



NORTH CORKTOWN REZONING DISCUSSION

City of Detroit

Community Meeting
April 19, 2021

WWW.DETROITMI.GOV/GREATERCORKTOWN





Let's Get Vaccinated Detroit!

COVID-19 VACCINES

IN YOUR NEIGHBORHOOD.

The school sites for week of April 19 are listed. The clinics will run from 9am to 5pm.

MONDAY, APRIL 19
Henry Ford High School
20000 Evergreen, Detroit 48219

MONDAY, APRIL 19
Western High
1500 Scotten Avenue, Detroit 48209

WEDNESDAY, APRIL 21
Brenda Scott Academy
18440 Hoover St., Detroit, 48205

FRIDAY, APRIL 23
East English
5020 Cadieux, Detroit, 48224

CALL **(313) 230-0505**

FOR APPOINTMENT

Anyone **16+ years** of age are now
Eligible for a free vaccination
at any location

**For an
Appointment
dial**

(313) 230-0505

**use this same number
to schedule at any location**

**call
TODAY**



**Find the 3 closest
COVID-19 vaccine
locations**

**Text your
address to
(313) 217-3732**



Greater Corktown

Neighborhood Framework Study

Summary Briefing



Greater Corktown Framework Study

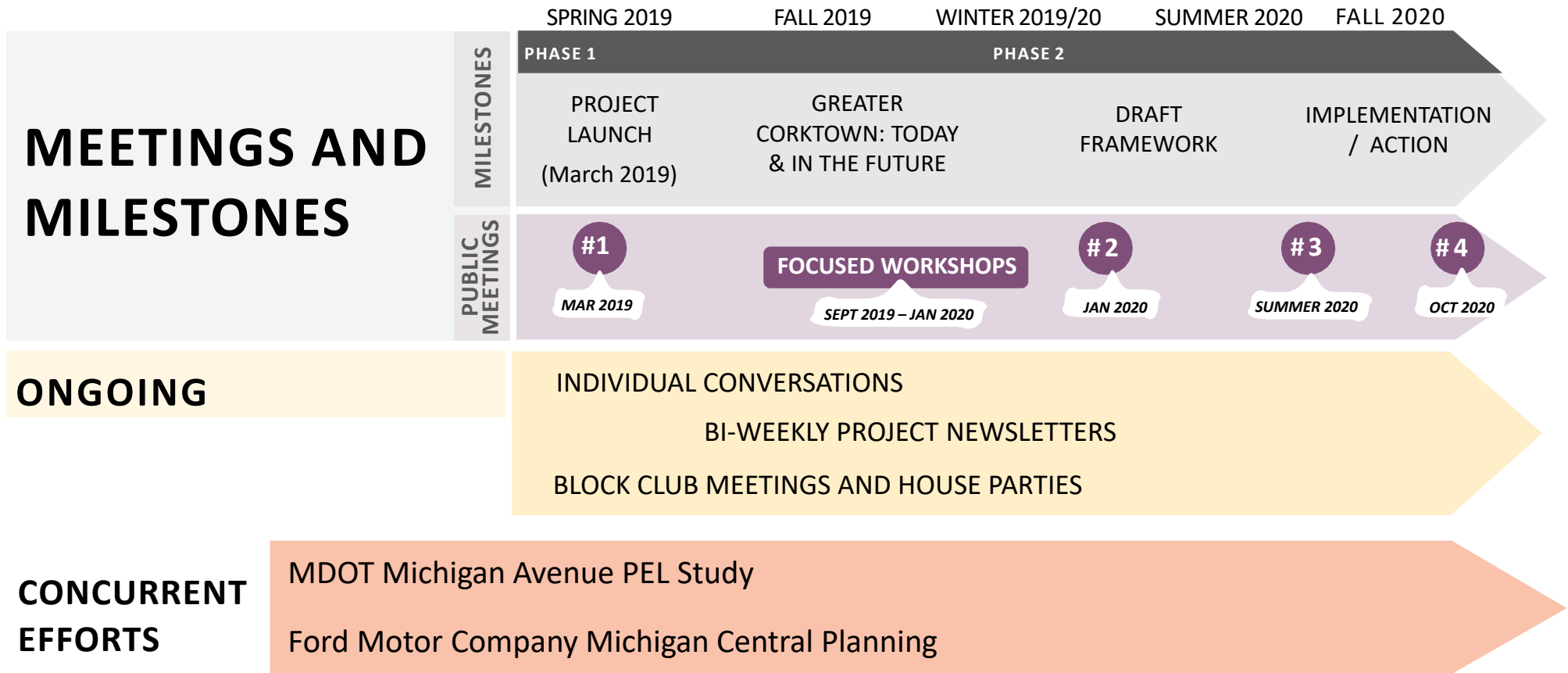


Framework Purpose

create a short and long-term plan that promotes inclusive & equitable growth of Detroit's oldest established neighborhood, while preserving its unique character, cultural heritage & integrity.

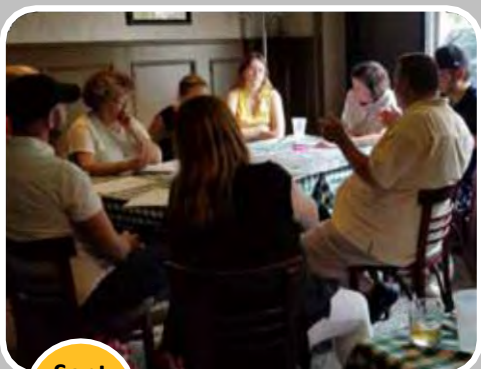


Engagement At A Glance



Who We've Talked To

CORKTOWN BUSINESS ASSOCIATION



Sept 17

NORTH CORKTOWN RESIDENTS



Aug 12

Aug 21

CORKTOWN HISTORICAL SOCIETY



Sept 4

TRAVELING WORKSHOP



Nov 10

SMALL GROUP MEETINGS

FOCUSED WORKSHOPS

2019

PINK FLAMINGO



Aug 8

GREENING WORKSHOP



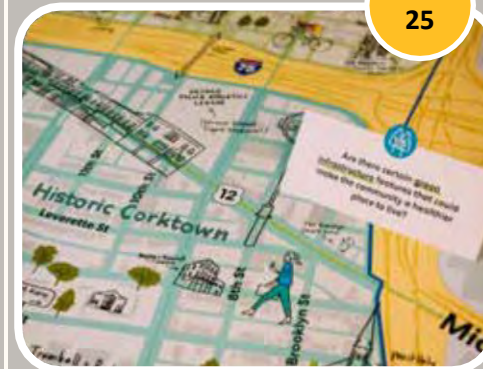
Aug 29

FOUNTAIN COURT



Sept 7

CLEMENT KERN GARDENS



Nov 25

Who We've Talked To

FOUNTAIN COURT



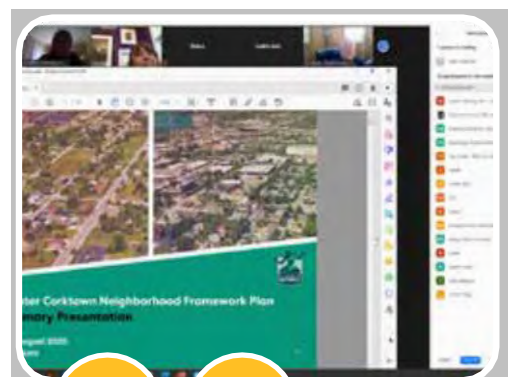
Dec 4

BUILDING WORKSHOP



Jan 29

VIRTUAL PUBLIC MEETINGS



Spring 2020

Summer 2020

LARGE PUBLIC MEETINGS

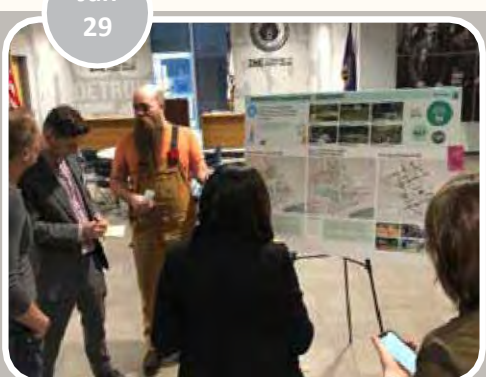
2020

CLEMENT KERN GARDENS



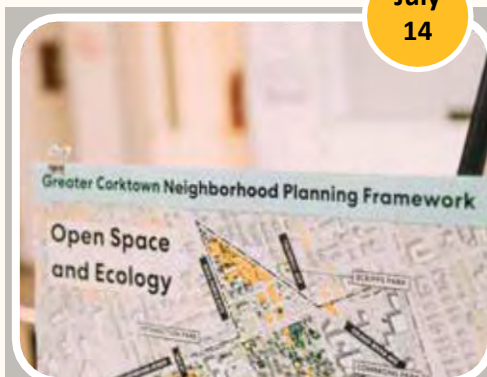
Jan 16

PUBLIC OPEN HOUSE



Jan 29

CLEMENT KERN GARDENS



July 14

Final Public Meetings



Oct 2020

Principles



Corktown for Everyone



History and Heritage



Sustainable and Resilient



Safe Streets

Neighborhood Framework Structure



4 PRINCIPLES

1. Corktown for Everyone
2. History and Heritage
3. Sustainable and Resilient
4. Safe Streets



3 FRAMEWORKS



BUILDING:
Housing &
Neighborhood
Development



TRAVELING:
Streets and
Pedestrian
Safety



GREENING:
Parks &
Community
Spaces

FUTURE NEIGHBORHOOD DEVELOPMENTS



2. TRAVELING: IMPROVED STREETS AND PEDESTRIAN SAFETY

WHAT THIS MEANS FOR THE NEIGHBORHOOD

(Completed by June, 2023)



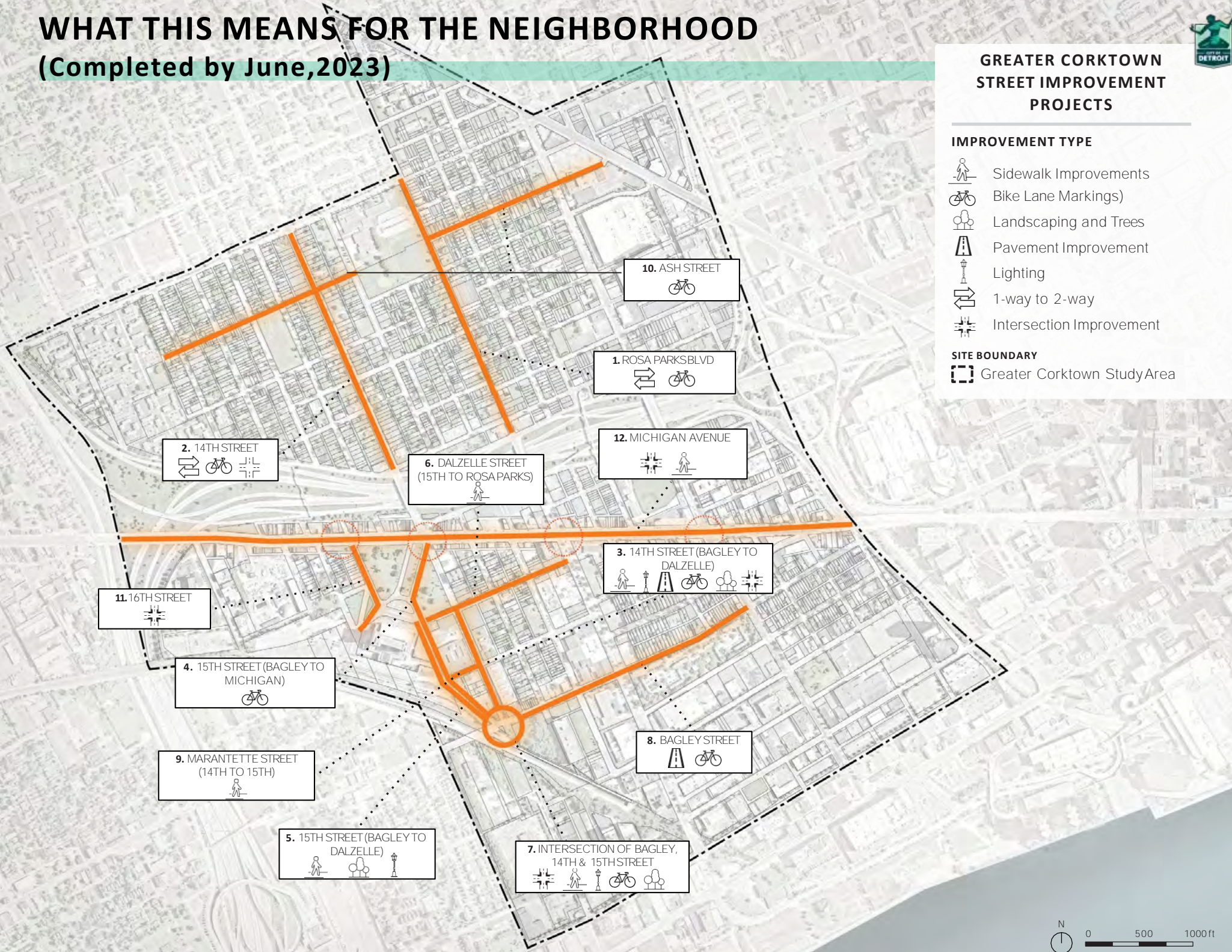
GREATER CORKTOWN STREET IMPROVEMENT PROJECTS

IMPROVEMENT TYPE

- Sidewalk Improvements
- Bike Lane Markings
- Landscaping and Trees
- Pavement Improvement
- Lighting
- 1-way to 2-way
- Intersection Improvement

SITE BOUNDARY

- Greater Corktown Study Area



10. ASH STREET

1. ROSA PARKS BLVD

12. MICHIGAN AVENUE

6. DALZELLE STREET
(15TH TO ROSA PARKS)

3. 14TH STREET (BAGLEY TO DALZELLE)

2. 14TH STREET

11. 16TH STREET

4. 15TH STREET (BAGLEY TO MICHIGAN)

9. MARANTETTE STREET
(14TH TO 15TH)

8. BAGLEY STREET

5. 15TH STREET (BAGLEY TO DALZELLE)

7. INTERSECTION OF BAGLEY,
14TH & 15TH STREET



3. GREENING PARKS & COMMUNITY SPACES

Roosevelt Park



- Unify the park space, creating a safer and more accessible public park
- Connect the park more seamlessly to Michigan Avenue business corridor and Southwest Detroit, while responding to the rehab. of MI Central Station
- Act as a catalyst for enhanced connectivity between residential areas of Corktown and other public open spaces such as Wilson Centennial Park, Joe Louis Greenway, and May Creek Greenway.
- Implement recommendation from the 2017 Parks & Recreation Master Plan

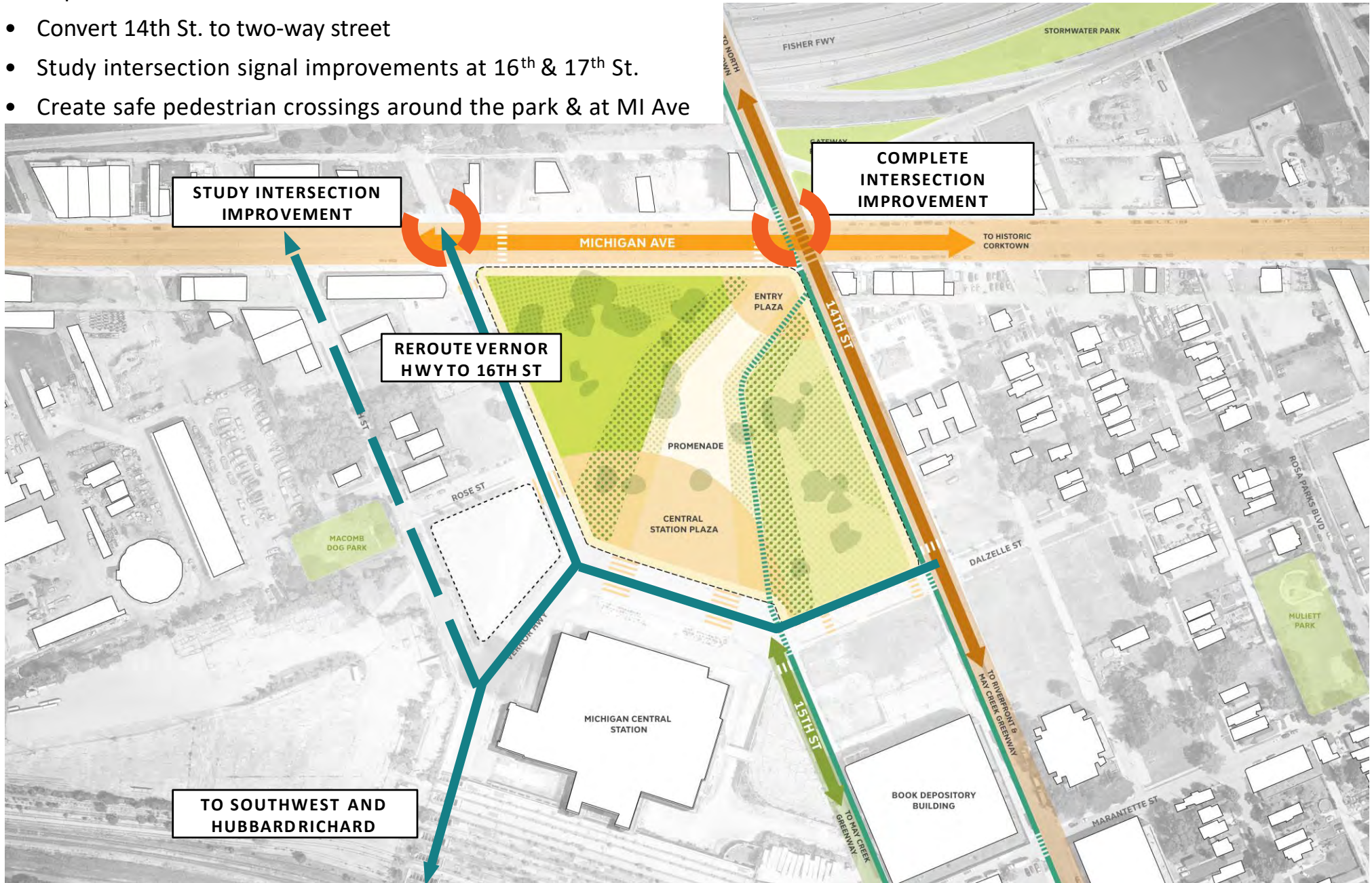


Roosevelt Park



- Reroute existing Vernor Hwy to 16th St.
- Improve intersection @14th St. & MI Ave
- Convert 14th St. to two-way street
- Study intersection signal improvements at 16th & 17th St.
- Create safe pedestrian crossings around the park & at MI Ave

PROPOSED SHORT TERM INTERVENTIONS (Phase I)



Owen School Site Community Hub



Goals

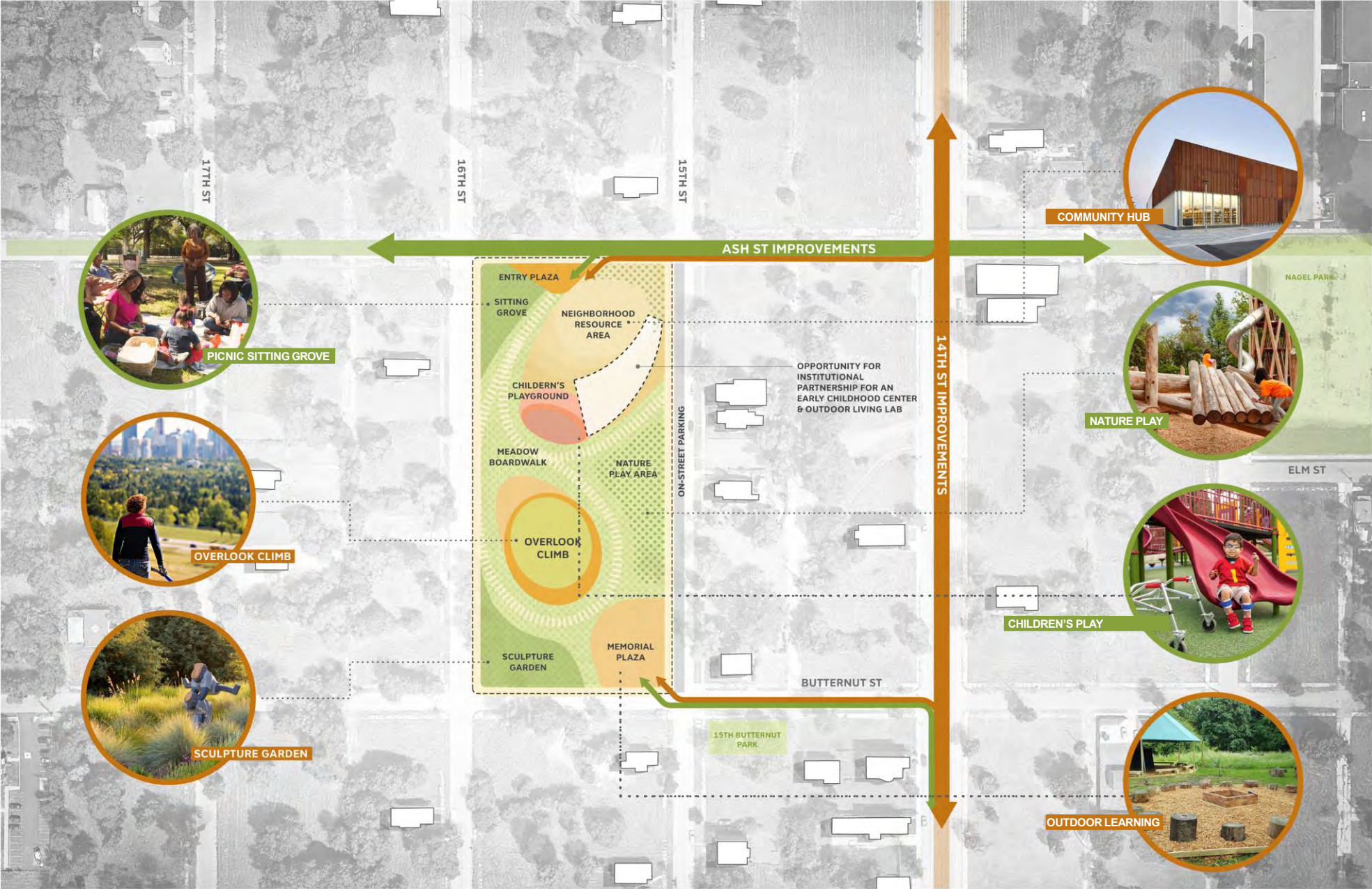
- Preserve the site for the development of a small, flexible space that serves community needs
- Space would offer resident & employer services (early childhood education, workforce support services, health & wellness options)
- Position the space to serve as the non-residential anchor for new housing in North Corktown



Owen School Site Community Hub



PROPOSED SITE PLAN



1. BUILDING: HOUSING & NEIGHBORHOOD DEVELOPMENT



Housing Plan Summary

- Planning for **841** new construction units
- Have identified 4 “sites”
- 175 total parcels = 28 acres
- All sites will be fully mixed-income
- For rent & for sale options
- Preservation of 116 regulated affordable units

FOR RENT PROGRAM

Affordability	Total (Approx.)
30% AMI and lower	152
50 - 60% AMI	165
60 - 80% AMI	165
80 -120% AMI	158
Market Rate	161
Total	801

FOR SALE PROGRAM

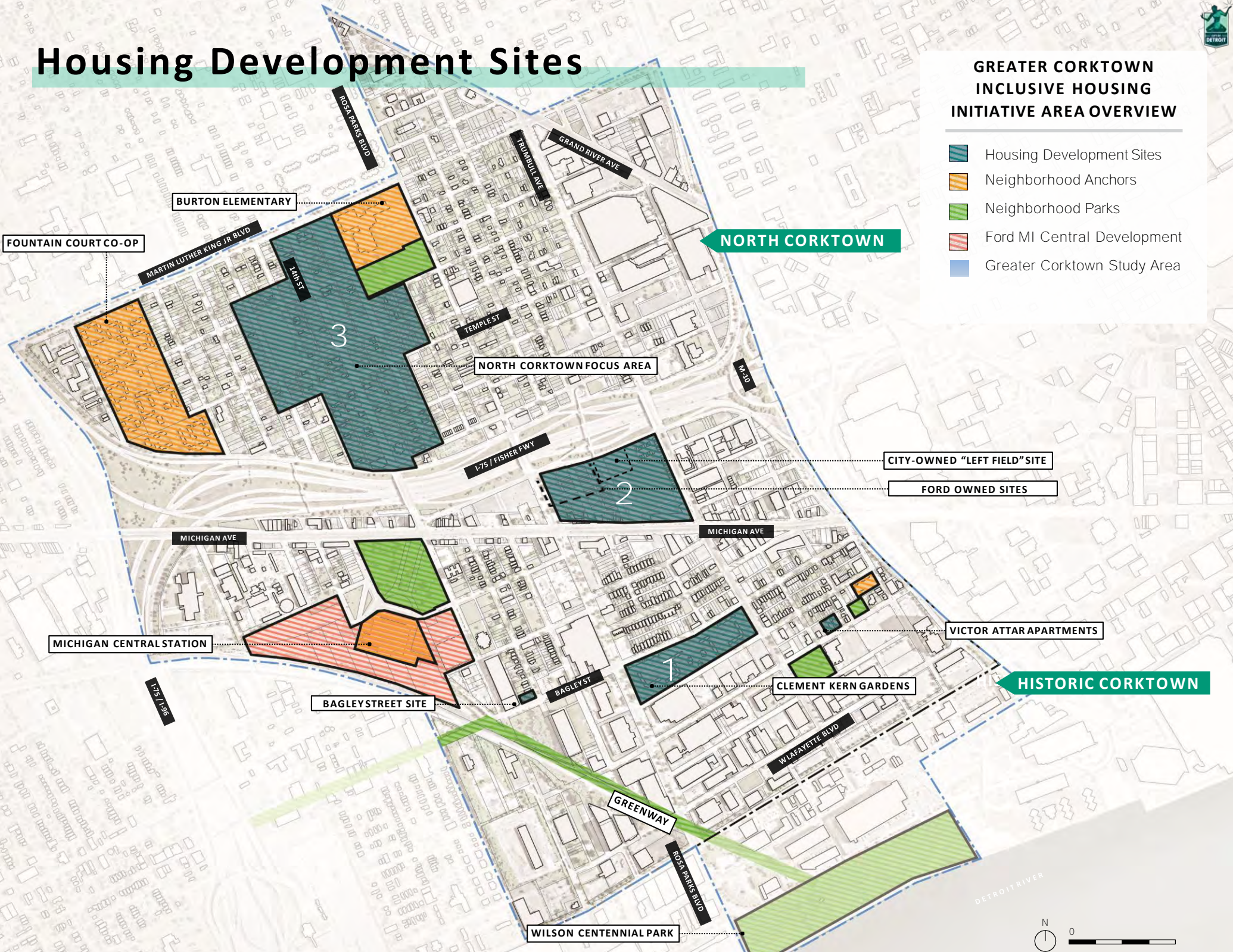
Affordability	Total (Approx)
80% AMI	10
120% AMI	30
Total	40



Housing Development Sites

GREATER CORKTOWN INCLUSIVE HOUSING INITIATIVE AREA OVERVIEW

- Housing Development Sites
- Neighborhood Anchors
- Neighborhood Parks
- Ford MI Central Development
- Greater Corktown Study Area



NORTH CORKTOWN

HISTORIC CORKTOWN

BURTON ELEMENTARY

FOUNTAIN COURT CO-OP

MARTIN LUTHER KING JR BLVD

1405 ST

3

NORTH CORKTOWN FOCUS AREA

I-75 / FISHER FWY

2

CITY-OWNED "LEFT FIELD" SITE

FORD OWNED SITES

MICHIGAN AVE

MICHIGAN AVE

MICHIGAN CENTRAL STATION

VICTOR ATTAR APARTMENTS

I-75 / I-96

BAGLEY STREET SITE

BAGLEY ST

7

CLEMENT KERN GARDENS

GREENWAY

WILFAYETTE BLVD

WILSON CENTENNIAL PARK

ROSA PARKS BLVD





Housing Strategy – How to Implement?

North Corktown

- Identify a portion of publicly-owned vacant land for mixed-income development (rental & homeownership)
- Secure services of established mixed-income developer
- **Update Zoning to permit higher density units**
- Allow Accessory Dwelling Units (ADU's) by-right

Historic Corktown

- Identify sites for new multifamily, mixed-income housing
- Preserve existing regulated affordable housing units that are at risk
- Secure partnership with local developer holding assets in area
- **Update Zoning to permit higher density & residential**

NORTH CORKTOWN ZONING STRATEGY

With the Catalytic Housing Zone in North Corktown, the following zoning map edits are recommended:

3. R1 DOES NOT PERMIT TOWNHOUSES; RECOMMENDATION TO UPZONE TO R3 TO PROVIDE SPECTRUM OF HOUSING OPTIONS

4. OWEN SCHOOL SITE CAN REMAIN R1 TO ACCOMPLISH GOAL AS A PARK WITH A SINGLE-STOREY COMMUNITY FACILITY; OR REZONED TO PR UNDER ZONEDETROIT'S RECOMMENDATION OF REMOVING THE 4 ACRE MINIMUM FROM THE PR ZONE SO THAT PARKS CAN BE ZONED AS PR.

1. UPZONE TO SD2 TO ALLOW FOR GROUND FLOOR COMMERCIAL, MULTIFAMILY DWELLINGS, AND SMALL SCALE MAKER SPACES

5. UPZONE TO R3 TO ENABLE TOWNHOMES, "MISSING MIDDLE HOUSING"

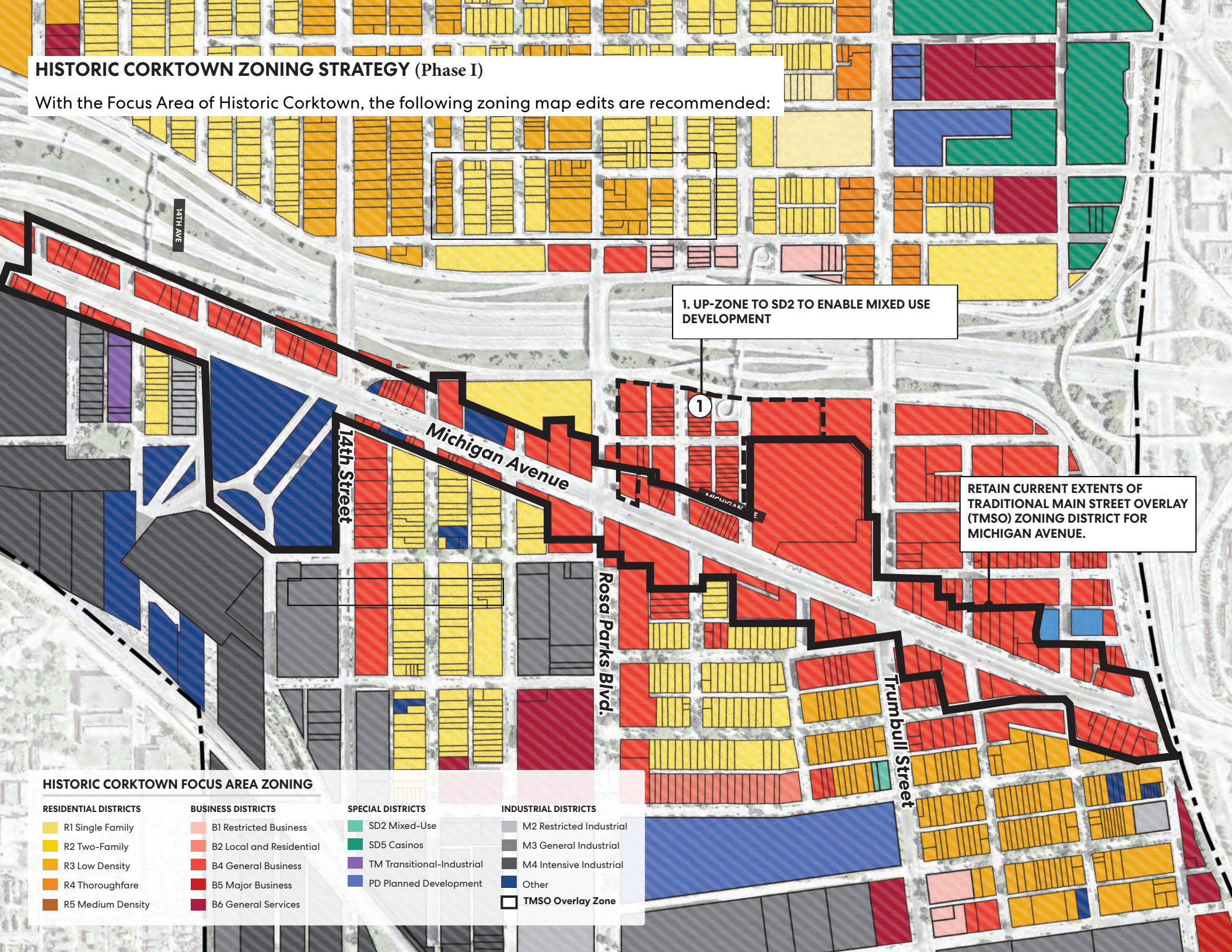
2. UPZONE TO R5 TO ACCOMPLISH RESIDENTIAL DENSITY GOALS, CONCERN IS TO LIMIT URBAN AGRICULTURE AND PARKING LOTS

NORTH CORKTOWN FOCUS AREA ZONING

- RESIDENTIAL DISTRICTS ZONING**
- R1 Single Family Residential
 - R2 Two-Family Residential
 - R3 Low Density Residential
 - R4 Throughfare Residential
 - R5 Medium Density Residential
- BUSINESS DISTRICTS ZONING**
- B4 General Business

HISTORIC CORKTOWN ZONING STRATEGY (Phase I)

With the Focus Area of Historic Corktown, the following zoning map edits are recommended:



1. UP-ZONE TO SD2 TO ENABLE MIXED USE DEVELOPMENT

RETAIN CURRENT EXTENTS OF TRADITIONAL MAIN STREET OVERLAY (TMSO) ZONING DISTRICT FOR MICHIGAN AVENUE.

HISTORIC CORKTOWN FOCUS AREA ZONING

RESIDENTIAL DISTRICTS

- R1 Single Family
- R2 Two-Family
- R3 Low Density
- R4 Thoroughfare
- R5 Medium Density

BUSINESS DISTRICTS

- B1 Restricted Business
- B2 Local and Residential
- B4 General Business
- B5 Major Business
- B6 General Services

SPECIAL DISTRICTS

- SD2 Mixed-Use
- SD5 Casinos
- TM Transitional-Industrial
- PD Planned Development

INDUSTRIAL DISTRICTS

- M2 Restricted Industrial
- M3 General Industrial
- M4 Intensive Industrial
- Other
- TMSO Overlay Zone



Implementation Schedule

A schedule of planned actions to launch implementation of priority strategies.

Framework	Project	Action	Key Dates
1. Housing & Neighborhood Development	Mixed-Income Housing Development	Apply for HUD Grant; Launch zoning updates	<ul style="list-style-type: none"> Application due Q4, 2020 Begin zoning updates Q1, 2021
	Owner-Occupied Rehab Program	Send mailer; finalize participants	<ul style="list-style-type: none"> Mailer to be released Q4, 2020 Construction begins Q2, 2021
2. Streets and Pedestrian Safety	Improve Intersections and Streets	Develop engineering documents	<ul style="list-style-type: none"> Priority projects completed by Q3, 2023
3. Parks and Open Space	Roosevelt Park	Develop engineering documents; Begin construction	<ul style="list-style-type: none"> Engineering RFP released: Q4, 2020 Construction for Phase I begins, Q4, 2021
	Owen School Site	LOI from DPSCD; Commitment from anchor tenant	<ul style="list-style-type: none"> Secure LOI by Q4, 2020. Secure commitment from tenant anchor by Q4, 2020.

Greater Corktown Area - Future



FUTURE NEIGHBORHOOD DEVELOPMENTS



Why **UPDATE ZONING** **NORTH CORKTOWN?**

To support

- **Outcomes of the Framework Plan**
- **Affordable housing efforts**
- **Access to neighborhood goods and services**
- **Walkable communities through urban design**



What is Zoning?

Detroit Administration of Zoning

City Planning Commission (CPC)

- **Zoning text amendments**
- **Rezoning**

Buildings & Safety Engineering Environment Department (BSEED)

- **Conditional land use public hearings**
- **Permit review and approval**
- **Code enforcement**

Board of Zoning Appeals (BZA)

- **Dimensional variance zoning code appeals**
- **Non-conforming uses**
- **Hardship relief cases**

Planning & Development Department (P&DD)

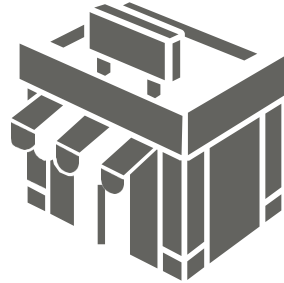
- **Neighborhood plans and Master Plan**
- **Historic review**
- **Concept plan review**

ZONING is how cities divide up land by zones to regulate the uses that can take place on a property



Residential

“R” ZONES

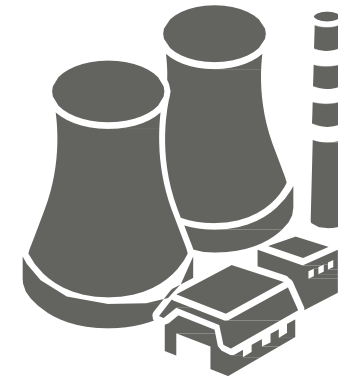


Retail

“B” ZONES



Business



Industrial

“M” ZONES

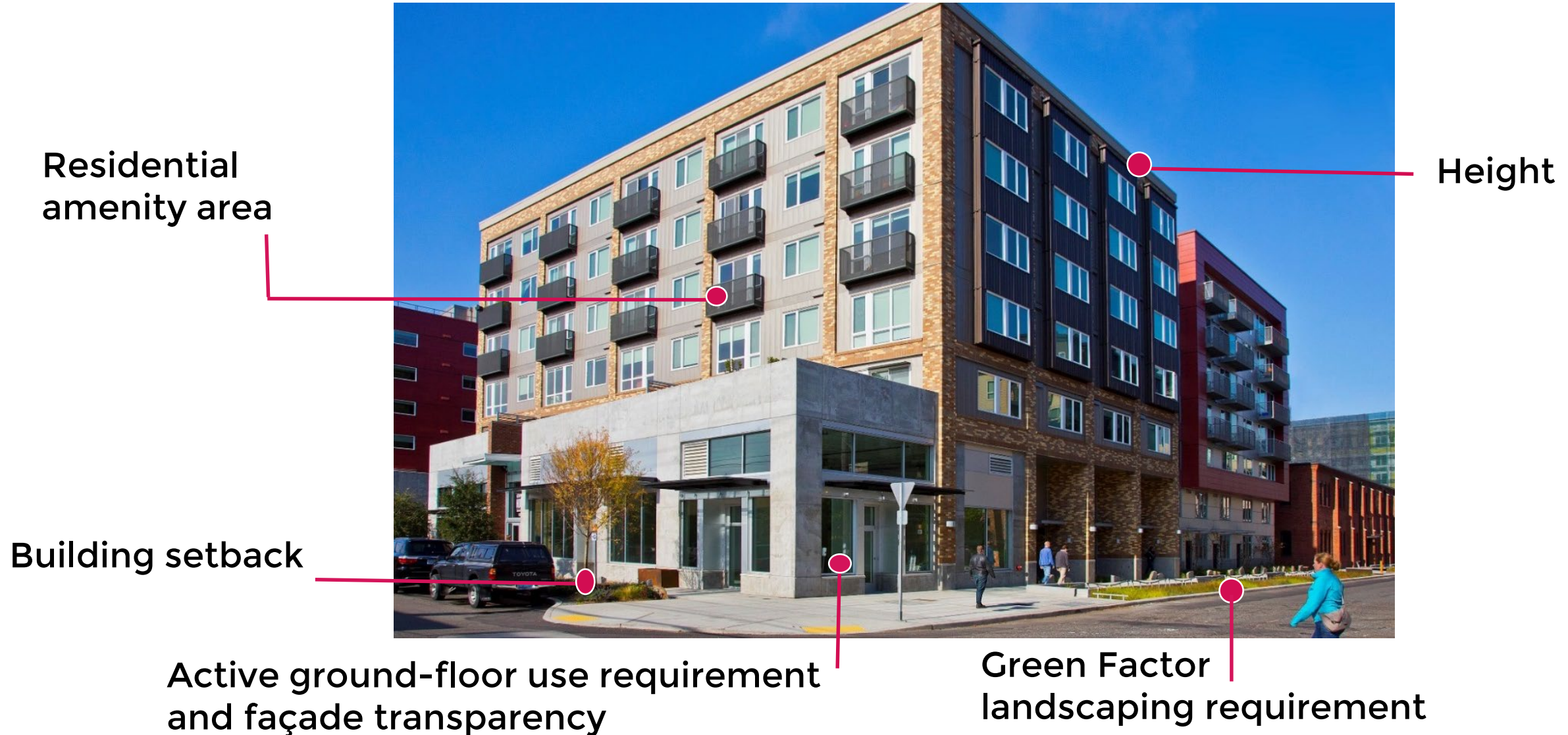
THE RULES THAT DESCRIBE WHAT YOU CAN DO (AND CANT DO) ON PROPERTY

Cities use **ZONES** to designate a type and use of an area of land



On a Zoning Map a residential zone is listed here as R1, for example, this zone specifies a particular area of land where people will live and build their homes

ZONING regulates buildings



Use Category	Specific Land Use	Residential						Business						Industrial				
		R 1	R 2	R 3	R 4	R 5	R 6	B 1	B 2	B 3	B 4	B 5	B 6	M 1	M 2	M 3	M 4	M 5
Sec. 61-12-24. Hospital. (Ord. No. 11-05, §1, 5-28-05; Ord. No. 23-14, §1, 07-24-14)	Hospital or Hospice				C	R	R	R	R			R	R					

**LAND
USE
PERMISSIBILITY
TERMS**



(R) By-right.



(C) Conditional.

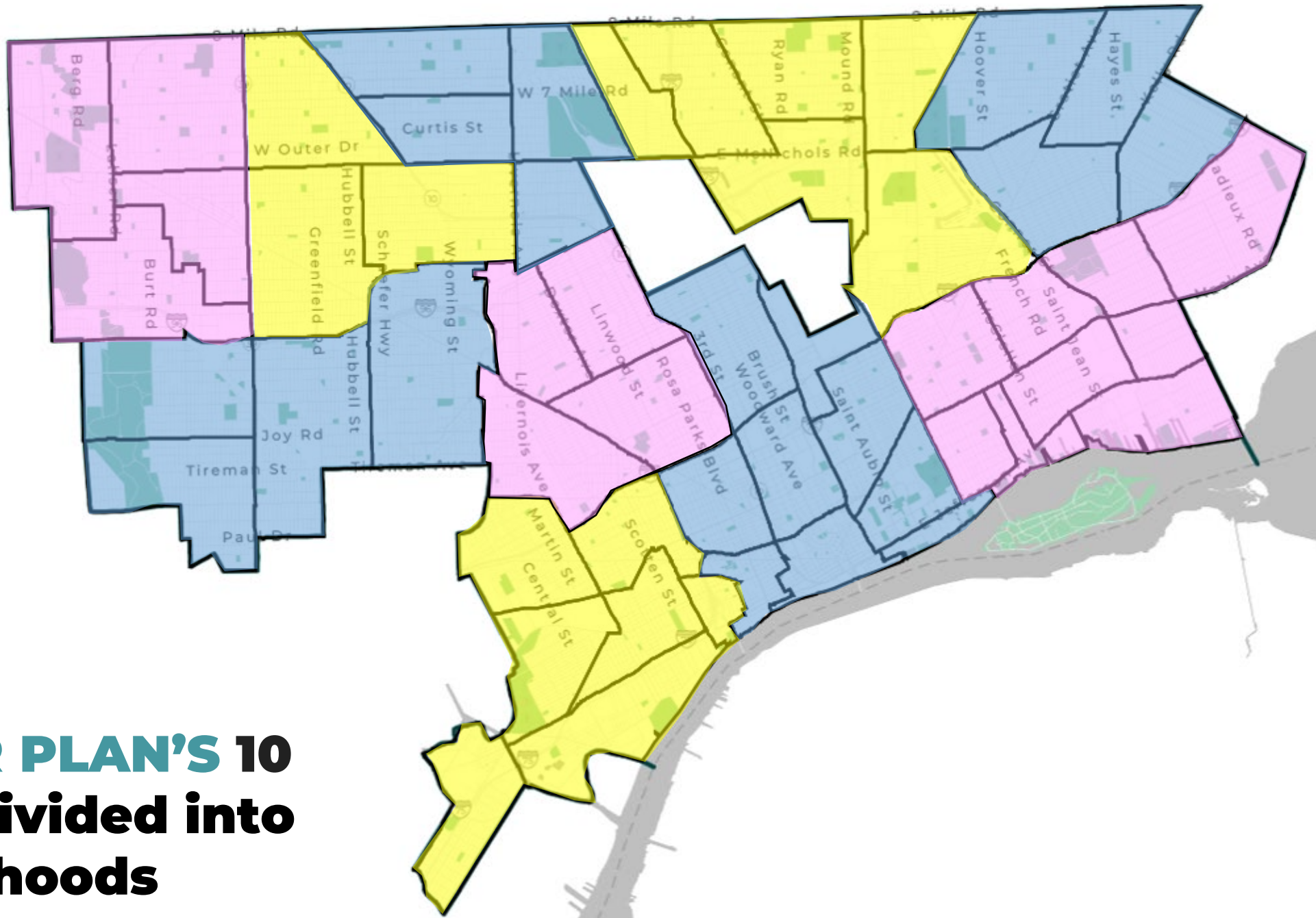
Requires a
Public
Hearing



(BLANK) Prohibited.

**The MASTER PLAN is
divided into 10 Clusters.**





The MASTER PLAN'S 10 Clusters is divided into 57 neighborhoods

Why REZONE?

- Responds to changing conditions in land use
- Meet the Master Plan
- As an outcome of **neighborhood plans** to allow for the development that meets the plan vision
- To allow for different types of development, or uses
- Correct an error

THE RULES THAT DESCRIBE WHAT YOU CAN DO ON A PROPERTY



Residential

“R” ZONES



Retail



Business

“B” ZONES



Industrial

“M” ZONES

REZONING PROCESS

4-6 months

Pre-application meeting

Public meeting

Application filing

Notice sent to properties and tax payers of record

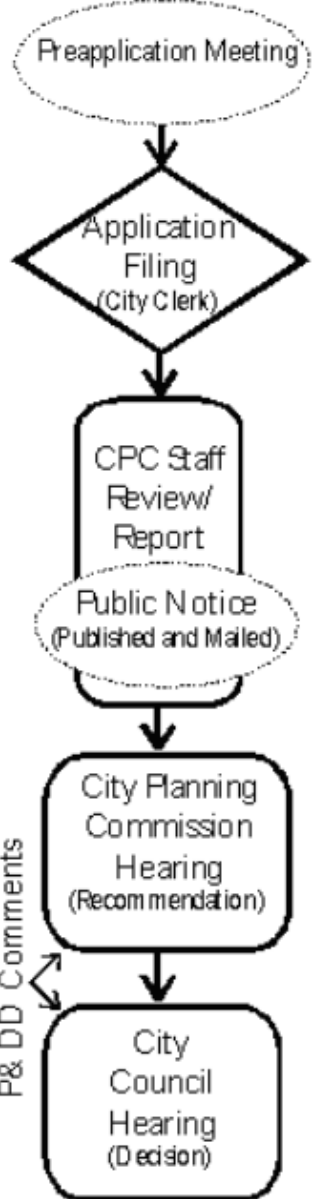
2 meetings

City Planning Commission Public Hearing & Action

Public hearing at City Council Planning and Economic Development Committee

City Council Formal Session Vote

Zoning Map Amendments (Rezoning)



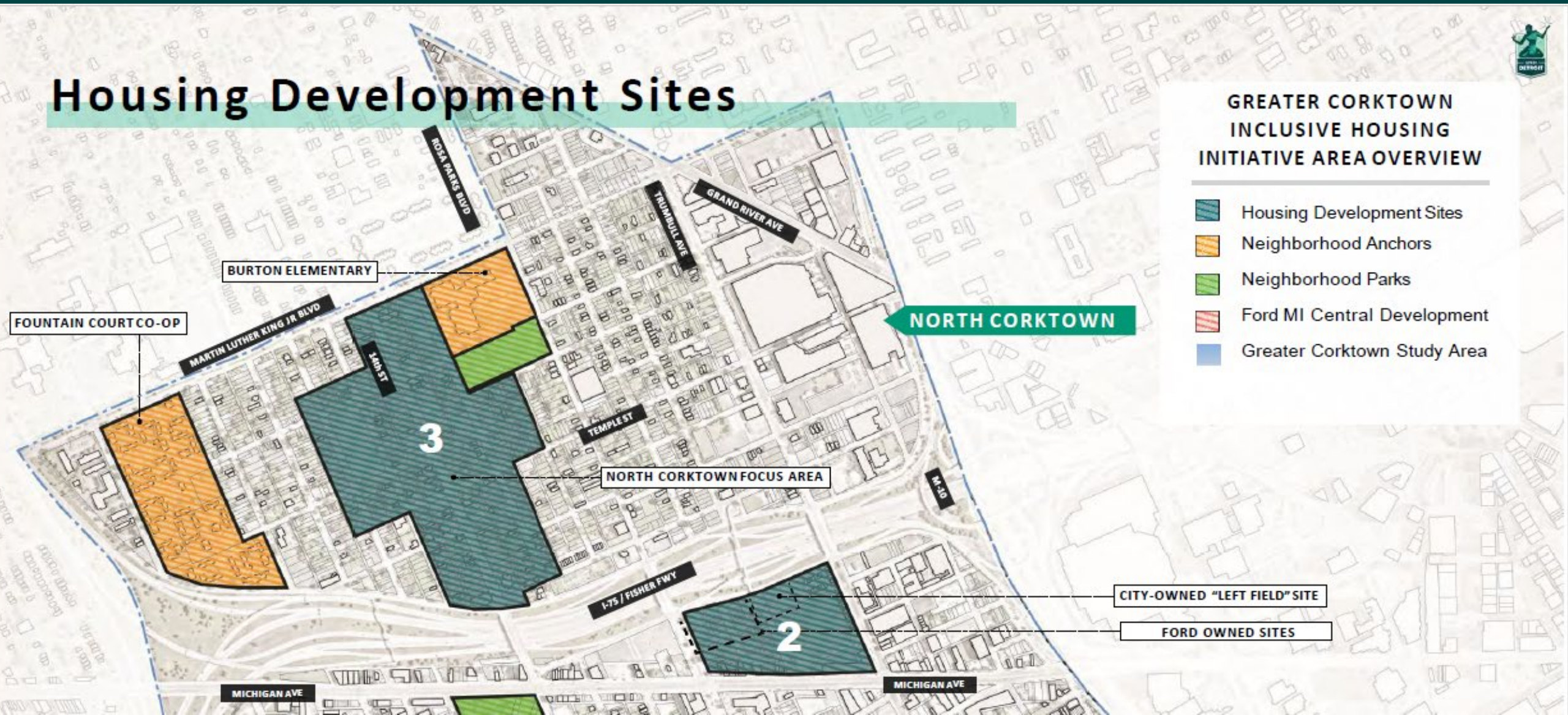
SUPPORT THE FRAMEWORK PLAN

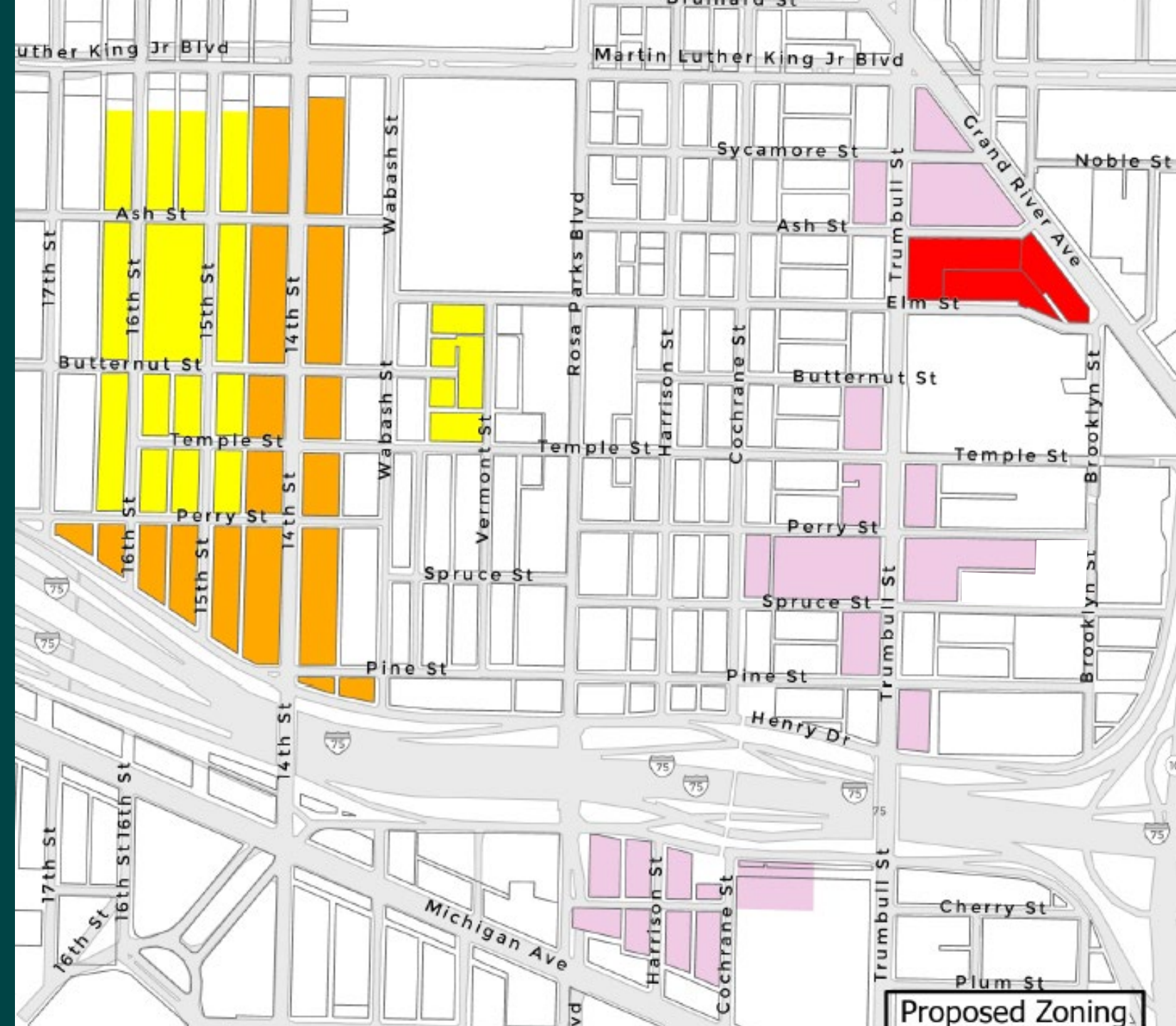
Housing Development Sites



GREATER CORKTOWN INCLUSIVE HOUSING INITIATIVE AREA OVERVIEW

-  Housing Development Sites
-  Neighborhood Anchors
-  Neighborhood Parks
-  Ford MI Central Development
-  Greater Corktown Study Area





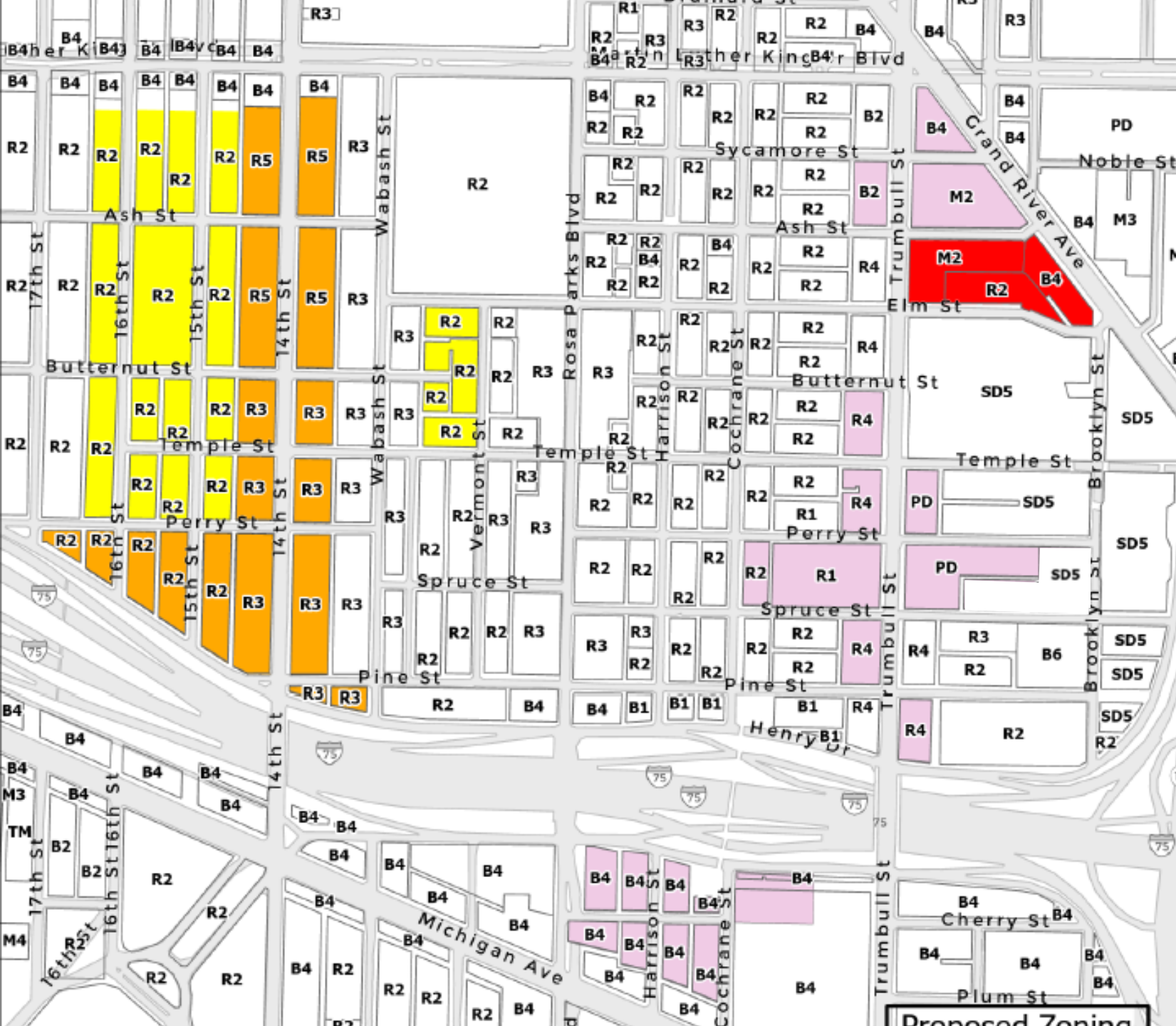
Proposed Zoning

R3 - Low Density Residential

SD1 - Small-Scale, Mixed-Use

SD2 - Mixed-Use

B4 - General Business



Proposed Zoning

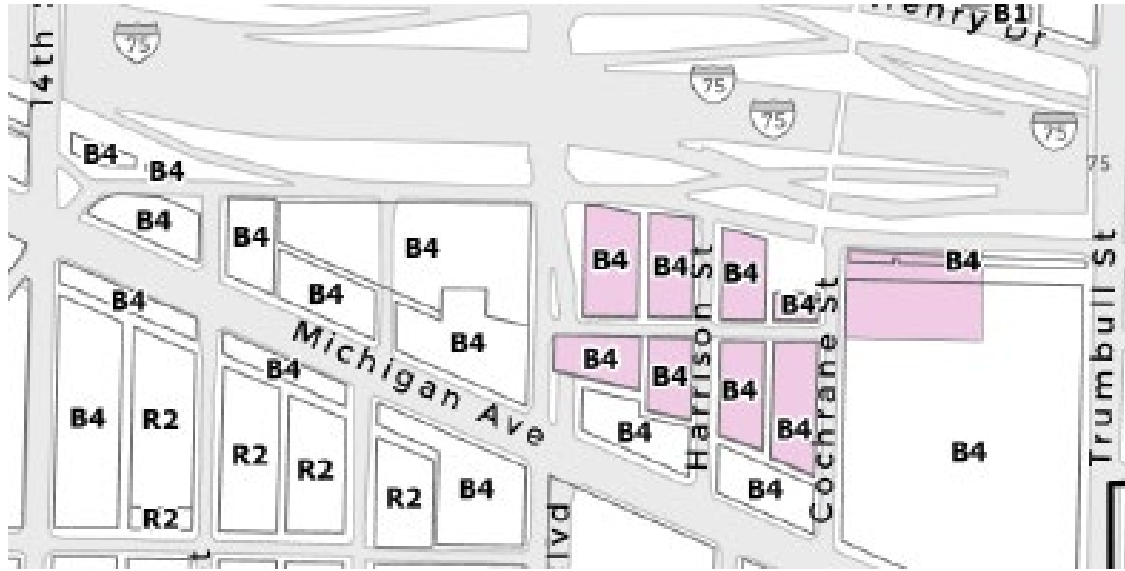
R3 - Low Density Residential

SD1 - Small-Scale, Mixed-Use

SD2 - Mixed-Use

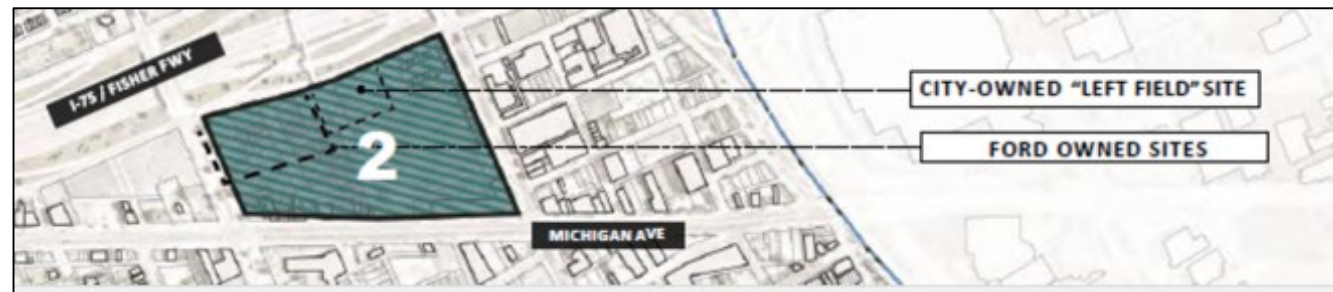
B4 - General Business

SD2 Zoning



Portions of Harrison and Cochrane to SD2 Mixed-Use

- To support affordable housing in the neighborhood and Detroit's Choice Neighborhood
- Encourage mixed-use and strong urban design



Above map image from Greater Corktown Framework

Why R2 to R3?

Portions of 15th, 16th, and Vermont Street to R3 Low Density Residential District

- To expand upon R3 zoning already in place in the neighborhood
- To support more housing style options
 - Lofts
 - Townhomes by right (conditional in R2)
 - Apartment buildings larger than 8 units
- To support affordable housing in the neighborhood, such as Detroit's Choice Neighborhood

PEASE VISIT

WWW.DETROITMI.GOV/GREATERCORKTOWN

FOR THE FULL LIST OF USES PERMITTED IN EACH ZONING DISTRICT



Why **SD1**?

14th & the Service Dr to SD1 Small Scale, Mixed-Use

- This zoning update will support a mixed-use, pedestrian friendly environment on 14th Street
- Provide for small retail opportunities on 14th Street
- This zoning update will create a buffer along the service drive
- The SD1 does not allow uses or building design that is auto-focused in nature
- The SD1 will allow a more traditional and urban approach to development - allowing urban design that is more pedestrian friendly and walkable



What is **MIXED USE**?



The SD1 and SD2 Mixed-use zoning will allow for a *mix of these uses*, such as:

- Apartments with retail
- Live/work space
- Townhouse
- Retail only
- Apartments only
- Office only
- Apartments with retail
- Live/work space
- Office with retail



Residential

“R” ZONES



Retail



Business

“B” ZONES



Industrial

“M” ZONES

What is MIXED USE?



NEIGHBORHOOD MIXED USE



NEIGHBORHOOD MIXED USE



NEIGHBORHOOD MIXED USE



NEIGHBORHOOD MIXED USE

What is **MIXED USE**?

Drive-Thru Not
Permitted in SD1 or SD2



Parking deck must have
ground floor retail



**SD1 and SD2
MIXED USE
DESIGN STANDARDS**

REQUIRES TRADITIONAL WALKABLE DESIGN



REQUIRE PARKING TO REAR OR SIDE

BAGLEY AVE.



ENCOURAGES ENTRANCES ON STREET

TRUMBULL



ALLOWS TO BUILD TO THE LOT LINE - CREATE STREET WALL

MICHIGAN AVE.



**ALLOWS MIXED USE AND
LIGHT INDUSTRIAL
“MAKER” USES**



Grand River Zoning

Grand River to SD2 Mixed-Use

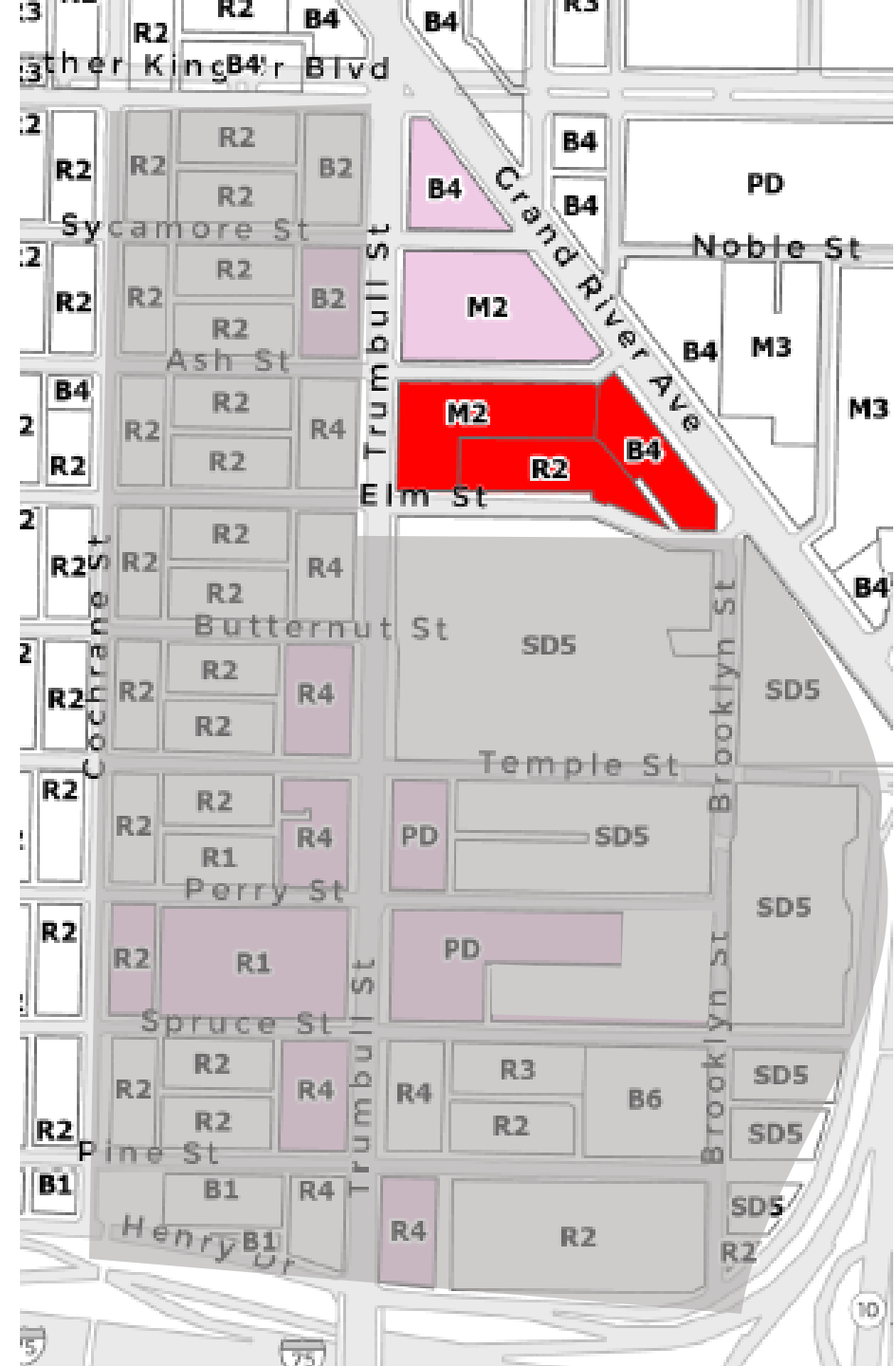
- To meet the Master Plan of Policies
- Encourage mixed-use and strong urban design

Portions of Grand River B4

- To correct the map and remove the M2/R2 zoning that exists at the site
- Create one zoning parcel of B4 that will accommodate Goodwill

SD2 - Mixed-Use

B4 - General Business

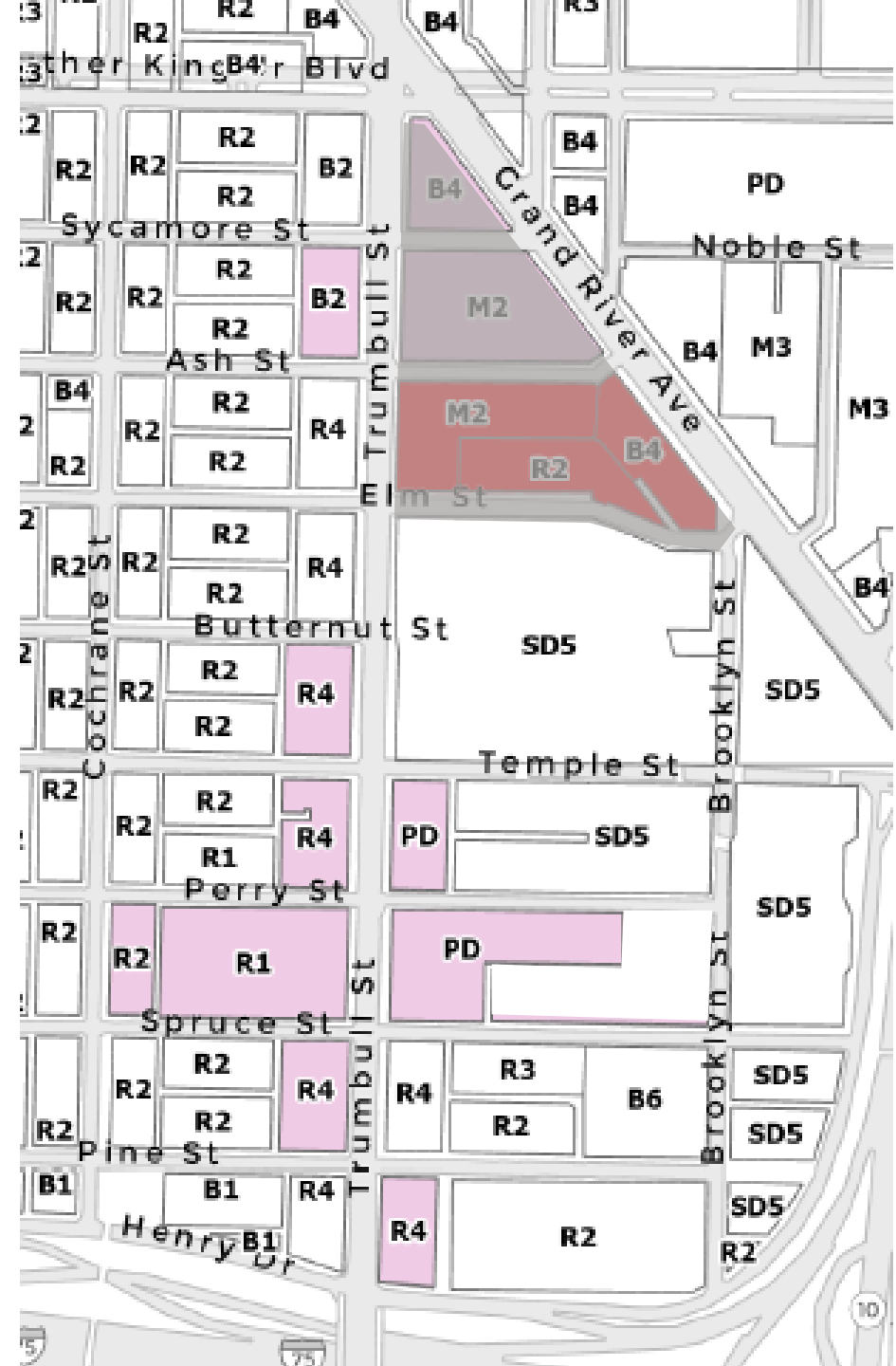


Trumbull Zoning

Portions of Trumbull to SD2 Mixed-Use

- To meet the Master Plan of Policies
- Correct an error of the PD zoning
- Encourage mixed-use and strong urban design
- SD1 may be more appropriate for Trumbull

SD2 - Mixed-Use



NORTH CORKTOWN ZONING UPDATE

Timeline

Public
Zoning
Meeting

**APRIL 19
2021**

CPC Public
Hearing

**May 6
2021**

Law
Review

**MAY
2021**

PED
Committee
Hearing

**JUNE
2021**

City Council
Vote

**JULY
2021**



FAQS



Will my use be allowed to continue under the proposed new zoning code?

- Yes, all currently operating legal and permitted uses are allowed to continue operating, without any interruption or need for additional review.
- In the event that a use is not permitted under the new zoning classification, it is still able to continue operating legally, as the use is “grandfathered in”; however the use classified as a non-conforming use.

FAQS

Can this zoning concept be adjusted or changed?

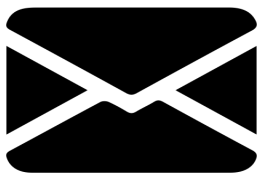
- This rezoning plan is in conceptual form. Please phone or email your requests or suggestions the City Staff. Staff will review all requests and be mindful of your suggestions when completing the review of this proposed zoning change.

I have comments, suggestions, questions on the proposed zoning change, where do I send them?

- Great! Please send your comments and inquires to Greg Moots, PDD



(313) 224-1358



greg@detroitmi.gov

Why **UPDATE ZONING** NORTH CORKTOWN?

To support

- **Outcomes of the Framework Plan**
- **Affordable housing efforts**
- **Access to neighborhood goods and services**
- **Walkable communities through urban design**



Q & A