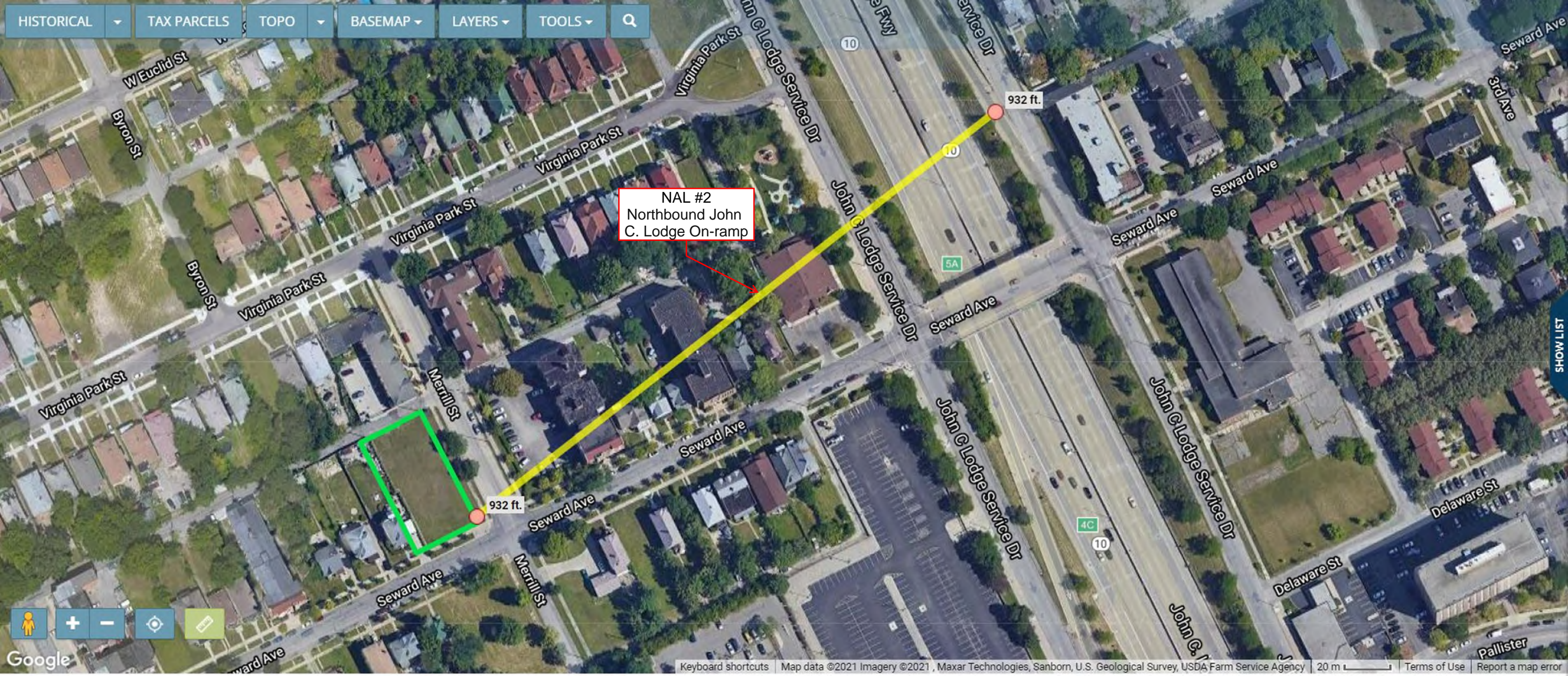


NAL #2
Northbound John
C. Lodge Service
Drive

946 ft.

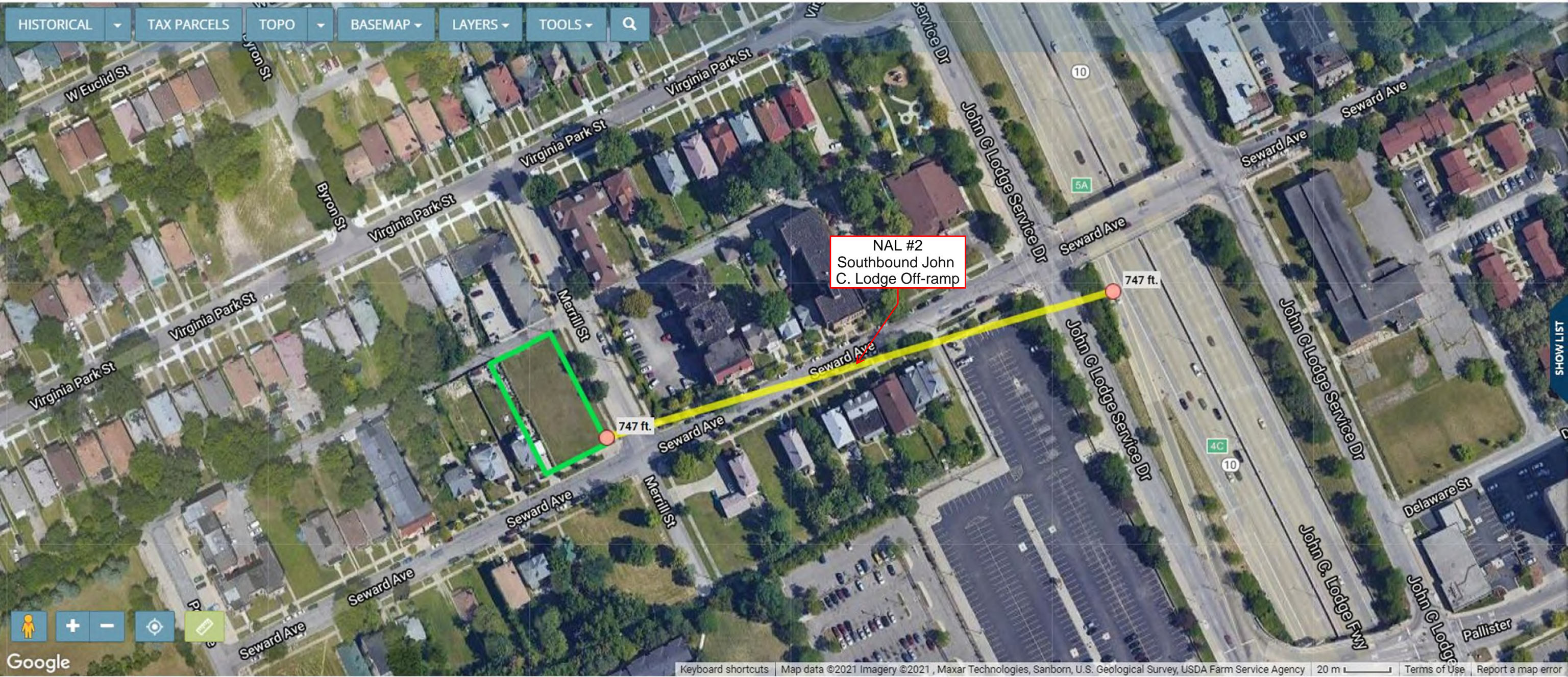
946 ft.

SHOW LIST



NAL #2
Northbound John
C. Lodge On-ramp

SHOW LIST



NAL #2
Southbound John
C. Lodge Off-ramp

747 ft.

747 ft.

Appendix D



Home (/) > Programs (/programs/) > Environmental Review (/programs/environmental-review/) > DNL Calculator

DNL Calculator

The Day/Night Noise Level Calculator is an electronic assessment tool that calculates the Day/Night Noise Level (DNL) from roadway and railway traffic. For more information on using the DNL calculator, view the [Day/Night Noise Level Calculator Electronic Assessment Tool Overview \(/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/\)](/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/).

Guidelines

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway input variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

DNL Calculator

Site ID	1312 Seward Avenue - NAL #1
Record Date	12/10/2021
User's Name	PM

Road # 1 Name:	West Euclid Street
-----------------------	---------------------------

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	612	612	612
Distance to Stop Sign			
Average Speed	25	25	25
Average Daily Trips (ADT)	1938	40	40
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	37	31	44
Calculate Road #1 DNL	45	Reset	

Road # 2 Name: Southbound John C. Lodge Service Drive

Road #2

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	673	673	673
Distance to Stop Sign			
Average Speed	35	35	35
Average Daily Trips (ADT)	2905	59	59
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	42	35	45
Calculate Road #2 DNL	47	Reset	

Road # 3 Name:

Road #3

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="806"/>	<input type="text" value="806"/>	<input type="text" value="806"/>
Distance to Stop Sign	<input type="text"/>	<input type="text"/>	<input type="text"/>
Average Speed	<input type="text" value="55"/>	<input type="text" value="55"/>	<input type="text" value="55"/>
Average Daily Trips (ADT)	<input type="text" value="129980"/>	<input type="text" value="3835"/>	<input type="text" value="3835"/>
Night Fraction of ADT	<input type="text" value="15"/>	<input type="text" value="15"/>	<input type="text" value="15"/>
Road Gradient (%)	<input type="text"/>	<input type="text"/>	<input type="text" value="2"/>
Vehicle DNL	<input type="text" value="61"/>	<input type="text" value="55"/>	<input type="text" value="63"/>
<input type="button" value="Calculate Road #3 DNL"/>	<input type="text" value="65"/>	<input type="button" value="Reset"/>	

Road # 4 Name:

Road #4

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="951"/>	<input type="text" value="951"/>	<input type="text" value="951"/>
Distance to Stop Sign	<input type="text"/>	<input type="text"/>	<input type="text"/>
Average Speed	<input type="text" value="35"/>	<input type="text" value="35"/>	<input type="text" value="35"/>
Average Daily Trips (ADT)	<input type="text" value="2020"/>	<input type="text" value="41"/>	<input type="text" value="41"/>
Night Fraction of ADT	<input type="text" value="15"/>	<input type="text" value="15"/>	<input type="text" value="15"/>

Road Gradient (%)			2
Vehicle DNL	38	31	41
Calculate Road #4 DNL	43	Reset	

Road # 5 Name: Northbound John C. Lodge On-ramp

Road #5

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	917	917	917
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	4564	183	183
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	45	41	49
Calculate Road #5 DNL	51	Reset	

Road # 6 Name: Southbound John C. Lodge Off-ramp

Road #6

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	973	973	973
Distance to Stop Sign			

Average Speed	55	55	55
Average Daily Trips (ADT)	4991	200	200
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	45	41	49
Calculate Road #6 DNL	51	Reset	

Airport Noise Level

Loud Impulse Sounds? Yes No

Combined DNL for all Road and Rail sources

Combined DNL including Airport

Site DNL with Loud Impulse Sound

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- **No Action Alternative:** Cancel the project at this location

- **Other Reasonable Alternatives:** Choose an alternate site
- **Mitigation**
 - Contact your Field or Regional Environmental Officer (</programs/environmental-review/hud-environmental-staff-contacts/>)
 - Increase mitigation in the building walls (only effective if no outdoor, noise sensitive areas)
 - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses
 - Incorporate natural or man-made barriers. See *The Noise Guidebook* (</resource/313/hud-noise-guidebook/>)
 - Construct noise barrier. See the **Barrier Performance Module** (</programs/environmental-review/bpm-calculator/>)

Tools and Guidance

Day/Night Noise Level Assessment Tool User Guide (</resource/3822/day-night-noise-level-assessment-tool-user-guide/>)

Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

Home (/) > Programs (/programs/) > Environmental Review (/programs/environmental-review/) > DNL Calculator

DNL Calculator

The Day/Night Noise Level Calculator is an electronic assessment tool that calculates the Day/Night Noise Level (DNL) from roadway and railway traffic. For more information on using the DNL calculator, view the [Day/Night Noise Level Calculator Electronic Assessment Tool Overview \(/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/\)](#).

Guidelines

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- **Note #2:** DNL Calculator assumes roadway data is always entered.

DNL Calculator

Site ID	1312 Seward Avenue - NAL #1
Record Date	12/10/2021
User's Name	PM

Road # 1 Name:	West Euclid Street
-----------------------	---------------------------

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="769"/>	<input type="text" value="769"/>	<input type="text" value="769"/>
Distance to Stop Sign	<input type="text"/>	<input type="text"/>	<input type="text"/>
Average Speed	<input type="text" value="25"/>	<input type="text" value="25"/>	<input type="text" value="25"/>
Average Daily Trips (ADT)	<input type="text" value="1938"/>	<input type="text" value="40"/>	<input type="text" value="40"/>
Night Fraction of ADT	<input type="text" value="15"/>	<input type="text" value="15"/>	<input type="text" value="15"/>
Road Gradient (%)	<input type="text"/>	<input type="text"/>	<input type="text" value="2"/>
Vehicle DNL	<input type="text" value="36"/>	<input type="text" value="29"/>	<input type="text" value="42"/>
<input type="button" value="Calculate Road #1 DNL"/>	<input type="text" value="44"/>	<input type="button" value="Reset"/>	

Road # 2 Name:

Road #2

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="670"/>	<input type="text" value="670"/>	<input type="text" value="670"/>
Distance to Stop Sign	<input type="text"/>	<input type="text"/>	<input type="text"/>
Average Speed	<input type="text" value="35"/>	<input type="text" value="35"/>	<input type="text" value="35"/>
Average Daily Trips (ADT)	<input type="text" value="2905"/>	<input type="text" value="59"/>	<input type="text" value="59"/>
Night Fraction of ADT	<input type="text" value="15"/>	<input type="text" value="15"/>	<input type="text" value="15"/>
Road Gradient (%)	<input type="text"/>	<input type="text"/>	<input type="text" value="2"/>
Vehicle DNL	<input type="text" value="42"/>	<input type="text" value="35"/>	<input type="text" value="45"/>
<input type="button" value="Calculate Road #2 DNL"/>	<input type="text" value="47"/>	<input type="button" value="Reset"/>	

Road # 3 Name:

Road #3

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="802"/>	<input type="text" value="802"/>	<input type="text" value="802"/>
Distance to Stop Sign	<input type="text"/>	<input type="text"/>	<input type="text"/>
Average Speed	<input type="text" value="55"/>	<input type="text" value="55"/>	<input type="text" value="55"/>
Average Daily Trips (ADT)	<input type="text" value="129980"/>	<input type="text" value="3835"/>	<input type="text" value="3835"/>
Night Fraction of ADT	<input type="text" value="15"/>	<input type="text" value="15"/>	<input type="text" value="15"/>
Road Gradient (%)	<input type="text"/>	<input type="text"/>	<input type="text" value="2"/>
Vehicle DNL	<input type="text" value="61"/>	<input type="text" value="55"/>	<input type="text" value="63"/>
<input type="button" value="Calculate Road #3 DNL"/>	<input type="text" value="65"/>	<input type="button" value="Reset"/>	

Road # 4 Name:

Road #4

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="946"/>	<input type="text" value="946"/>	<input type="text" value="946"/>
Distance to Stop Sign	<input type="text"/>	<input type="text"/>	<input type="text"/>
Average Speed	<input type="text" value="35"/>	<input type="text" value="35"/>	<input type="text" value="35"/>
Average Daily Trips (ADT)	<input type="text" value="2020"/>	<input type="text" value="41"/>	<input type="text" value="41"/>
Night Fraction of ADT	<input type="text" value="15"/>	<input type="text" value="15"/>	<input type="text" value="15"/>

Road Gradient (%)			2
Vehicle DNL	38	31	41
Calculate Road #4 DNL	43	Reset	

Road # 5 Name: Northbound John C. Lodge On-ramp

Road #5

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	932	932	932
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	4564	183	183
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	45	41	49
Calculate Road #5 DNL	51	Reset	

Road # 6 Name: Southbound John C. Lodge Off-ramp

Road #6

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	747	747	747
Distance to Stop Sign			

Average Speed	55	55	55
Average Daily Trips (ADT)	4991	200	200
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	47	43	50
Calculate Road #6 DNL	53	Reset	

 Airport Noise Level

Loud Impulse Sounds?

 Yes No

 Combined DNL for all
Road and Rail sources

66

Combined DNL including Airport

N/A

 Site DNL with Loud Impulse Sound

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- **No Action Alternative:** Cancel the project at this location

- **Other Reasonable Alternatives:** Choose an alternate site
- **Mitigation**
 - Contact your Field or Regional Environmental Officer (</programs/environmental-review/hud-environmental-staff-contacts/>)
 - Increase mitigation in the building walls (only effective if no outdoor, noise sensitive areas)
 - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses
 - Incorporate natural or man-made barriers. See *The Noise Guidebook* (</resource/313/hud-noise-guidebook/>)
 - Construct noise barrier. See the **Barrier Performance Module** (</programs/environmental-review/bpm-calculator/>)

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Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

Part I - Description

Project

MERRILL PLACE

Sponsor/Developer

MERRILL DEVELOPMENT LLC

Location

DETROIT

Prepared by

ARCHITECT

Noise Level

66

Date

6/22/2022



Primary Source(s)

ROAD NOISE

Part II - Wall Components

Part II - Wall Components

Wall Construction Detail

Area

STC

2"x6" wood studs; 16"o.c.; 5 1/2" glass fiber insulation; 5/8" soundbreak XP wall board one side; 5/8" hi-impact XP gypsum board on RC-1 other side

5031

58

4x8x18" concrete block with common brick all mortared together and 1/2" gypsum on resilient channels

1480

56

Add new wall

**6,511 Sq.
Feet**

57.46

Window Construction Detail

Quantity

Sq

Ft/Unit

STC

3'x5' wood-framed double hung window each sash has one 7/16" glass panel and one storm sash glazed single strength upper sash 1 1/2" and lower sash 2 13/16" air spaces

21

15

35

6'x5' wood-framed picture window single panel glazed double strength with storm sash 3 3/4" air space

17

30

38

Add new window

Door Construction Detail

Quantity

Sq

Ft/Unit

STC

6'x6' sliding glass door 3/4" insulating glass (double pane 1/8" each with 1/2" air space) one door opens and one fixed

22

36

28

Add new door

Part III - Results

Part III - RESULTS

Wall Statistics

Stat	Value
Area:	6511 ft ²
Wall STC:	57.46

Aperture Statistics

Aperture	Count	Area	% of wall
Windows:	38	825 ft ²	12.67%
Doors:	22	792 ft ²	12.16%

Evaluation Criteria

Criteria	Value
Noise source sound level (dB):	66
Combined STC for wall assembly:	36.54
Required STC rating:	25

Does wall assembly meet requirements?

Yes

Print





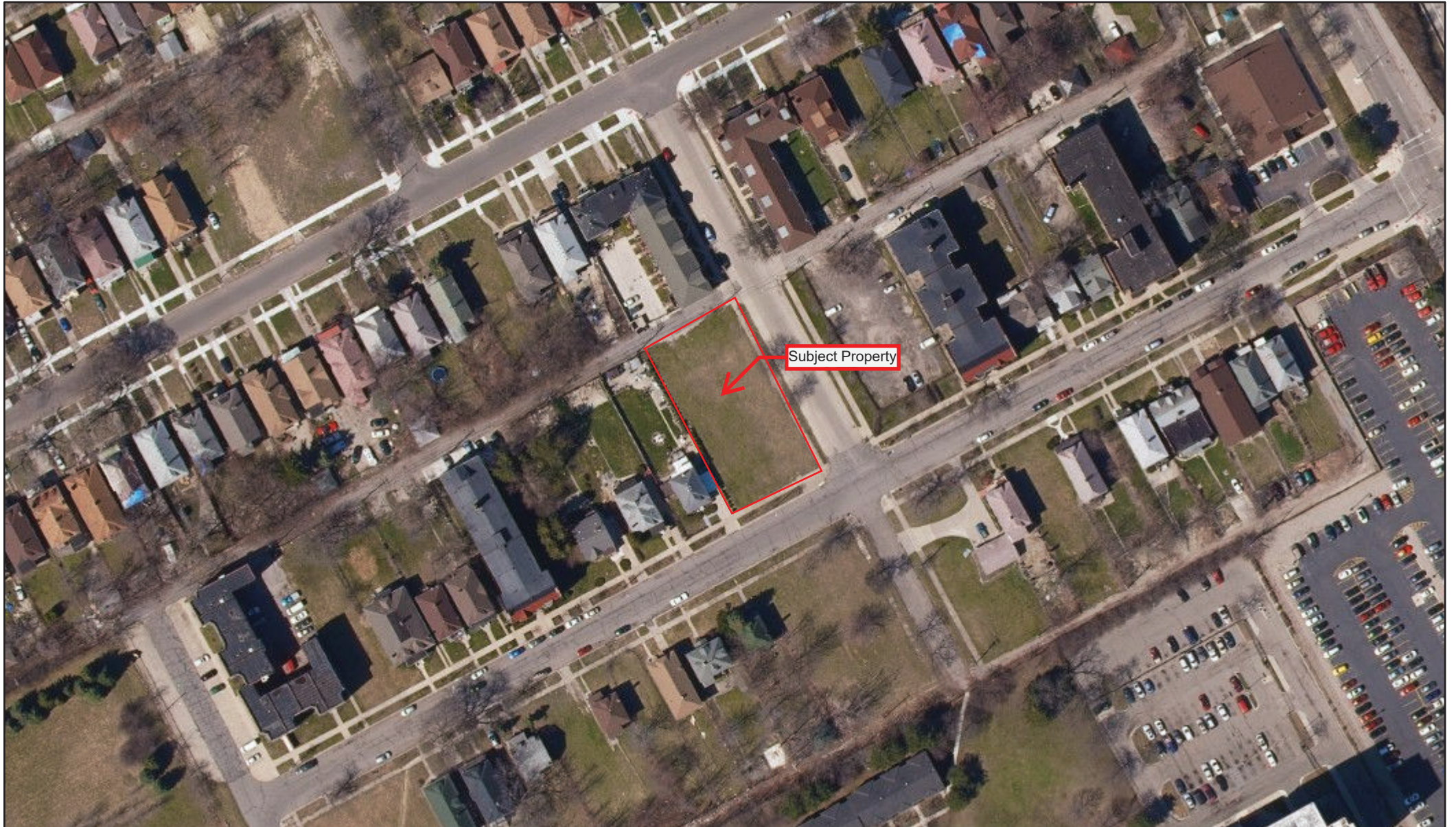
March 24, 2022

Wetlands

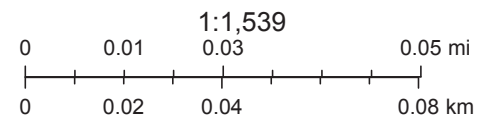
- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Wetlands Map Viewer



March 23, 2022



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Disclaimer: This map is not intended to be used to determine the specific



MICHIGAN

Michigan has approximately 51,438 miles of river, of which 656.4 miles are designated as wild & scenic—just a bit more than 1% of the state's river miles.



Choose A State

Choose A River

Nourished by the fertile soils of the region, rivers of the Midwest explode with life, from great avian migrations to ancient fishes.

[+ View larger map](#)

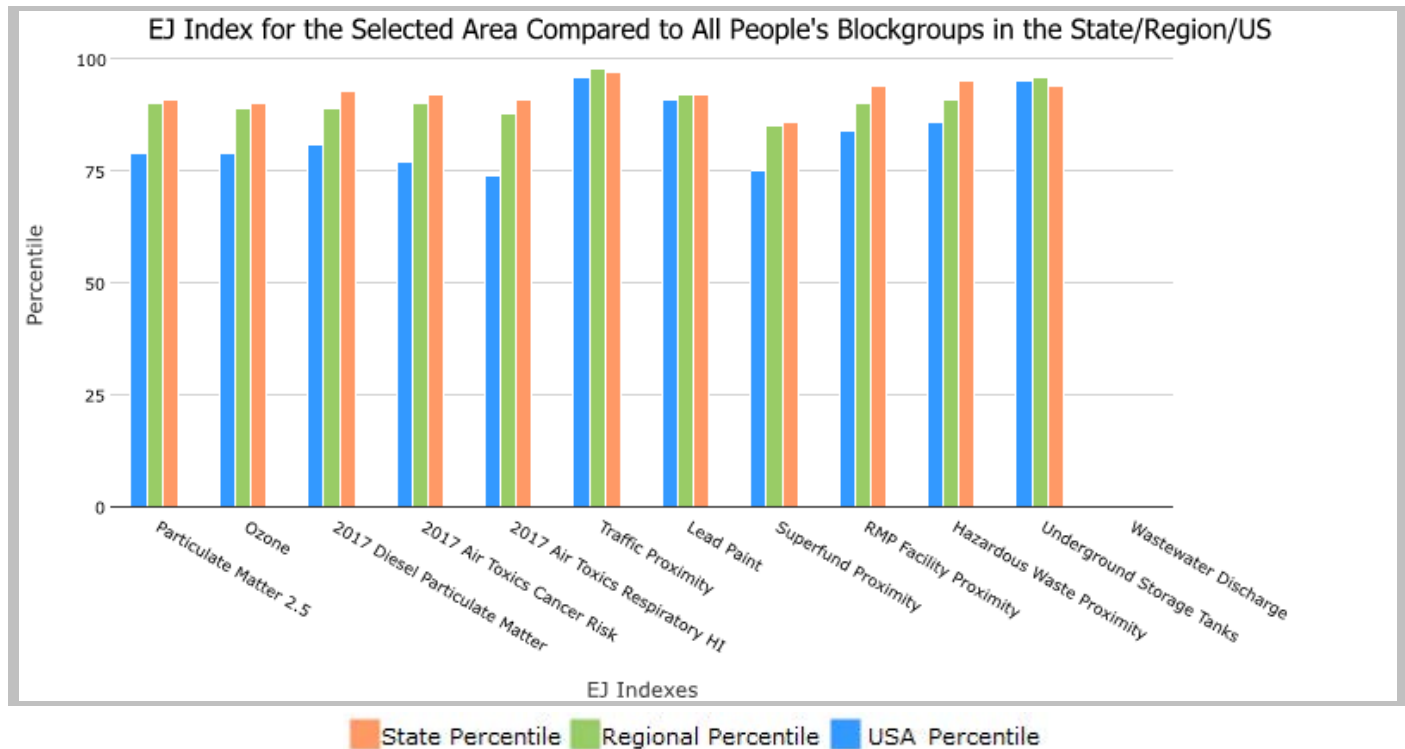
- AuSable River
- Bear Creek
- Black River
- Carp River
- Indian River
- Manistee River
- Ontonagon River
- Paint River
- Pere Marquette River
- Pine River
- Presque Isle River
- Sturgeon River (Hiawatha National Forest)
- Sturgeon River (Ottawa National Forest)
- Tahquamenon River (East Branch)
- Whitefish River
- Yellow Dog River

1 mile Ring Centered at 42.371005,-83.087958, MICHIGAN, EPA Region 5

Approximate Population: 14,982

Input Area (sq. miles): 3.14

Selected Variables	State Percentile	EPA Region Percentile	USA Percentile
Environmental Justice Indexes			
EJ Index for Particulate Matter 2.5	91	90	79
EJ Index for Ozone	90	89	79
EJ Index for 2017 Diesel Particulate Matter*	93	89	81
EJ Index for 2017 Air Toxics Cancer Risk*	92	90	77
EJ Index for 2017 Air Toxics Respiratory HI*	91	88	74
EJ Index for Traffic Proximity	97	98	96
EJ Index for Lead Paint	92	92	91
EJ Index for Superfund Proximity	86	85	75
EJ Index for RMP Facility Proximity	94	90	84
EJ Index for Hazardous Waste Proximity	95	91	86
EJ Index for Underground Storage Tanks	94	96	95
EJ Index for Wastewater Discharge	N/A	N/A	N/A

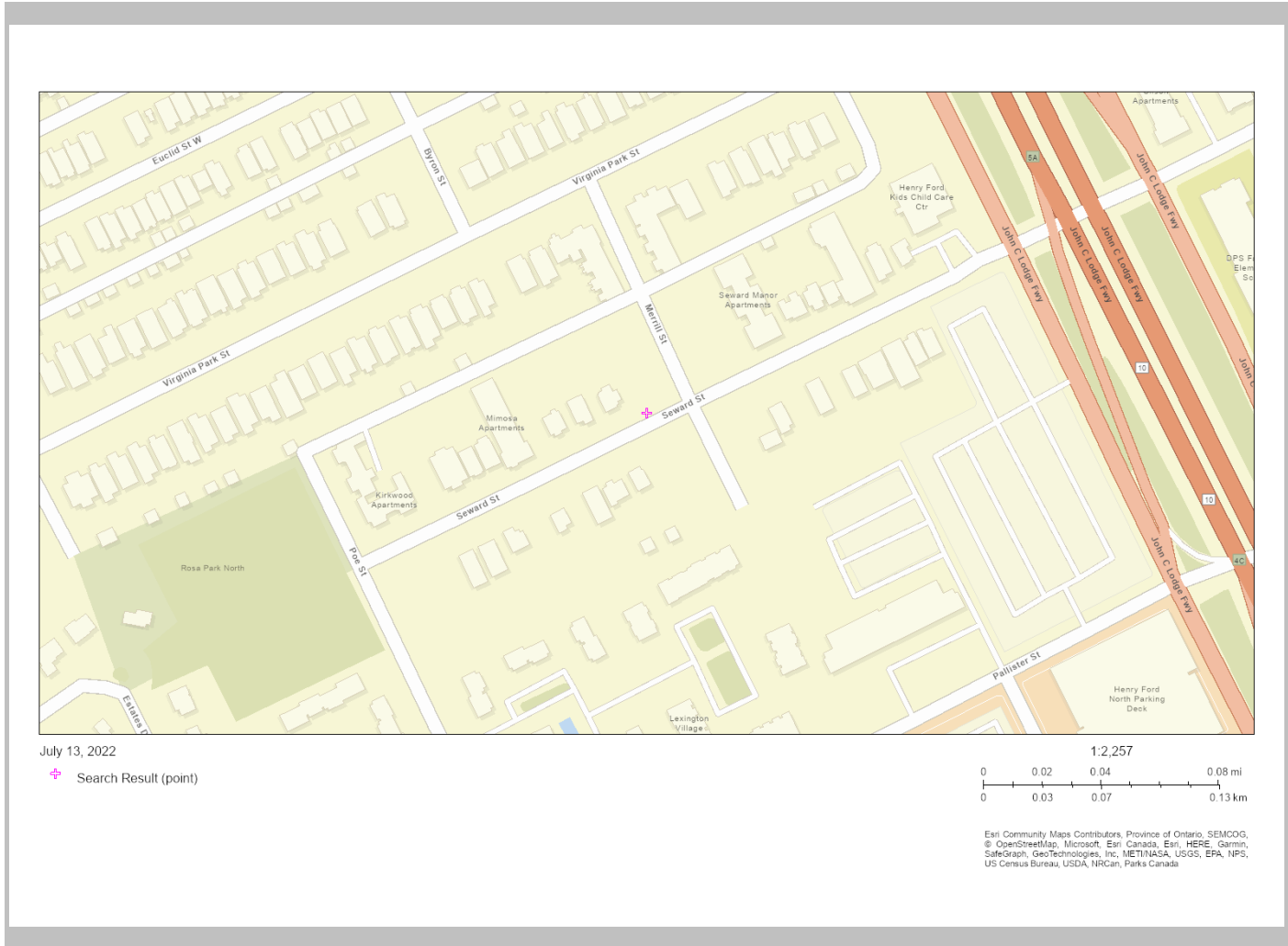


This report shows the values for environmental and demographic indicators and EJSCREEN indexes. It shows environmental and demographic raw data (e.g., the estimated concentration of ozone in the air), and also shows what percentile each raw data value represents. These percentiles provide perspective on how the selected block group or buffer area compares to the entire state, EPA region, or nation. For example, if a given location is at the 95th percentile nationwide, this means that only 5 percent of the US population has a higher block group value than the average person in the location being analyzed. The years for which the data are available, and the methods used, vary across these indicators. Important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJSCREEN documentation for discussion of these issues before using reports.

1 mile Ring Centered at 42.371005,-83.087958, MICHIGAN, EPA Region 5

Approximate Population: 14,982

Input Area (sq. miles): 3.14



Sites reporting to EPA	
Superfund NPL	0
Hazardous Waste Treatment, Storage, and Disposal Facilities (TSDF)	1

EJScreen Report (Version 2.0)

1 mile Ring Centered at 42.371005,-83.087958, MICHIGAN, EPA Region 5

Approximate Population: 14,982

Input Area (sq. miles): 3.14

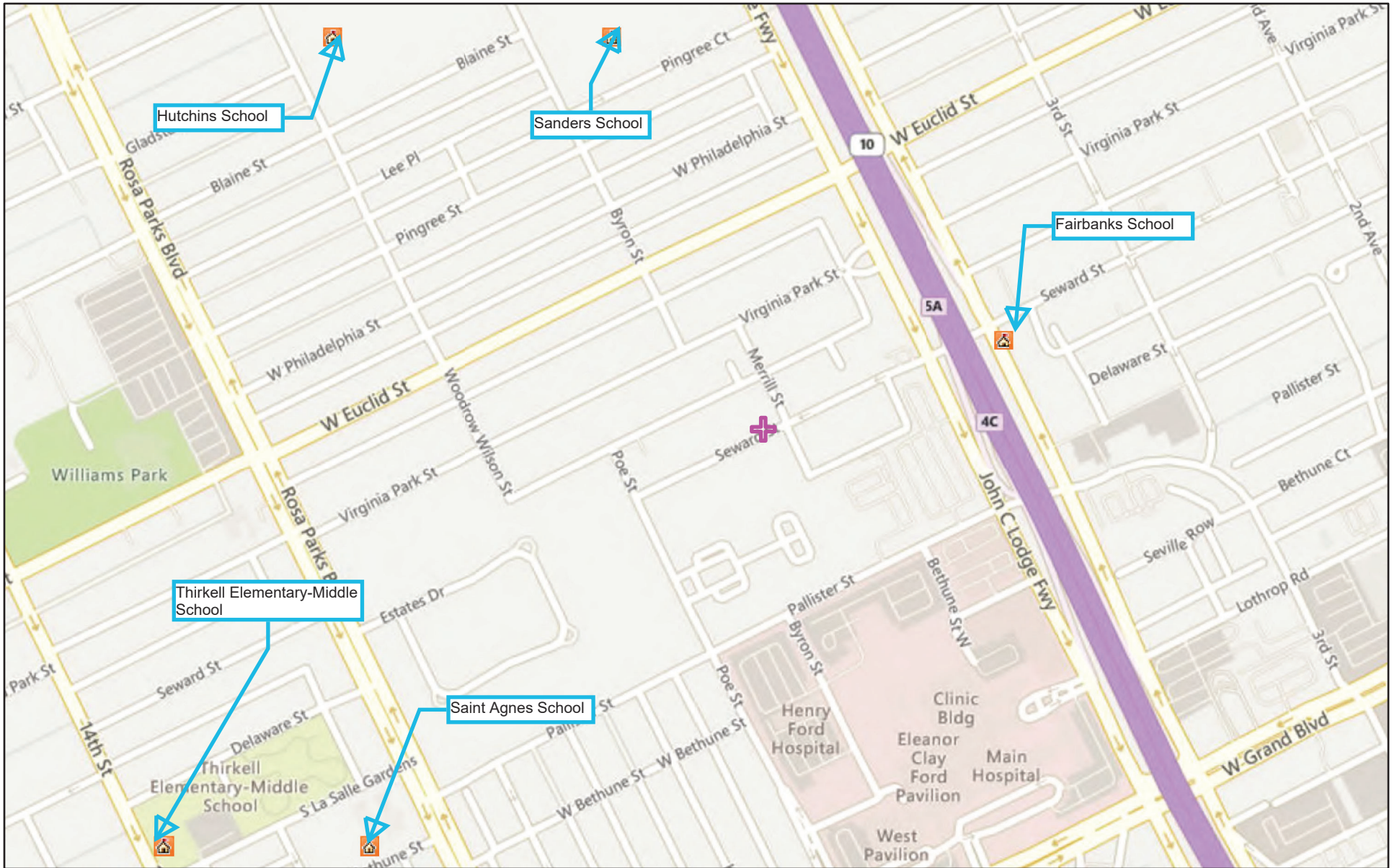
Selected Variables	Value	State Avg.	%ile in State	EPA Region Avg.	%ile in EPA Region	USA Avg.	%ile in USA
Pollution and Sources							
Particulate Matter 2.5 ($\mu\text{g}/\text{m}^3$)	10.1	8.75	98	8.96	87	8.74	85
Ozone (ppb)	44.9	43.8	58	43.5	63	42.6	74
2017 Diesel Particulate Matter* ($\mu\text{g}/\text{m}^3$)	0.387	0.209	93	0.279	80-90th	0.295	70-80th
2017 Air Toxics Cancer Risk* (lifetime risk per million)	30	23	99	24	95-100th	29	80-90th
2017 Air Toxics Respiratory HI*	0.3	0.25	99	0.3	70-80th	0.36	<50th
Traffic Proximity (daily traffic count/distance to road)	3900	830	96	610	97	710	96
Lead Paint (% Pre-1960 Housing)	0.74	0.37	83	0.37	85	0.28	90
Superfund Proximity (site count/km distance)	0.05	0.15	37	0.13	42	0.13	42
RMP Facility Proximity (facility count/km distance)	1	0.53	83	0.83	73	0.75	76
Hazardous Waste Proximity (facility count/km distance)	3.5	1.1	92	1.8	84	2.2	81
Underground Storage Tanks (count/km ²)	26	7.3	92	4.8	96	3.9	97
Wastewater Discharge (toxicity-weighted concentration/m distance)	N/A	0.41	N/A	9	N/A	12	N/A
Socioeconomic Indicators							
Demographic Index	75%	28%	94	28%	95	36%	92
People of Color	86%	25%	92	26%	93	40%	86
Low Income	63%	32%	90	29%	92	31%	91
Unemployment Rate	12%	6%	87	5%	89	5%	89
Linguistically Isolated	1%	2%	71	2%	65	5%	50
Less Than High School Education	14%	9%	79	10%	77	12%	67
Under Age 5	5%	6%	49	6%	45	6%	45
Over Age 64	14%	17%	41	16%	46	16%	50

*Diesel particulate matter, air toxics cancer risk, and air toxics respiratory hazard index are from the EPA's 2017 Air Toxics Data Update, which is the Agency's ongoing, comprehensive evaluation of air toxics in the United States. This effort aims to prioritize air toxics, emission sources, and locations of interest for further study. It is important to remember that the air toxics data presented here provide broad estimates of health risks over geographic areas of the country, not definitive risks to specific individuals or locations. Cancer risks and hazard indices from the Air Toxics Data Update are reported to one significant figure and any additional significant figures here are due to rounding. More information on the Air Toxics Data Update can be found at: <https://www.epa.gov/haps/air-toxics-data-update>.



For additional information, see: www.epa.gov/environmentaljustice

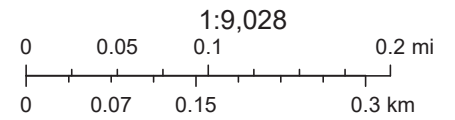
EJScreen is a screening tool for pre-decisional use only. It can help identify areas that may warrant additional consideration, analysis, or outreach. It does not provide a basis for decision-making, but it may help identify potential areas of EJ concern. Users should keep in mind that screening tools are subject to substantial uncertainty in their demographic and environmental data, particularly when looking at small geographic areas. Important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJScreen documentation for discussion of these issues before using reports. This screening tool does not provide data on every environmental impact and demographic factor that may be relevant to a particular location. EJScreen outputs should be supplemented with additional information and local knowledge before taking any action to address potential EJ concerns.

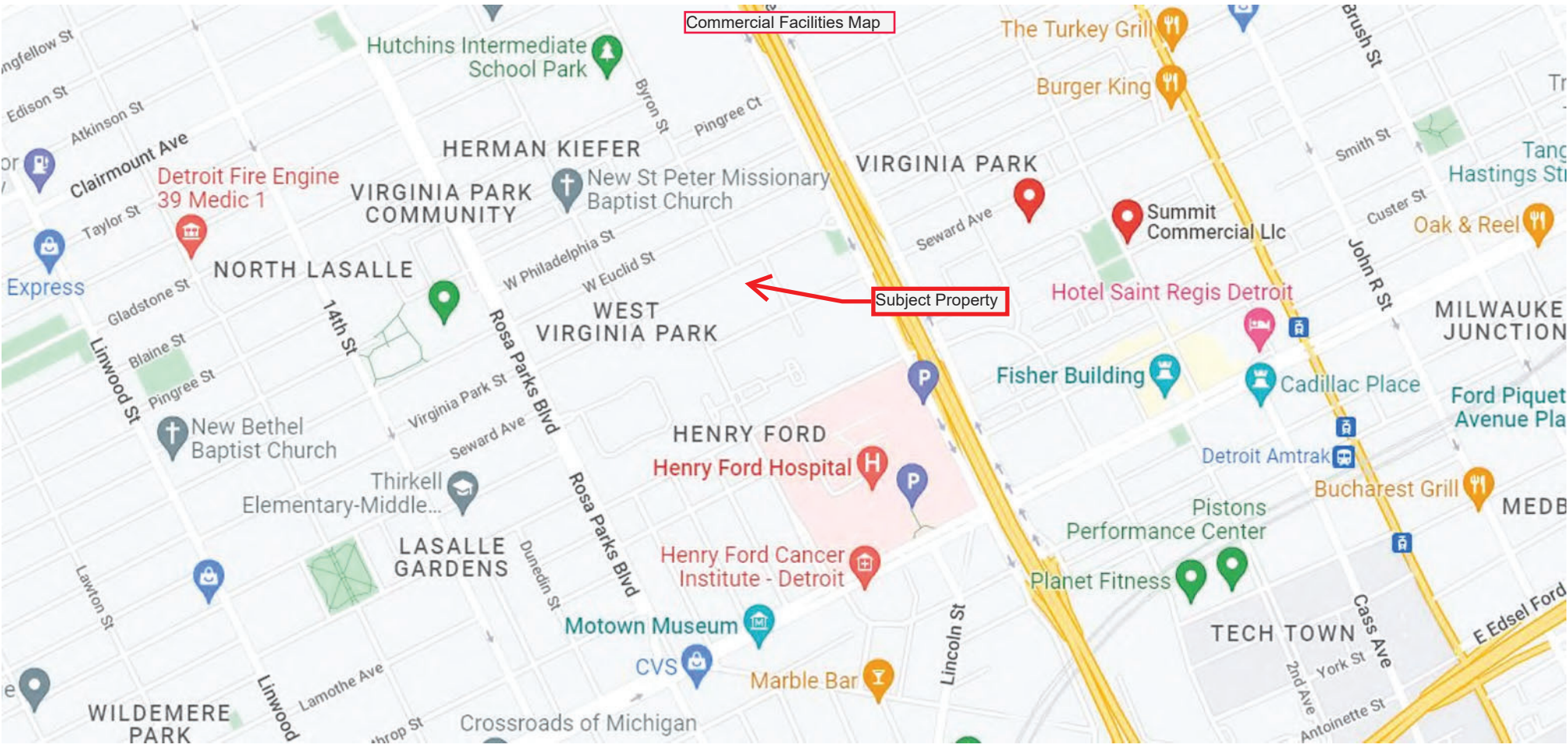
Educational Facilities Map



March 23, 2022

-  Search Result (point)
-  Schools





Commercial Facilities Map

Subject Property

HERMAN KIEFER
VIRGINIA PARK
COMMUNITY

VIRGINIA PARK

WEST
VIRGINIA PARK

HENRY FORD

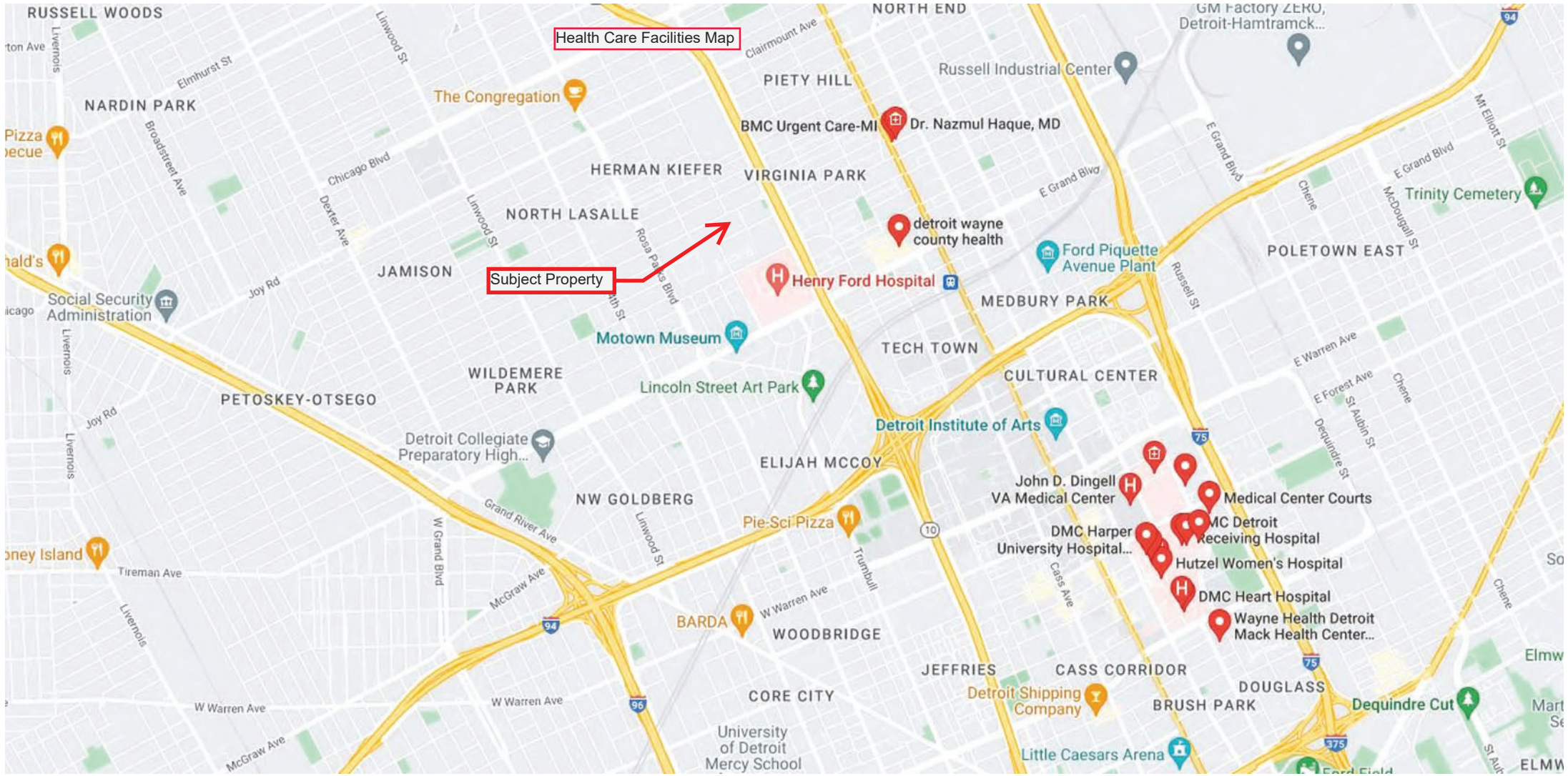
Henry Ford Hospital

Henry Ford Cancer
Institute - Detroit

LASALLE
GARDENS

TECH TOWN

WILDEMERE
PARK



Health Care Facilities Map

Subject Property

BMC Urgent Care-MI Dr. Nazmul Haque, MD

detroit wayne county health

Henry Ford Hospital

Ford Piquette Avenue Plant

Motown Museum

Detroit Institute of Arts

John D. Dingell VA Medical Center

Medical Center Courts

DMC Harper University Hospital...

DMC Detroit Receiving Hospital

Hutzel Women's Hospital

DMC Heart Hospital

Wayne Health Detroit Mack Health Center...

WOODBRIDGE

JEFFRIES

CASS CORRIDOR

DOUGLASS

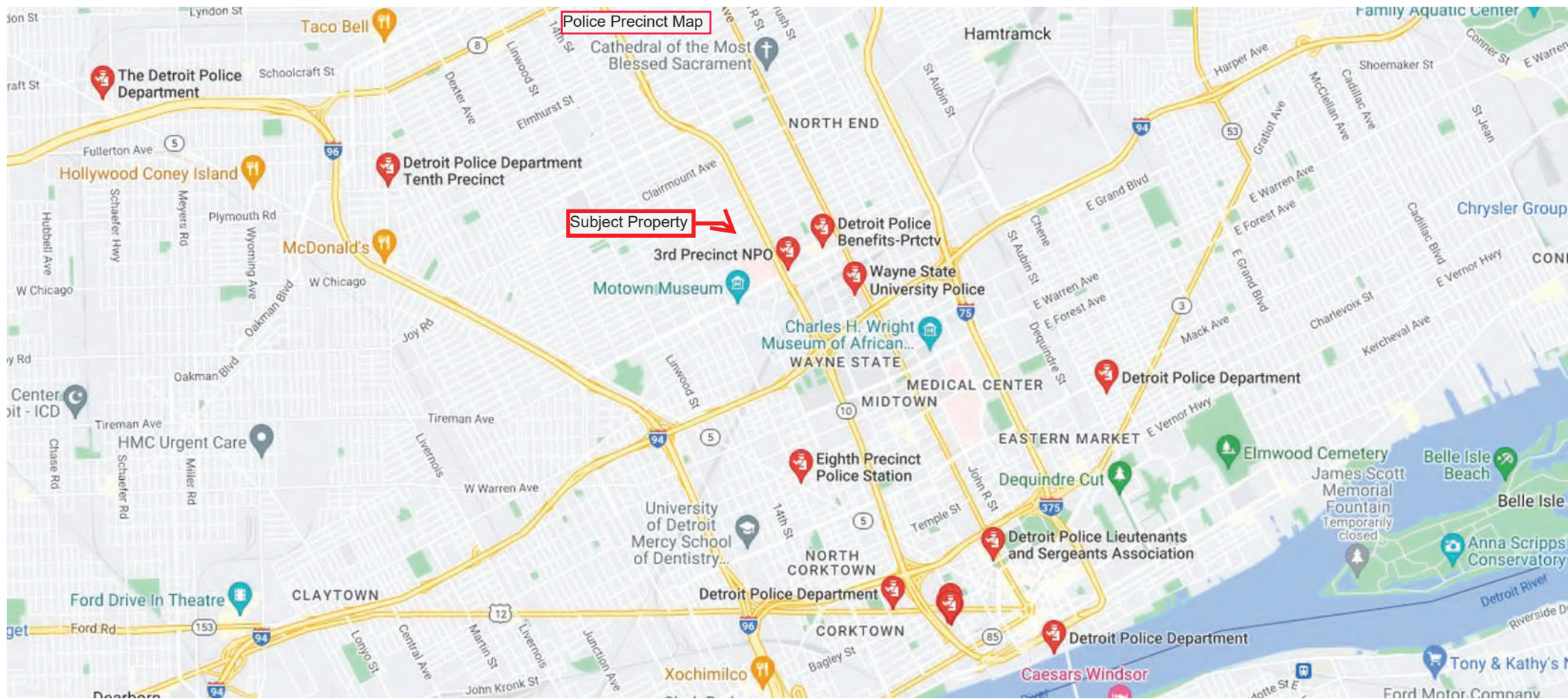
BRUSH PARK

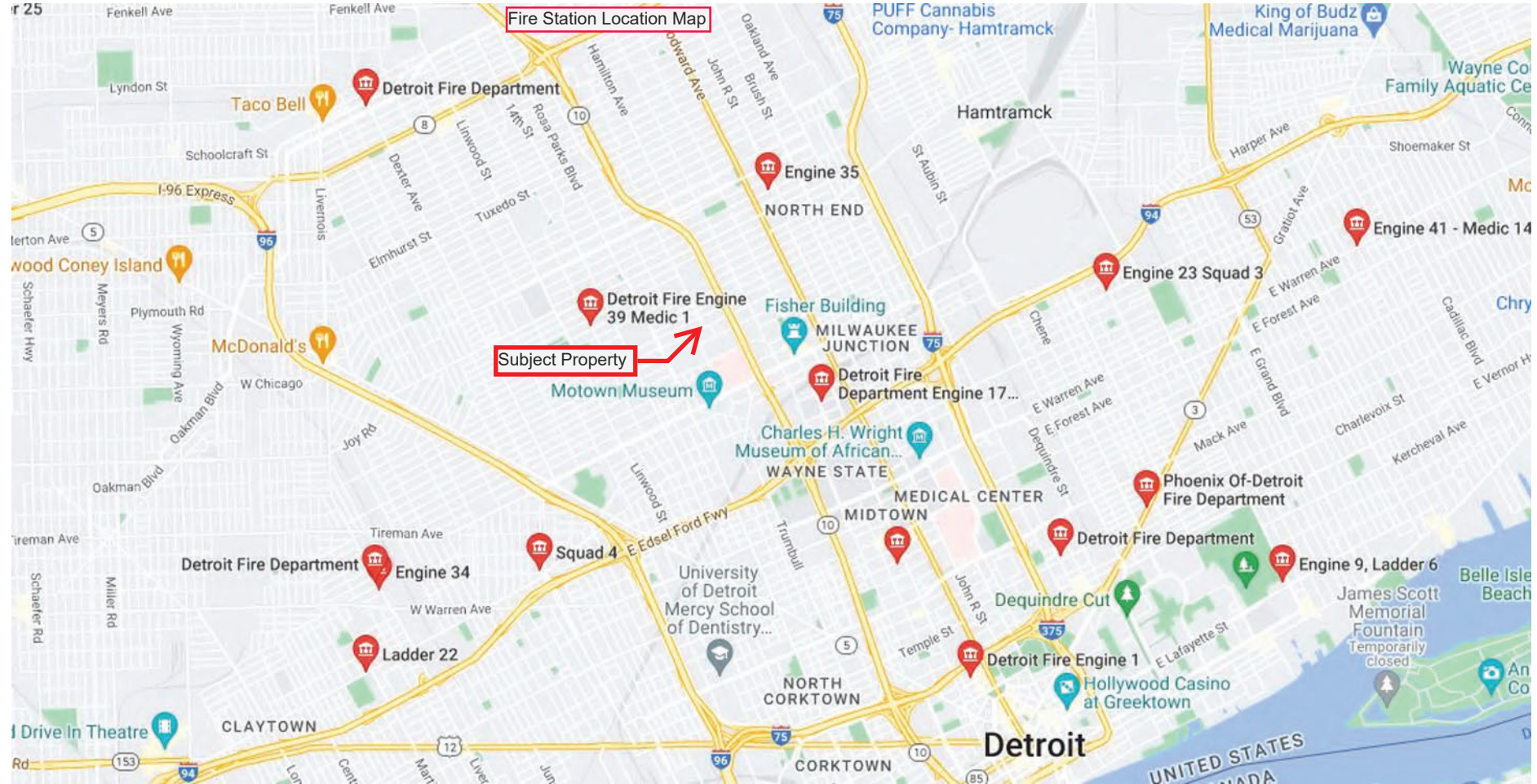
CORE CITY

University of Detroit Mercy School

Little Caesars Arena

Dequindre Cut





Fire Station Location Map

Subject Property

Detroit Fire Engine 39 Medic 1

Engine 35

Engine 41 - Medic 14

Engine 23 Squad 3

Detroit Fire Department Engine 17...

Phoenix Of-Detroit Fire Department

Detroit Fire Department Engine 34

Squad 4

Engine 9, Ladder 6

Ladder 22

Detroit Fire Engine 1

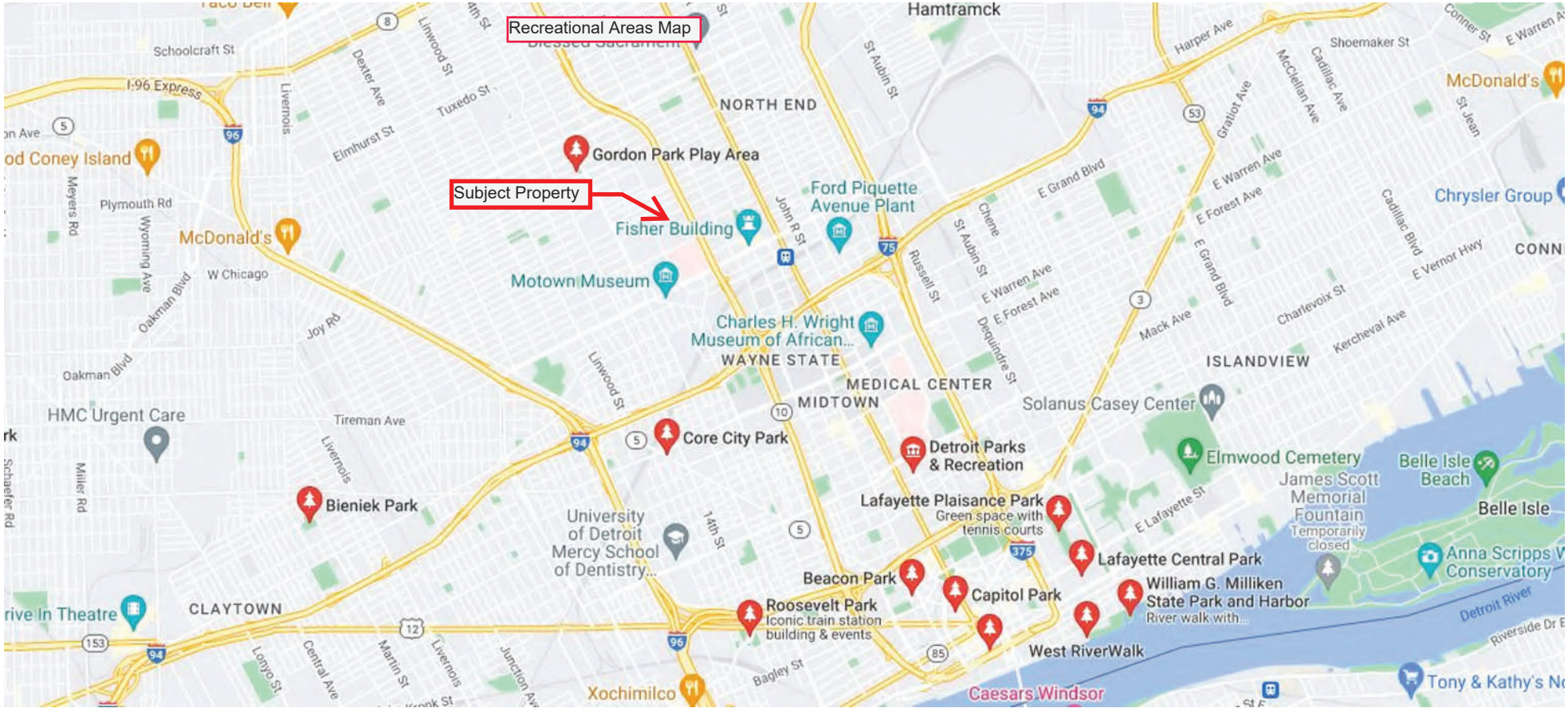
Detroit

CLAYTOWN

NORTH CORKTOWN

CORKTOWN

UNITED STATES CANADA



Map Key

- ConnectTen Route
 - Primary Route
 - Neighborhood Route
 - Transfer/Class
 - Point of Interest
 - School
 - Museum/Cultural
- Major Transfer Points/Nodes of Multiple Routes
- White background = Street background of route
 - Gray background = Street background of route
 - Blue background = Street background of route
 - Blue background = Street background of route
- Interchange Map, See To Scale

Routes

ConnectTen	Primary	Neighborhood
1	16	12
2	17	13
3	18	14
4	19	15
5	20	16
6	21	17
7	22	18
8	23	19
9	24	20
10	25	21
	26	22
	27	23
	28	24
	29	25
	30	26
	31	27
	32	28
	33	29
	34	30
	35	31
	36	32
	37	33
	38	34
	39	35
	40	36
	41	37
	42	38
	43	39
	44	40
	45	41
	46	42
	47	43
	48	44
	49	45
	50	46
	51	47
	52	48
	53	49
	54	50
	55	51
	56	52
	57	53
	58	54
	59	55
	60	56

* Denotes 24/7 route.
 † Denotes park-deno route.

Contact DDOT

313.833.1300
 detroitmi.gov/dot

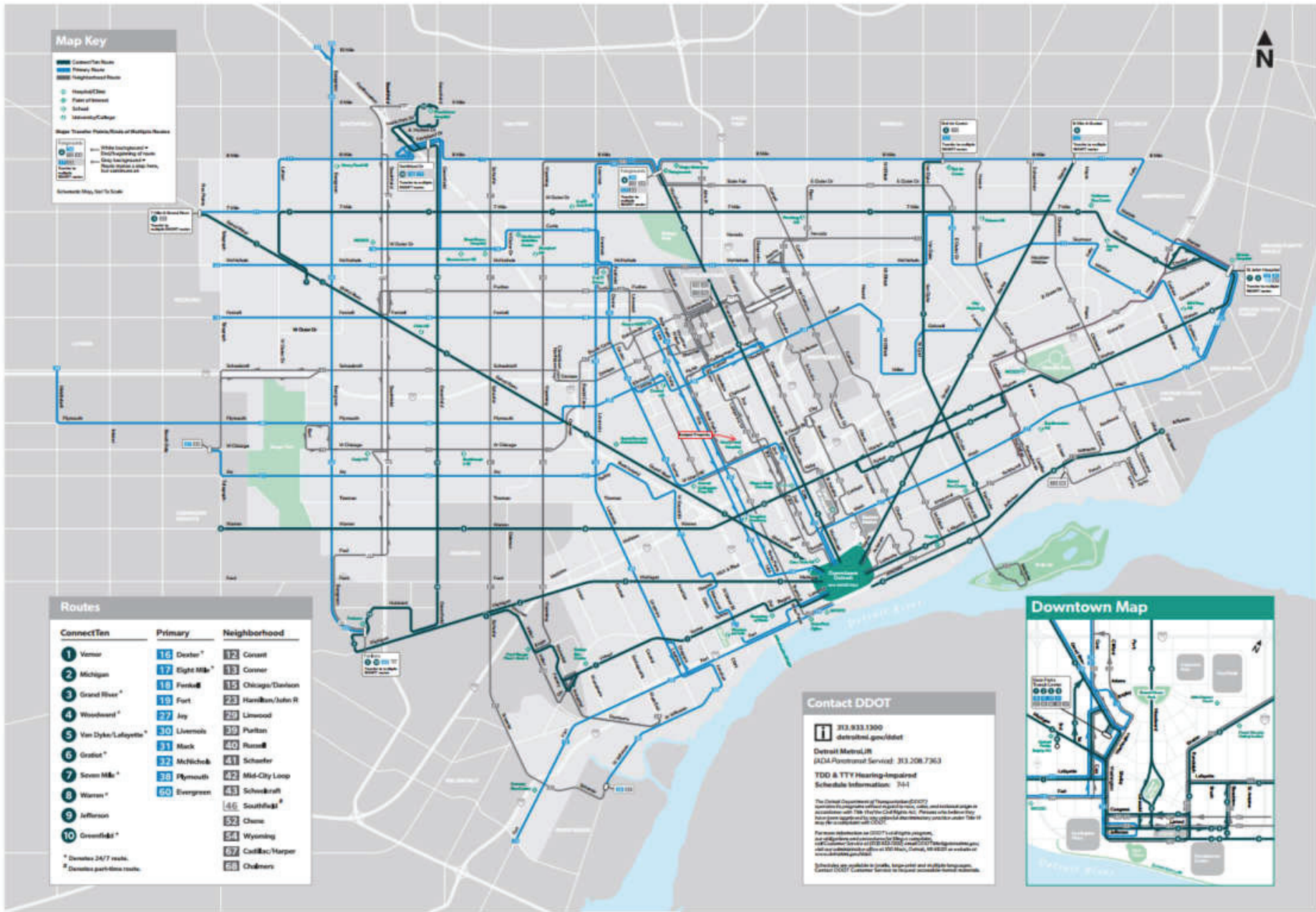
Detroit MetroLift
 (ADA Paratransit Service) 313.208.7363

TDD & TTY Hearing-Impaired
 Schedule Information: 741

The Detroit Department of Transportation (DDOT) is committed to providing accessible services, routes, and related programs in accordance with Title II of the Civil Rights Act. Persons who believe they have been discriminated against by DDOT should contact the ADA Title II Complaint Resolution Center at 313.208.7363. For more information, visit www.detroitmi.gov/ada.

For more information on DDOT's website, visit www.detroitmi.gov and use the search function. DDOT's website is available in Spanish and Chinese. For more information on DDOT's website, visit www.detroitmi.gov and use the search function. DDOT's website is available in Spanish and Chinese. For more information on DDOT's website, visit www.detroitmi.gov and use the search function. DDOT's website is available in Spanish and Chinese.

Downtown Map





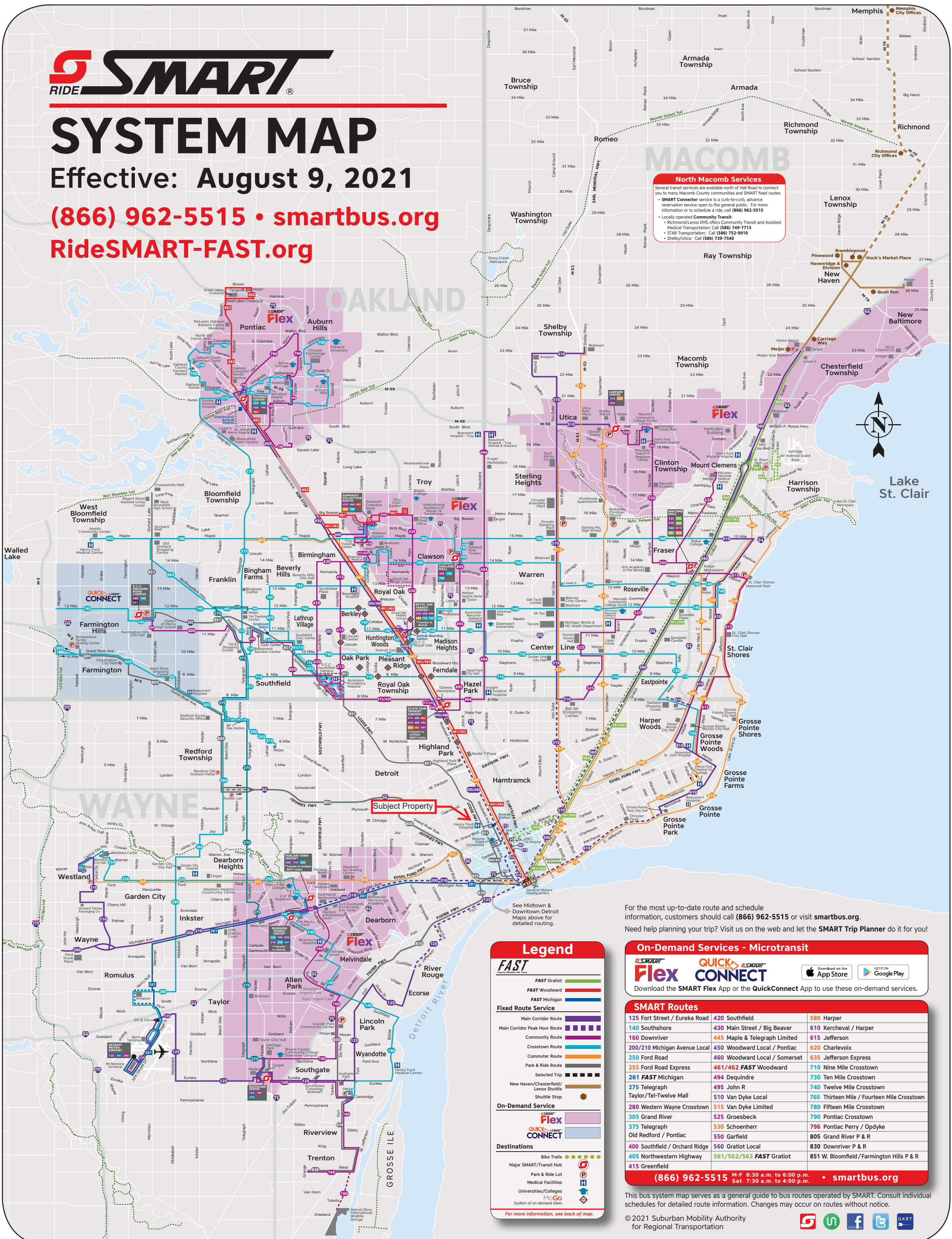
SYSTEM MAP

Effective: August 9, 2021

(866) 962-5515 • smartbus.org

RideSMART-FAST.org

North Macomb Services
 Several transit services are available north of Hall Road to connect you to many Macomb County communities and SMART feed routes.
 • SMART Connector service is a curb-to-curb, advance reservation service open to the general public. For more information or to schedule a ride, call (866) 962-5515
 • Locally operated Community Transit:
 • Richmond/Lenox EMS offers Community Transit and Assisted Medical Transportation. Call (586) 749-7713
 • STAR Transportation. Call (586) 752-9010
 • Shelby/Utica. Call (586) 739-7540



Legend

FAST

- FAST Gratiot
- FAST Woodward
- FAST Michigan

Fixed Route Service

- Main Corridor Route
- Main Corridor Peak Hour Route
- Community Route
- Crosstown Route
- Commuter Route
- Park & Ride Route
- Selected Trip
- New Haven/Chesterfield/Lenox Shuttle
- Shuttle Stop

On-Demand Service

- Flex
- QUICK CONNECT

Destinations

- Bike Trails
- Major SMART/Transit Hub
- Park & Ride Lot
- Medical Facilities
- Universities/Colleges
- TruGo
- System of on-demand bikes

For more information, see back of map.

For the most up-to-date route and schedule information, customers should call (866) 962-5515 or visit smartbus.org.
 Need help planning your trip? Visit us on the web and let the SMART Trip Planner do it for you!

On-Demand Services - Microtransit

SMART **Flex** **QUICK CONNECT**

Download the SMART Flex App or the QuickConnect App to use these on-demand services.

Download on the App Store | GET IT ON Google Play

SMART Routes

125 Fort Street / Eureka Road	420 Southfield	580 Harper
140 Southshore	430 Main Street / Big Beaver	610 Kercheval / Harper
160 Downriver	445 Maple & Telegraph Limited	615 Jefferson
200/210 Michigan Avenue Local	450 Woodward Local / Pontiac	620 Charlevoix
250 Ford Road	460 Woodward Local / Somerset	635 Jefferson Express
255 Ford Road Express	461/462 FAST Woodward	710 Nine Mile Crosstown
261 FAST Michigan	494 Dequindre	730 Ten Mile Crosstown
275 Telegraph	495 John R	740 Twelve Mile Crosstown
Taylor/Tel-Twelve Mall	510 Van Dyke Local	760 Thirteen Mile / Fourteen Mile Crosstown
280 Western Wayne Crosstown	515 Van Dyke Limited	780 Fifteen Mile Crosstown
305 Grand River	525 Groesbeck	790 Pontiac Crosstown
375 Telegraph	530 Schoenherr	796 Pontiac Perry / Opdyke
Old Redford / Pontiac	550 Garfield	805 Grand River P & R
400 Southfield / Orchard Ridge	560 Gratiot Local	830 Downriver P & R
405 Southwestern Highway	561/562/563 FAST Gratiot	851 W. Bloomfield/Farmington Hills P & R
415 Greenfield		

(866) 962-5515 M-F 6:30 a.m. to 6:00 p.m. Sat 7:30 a.m. to 4:00 p.m. • smartbus.org

This bus system map serves as a general guide to bus routes operated by SMART. Consult individual schedules for detailed route information. Changes may occur on routes without notice.
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