

Digital EGLE/USACE Joint Permit Application (JPA) for Inland Lakes and Streams, Great Lakes, Wetlands, Floodplains, Dams, Environmental Areas, High Risk Erosion Areas and Critical Dune Areas

version 1.12

(Submission #: HNT-90TK-52N5D, version 1)

Details

Submission ID	HNT-90TK-52N5D
Submission Reason	New
Status	Submitted

Fees

Fee	\$100.00
Payments/Adjustments	(\$100.00)
Balance Due	\$0.00 (Paid)

Form Input

Instructions

[To download a copy or print these instructions. Please click this link \(recommended\).](#)

Contact Information

Applicant Information (Usually the property owner)

First Name	Last Name	
Nathan	Keup	
Organization Name		
Ginosko Development Company		
Phone Type	Number	Extension
Business	734-740-1912	
Email		
nkeup@ginosko.com		
Address		
41800 W 11 MILE RD		
STE 209		
NOVI, MI 48375		

Is the Property Owner different from the Applicant?

No

Has the applicant hired an agent or cooperating agency (agency or firm assisting applicant) to complete the application process?

Yes

Upload Attachment for Authorization from Agent

19-1024 7850 EGLE Authorization Letter.pdf - 01/14/2021 02:04 PM

Comment

NONE PROVIDED

Agent Contact

First Name	Last Name	
Dave	Root	
Organization Name		
Giffels Webster		
Phone Type	Number	Extension
Business	248-598-5124	
Email		
droot@giffelswebster.com		
Address		
28 W ADAMS AVE		
STE 1200		
DETROIT, MI 48226		

Are there additional property owners or other contacts you would like to add to the application?

No

Project Location

DEQ Site Reference Number (Pre-Populated)

8306994256366075329

Project Location

42.34961500000001,-82.99483599999996

Project Location Address

7850 East Jefferson

Detroit, MI 48214

County

Wayne

Is there a Property Tax ID Number(s) for the project area?

Yes

Please enter the Tax ID Number(s) for the project location

ward 17 item 000017

Is there Subdivision/Plat and Lot Number(s)?

Yes

Subdivision/Plat and Lot Number(s)

Van Dyke Estate & Farm Liber 4 of Plats page 98, lots 1 & 2

Is this project within Indian Lands?

No

Local Unit of Government (LUG)

Detroit

Directions to Project Site

project site is on the south side of Jefferson Ave. between Grand Blvd and Van Dyke St.

Background Information

Has the Michigan Department of Environment, Great Lakes, and Energy (EGLE) and/or United States Army Corps of Engineers (USACE) conducted a pre-application meeting/inspection for this project?

No

Has the EGLE completed a Wetland Identification Program (WIP) assessment for this site?

No

Environmental Area Number (if known):

NONE PROVIDED

Has the United States Army Corps of Engineers (USACE) completed either an approved or preliminary jurisdictional determination for this site?

No

Were any regulated activities previously completed on this site under an EGLE and/or USACE permit?

No

Have any activities commenced on this project?

No

Is this an after-the-fact application?
No

Are you aware of any unresolved violations of environmental law or litigation involving the property?
No

Is there a conservation easement or other easement, deed restriction, lease, or other encumbrance upon the property?
No

Are there any other federal, interstate, state, or local agency authorizations associated with this project?
Yes

List all other federal, interstate, state, or local agency authorizations.

Agency	Type of Approval	Number	Date Applied	Approved/Denied/Undetermined
City of Detroit	Site Plan, Building Approval	NONE PROVIDED	8/28/2019	Undetermined

Comments
NONE PROVIDED

Permit Application Category and Public Notice Information

Indicate the type of permit being applied for.
Minor Project for wetlands, lakes, streams, floodplains, or Great Lakes

If you are applying for a minor project permit, which project type(s) is being proposed?
MP 20. Fills - Minor
Floodplain Only MP Stormwater Outfall

If you are applying for a general permit, which project type(s) is being proposed?
NO GP CATEGORY (MP Category only)

Project Description

Project Use: (select all that apply - Private, Commercial, Public/Government/Tribal, Receiving Federal/State Transportation Funds, Non-profit, or Other)
Receiving Federal/State Funds
Private

Project Type (select all that apply):
Development-Condominium/Subdivision-Residential
Utility - Electrical, fiber optic, other
Utility - Sewer/water line

Project Summary (Purpose and Use): Provide a summary of all proposed activities including the intended use and reason for the proposed project.
Constructing 3 16,000 sqft buildings with below ground parking, along with 164 spaces and drive, on a 2.8 acre site.

Project Construction Sequence, Methods, and Equipment: Describe how the proposed project timing, methods, and equipment will minimize disturbance from the project construction, including but not limited to soil erosion and sedimentation control measures.
Silt fence will be placed a foot north of existing seawall prior to excavation for proposed seawall.

Project Alternatives: Describe all options considered as alternatives to the proposed project, and describe how impacts to state and federal regulated waters will be avoided and minimized. This may include other locations, materials, etc.

A new retaining wall upland of the existing seawall is planned to be incorporated just outside the zone of influence of the existing wall to minimize impact due anticipated required grading to accommodate the planned site.

Project Compensation: Describe how the proposed impacts to state and federal regulated waters will be compensated, OR explain why compensatory mitigation should not be required for the proposed impacts. Include amount, location, and method of compensation (i.e., bank, on-site, preservation, etc.)

Compensation will not be required because the Detroit River will not be impacted by this construction. Sediment control measures are in place to protect the Detroit River.

Upload any additional information as needed to provide information applicable to your project regarding project purpose sequence, methods, alternatives, or compensation.

2021-01-14 7850 East Jefferson Multi-Family Development Floodplain Activities Summary.pdf - 01/14/2021 02:15 PM

Comment

NONE PROVIDED

Resource and Activity Type

SELECT THE ACTIVITIES from the list below that are proposed in your project (check ALL that apply). If you don't see your project type listed, select "Other Project Type". These activities listed require additional information to be gathered later in the application.

Shore Protection such as Seawalls, RipRap, and Bioengineering

The Proposed Project will involve the following resources (check ALL that apply).

Stream or River

100-year Floodplain

Major Project Fee Calculation Questions

Is filling of 10,000 cubic yards or more proposed (cumulatively) within wetlands, streams, lakes, or Great Lakes?

No

Is dredging of 10,000 cubic yards (cumulatively) or more proposed within streams, lakes, or Great Lakes? (wetlands not included)

No

Is new dredging or adjacent upland excavation in suspected contamination areas proposed by this application?

No

Is a subdivision, condominium, or new golf course proposed?

No

Stream Project Information (1 of 1)

Please provide a name for the stream, river, channel:

Detroit River

Stream Water elevation reference* (show elevation on plans with description):

NAVD 88

Ordinary High Water Mark (OHWM) elevation (feet):

571.9

Date of observation (M/D/Y)

3/26/2021

What length (feet) does the project activity(ies) extend waterward of the OHWM?
0

What length (feet) does the project activity(ies) extend landward of the OHWM?
98

Is the drainage area upstream of the proposed project area greater than 2 sq. miles?
No

What is the the width (feet) of the stream where the water begins to overflow its banks. This is called the Bankfull width.
6

Will a turbidity curtain be used during the proposed project?
No

Inland Lakes, Great Lakes and Stream Impacts (1 of 1)

The following impact description applies to: (select only one at a time, duplicate this entire section if there are impacts to multiple waterbody types):
Stream

Linear feet of stream affected by your project

Category	Affected linear feet (ft)
Permanent	175
Temporary	0
	Sum: 175

Select from the following list all Fill Activities (select all that apply to this waterbody impacted):

- Backfill
- Path/Sidewalk
- General Fill
- Grading or Mechanical Land Clearing

Complete this table for projects involving Fill below the Ordinary High Water Mark. Enter each activity/ location that corresponds with each activity selected in the previous question and enter the dimensions. Activities may be entered in one line of the table if they occupy the same impact footprint and cannot be broken out separately (Example: Activity - Driveway and Riprap slope). Multiple activities in different locations should be listed on different lines of the table.

Activity	Length (feet)	Width (feet)	Depth (feet)	Area (square feet)	Volume (cubic feet)	Volume (cubic yards)	Corrected Value for complex impact Area (square feet)
Fill for Building & Park	175	40	0.88	7000	6160	228	6918
				Sum: 7000	Sum: 6160	Sum: 228	Sum: 6918

Type of Fill

- Gravel
- Sand

Source of Fill

On-site (show on plans)

Is riprap proposed?

Yes

Indicate size range of riprap:

6'x8' rip-rap at the end section for storm discharge

Type of riprap
Field stone

Will material be installed under the riprap?
Yes

Type of material installed under riprap:
Filter fabric

Activities Involving Dredging or Excavation: Select from the following list for Excavation/Dredge Activities (select all that apply to this waterbody impacted):
No Dredging/Excavation Proposed

If your project includes STRUCTURES then select all of the proposed activities in the following list. If your activity is not shown, then select “None of the Above” and move to the next question. Only enter an impacted area in one of the impact tables (do not duplicate impact entries).:
Retaining Wall

Projects involving Structures constructed below the Ordinary High Water Mark:

Activity	Length (feet)	Width (feet)	Depth (feet)	Area (square feet)	Volume (cubic feet)	Volume (cubic yards)	Corrected value for complex impact AREAS (square feet)
Retaining Wall	175	2	1.75	350	612.5	23	NONE PROVIDED
				Sum: 350	Sum: 612.5	Sum: 23	Sum: NaN

If your project includes Other Activities not listed in this section, then select from the proposed activities in the following list. If your activity has not been listed in this Section, then select “Other” and enter a description of your activity. Only enter an impacted area in one of the impact tables (do not duplicate impact entries). If you selected a Fill, Excavation/Dredging, or Structure activity above in this section, but do not have an activity listed as Other, then select None of the Above for this question.
None of the above

Does the proposed project include mitigation?
none

Shore Protection Project such as Seawalls, RipRap, or Bioengineering

Select all that apply to your project.
RipRap

Is a cumulative length of seawalls, bulkheads, or revetments of 500 feet or more in length proposed?
No

Is the proposed structure going to extend 150 feet or more into a lake or stream?
No

Distance from the project to the adjacent property lines

Distance from property line to the left (feet)	Distance from property line to the right (feet)
22	8

Distance of project from an obvious fixed structure (example - 50 ft from SW corner of house)

90 feet from NE corner of building, W of site

Will any existing structures be removed as part of this project including walls or any other structure?

No

Floodplain

Proposed Activity

Stormwater Outfall

Fill

Parking Lot/Sidewalk/Pathway

Building - Residential

100-Year Floodplain Elevation

Please provide a name for the stream, river, channel, or waterbody:	100-Year Floodplain Elevation (feet)	Datum	Source of Datum
Detroit River	578	NAVD88	FEMA Maps

Upload Documents for Datum Source

NONE PROVIDED

Comment

NONE PROVIDED

Fill volume below the 100-year floodplain elevation (cubic yards)

165

Source of Fill Material:

On-site

Type of Fill

Clay

Calculations Upload

C-702 Floodplain Impact Plan-C-703.pdf - 01/14/2021 02:19 PM

Comment

NONE PROVIDED

Is the building or addition serviced by a sewer or septic?

Public sewer

Is this project located in the floodway?

Yes

Were one or more Hydraulic Analyses completed for this project?

No

Local Unit of Government (LUG) Acknowledgement Letter Upload

7850 E Jefferson Approva_001.pdf - 03/26/2021 04:27 PM

Comment

NONE PROVIDED

Is there an existing building on site?

No

Proposed Structure Information

Structure Name	Lowest adjacent grade (feet):	Foundation type	Foundation floor elevation (feet):	Height of crawl space/basement from finished foundation floor to bottom of floor joists (feet):	Elevation of 1st floor above basement floor/crawl space (feet):	Area of proposed foundation (square feet):	Elevation of proposed enclosed area (feet):
Building 3	582.84	basement	588.60	12	600.6	8960	578.84

Are flood vents being used for this project?

No

Upload of Proposed Site Plans

Required on all Site Plan uploads. Please identify that all of the following items are included on your plans that you upload with this application.

Site Plan Features	Existing and Proposed Plan Set
Scale, Compass North, and Property Lines	Yes
Fill and Excavation areas with associated amounts in cubic yards	Yes
Any rivers, lakes, or ponds and associated Ordinary High Water Mark (OHWM)	Yes
Exterior dimensions of Structures, Fill and Excavation areas associated with the proposed project	N/A
Dimensions to other Structures and Lot Lines associated with the project	Yes
Topographic Contour Lines from licensed surveyor or engineer when applicable	Yes

Upload Site Plans and Cross Section Drawings for your Proposed Project

[C-500 Overall Site Plan.pdf - 01/14/2021 03:33 PM](#)

[C-701 Utility Plan.pdf - 01/14/2021 03:33 PM](#)

[C-700 Utility Plan.pdf - 01/14/2021 03:33 PM](#)

[C-702 Floodplain Impact Plan.pdf - 01/14/2021 03:33 PM](#)

[C-200 Existing Conditions-Overall.pdf - 01/14/2021 03:33 PM](#)

[C-703 Floodplain Cross Sections.pdf - 01/14/2021 03:34 PM](#)

Comment

NONE PROVIDED

Additional Required and Supplementary Documents

NONE PROVIDED

Comment

NONE PROVIDED

Fees

Minor Project Fee:
+\$100.00

Total Fee Amount:

\$100.00

Is the applicant or landowner a State of Michigan Agency?

No

Attachments

Date	Attachment Name	Context	User
3/26/2021 4:27 PM	7850 E Jefferson Approva_001.pdf	Attachment	David Root
1/14/2021 3:34 PM	C-703 Floodplain Cross Sections.pdf	Attachment	David Root
1/14/2021 3:33 PM	C-701 Utility Plan.pdf	Attachment	David Root
1/14/2021 3:33 PM	C-700 Utility Plan.pdf	Attachment	David Root
1/14/2021 3:33 PM	C-702 Floodplain Impact Plan.pdf	Attachment	David Root
1/14/2021 3:33 PM	C-200 Existing Conditions-Overall.pdf	Attachment	David Root
1/14/2021 3:33 PM	C-500 Overall Site Plan.pdf	Attachment	David Root
1/14/2021 2:19 PM	C-702 Floodplain Impact Plan-C-703.pdf	Attachment	David Root
1/14/2021 2:15 PM	2021-01-14 7850 East Jefferson Multi-Family Development Floodplain Activities Summary.pdf	Attachment	David Root
1/14/2021 2:04 PM	19-1024 7850 EGLE Authorization Letter.pdf	Attachment	David Root



DEPARTMENT OF
**Buildings, Safety Engineering &
Environmental**

Coleman A. Young Municipal Center
2 Woodward Avenue, Fourth Floor
Detroit, Michigan, 48226

Phone 313-224-2733 TTY:711
Fax 313-224-1467
www.detroitmi.gov

March 18, 2021

Michigan Department of Energy, Great Lakes and Energy
Water Resources Division
27700 Donald Ct
Warren, MI 48092

To whom it may concern,

The City of Detroit is aware of a proposed project within the floodplain to install a new retaining wall approximately 15 feet north of the existing seawall at 7850 East Jefferson Ave. We understand that the existing top of seawall is determined to be 565.53 feet, bottom of proposed wall: 567.45 feet, and top of proposed wall: 600.74 feet.

The Buildings, Safety Engineering and Environmental Department does not object to this moving forward for approval from Michigan Department of Energy, Great Lakes and Energy.

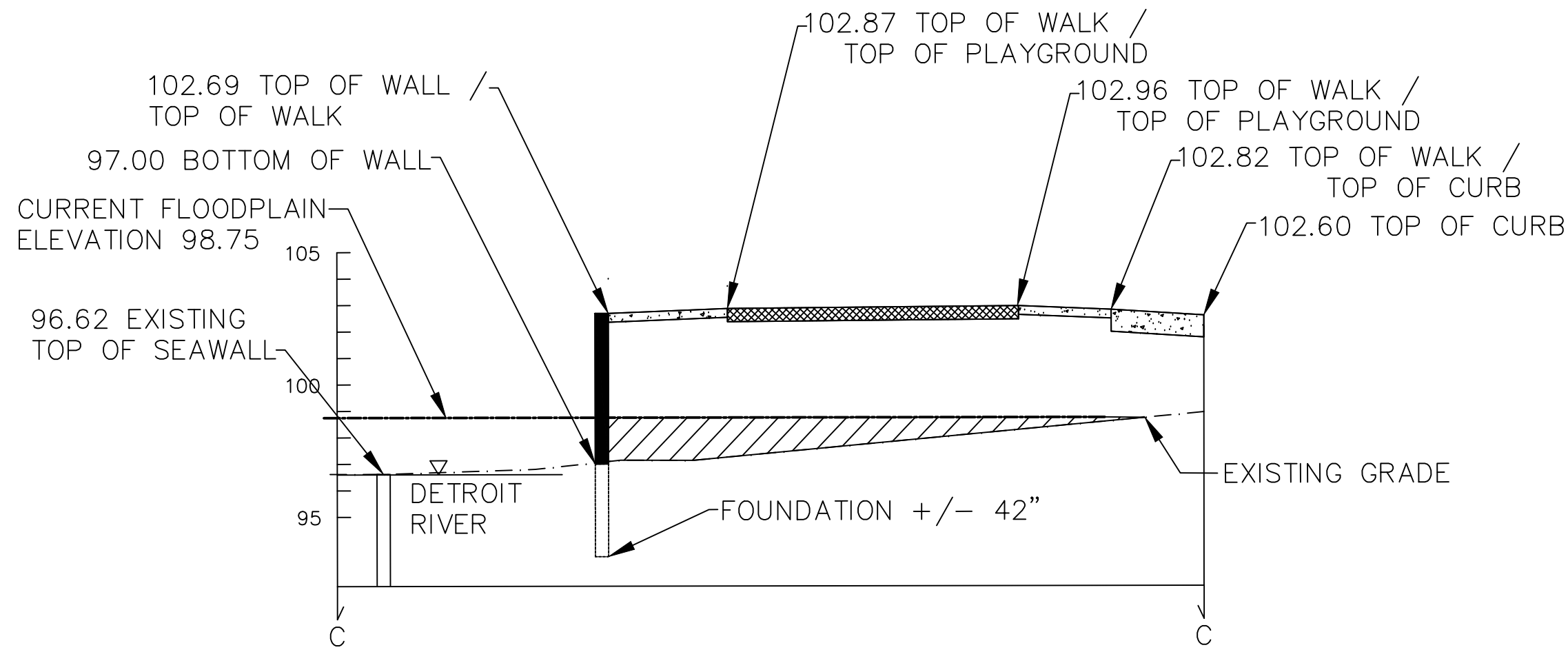
Regards,

David Bell
Director

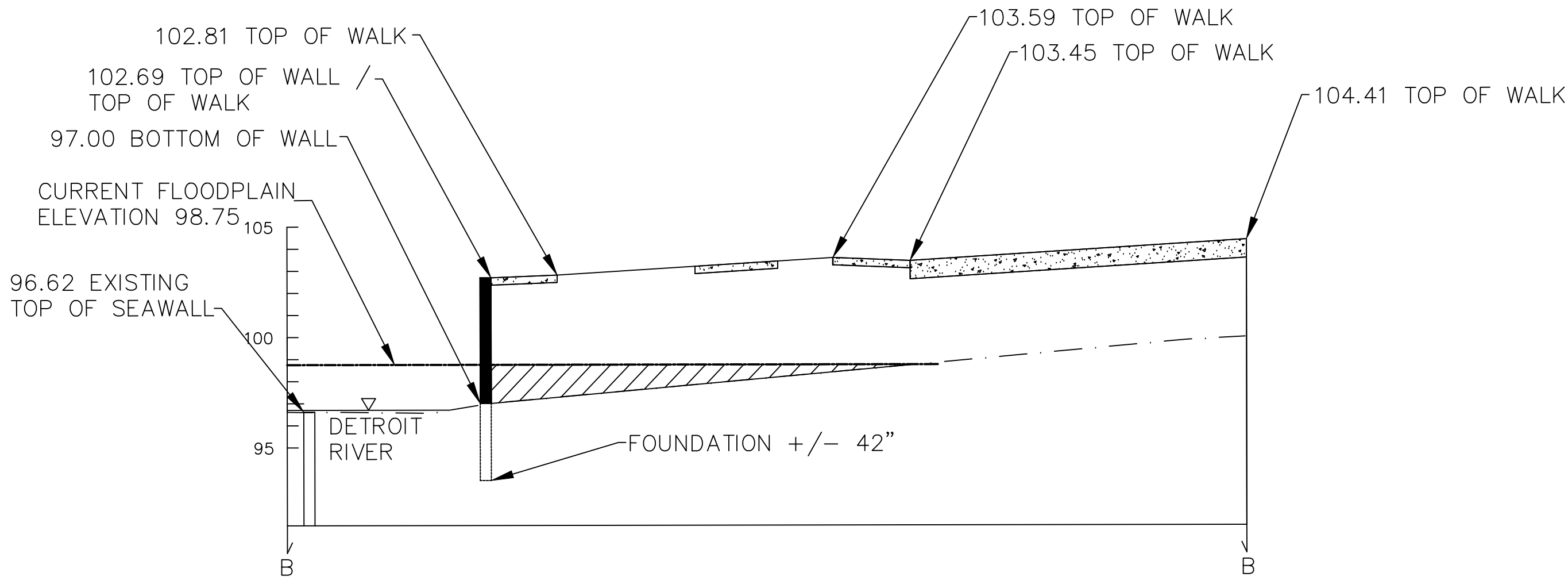
DB/ras/rw

cc: James Foster, Manager II - DRC

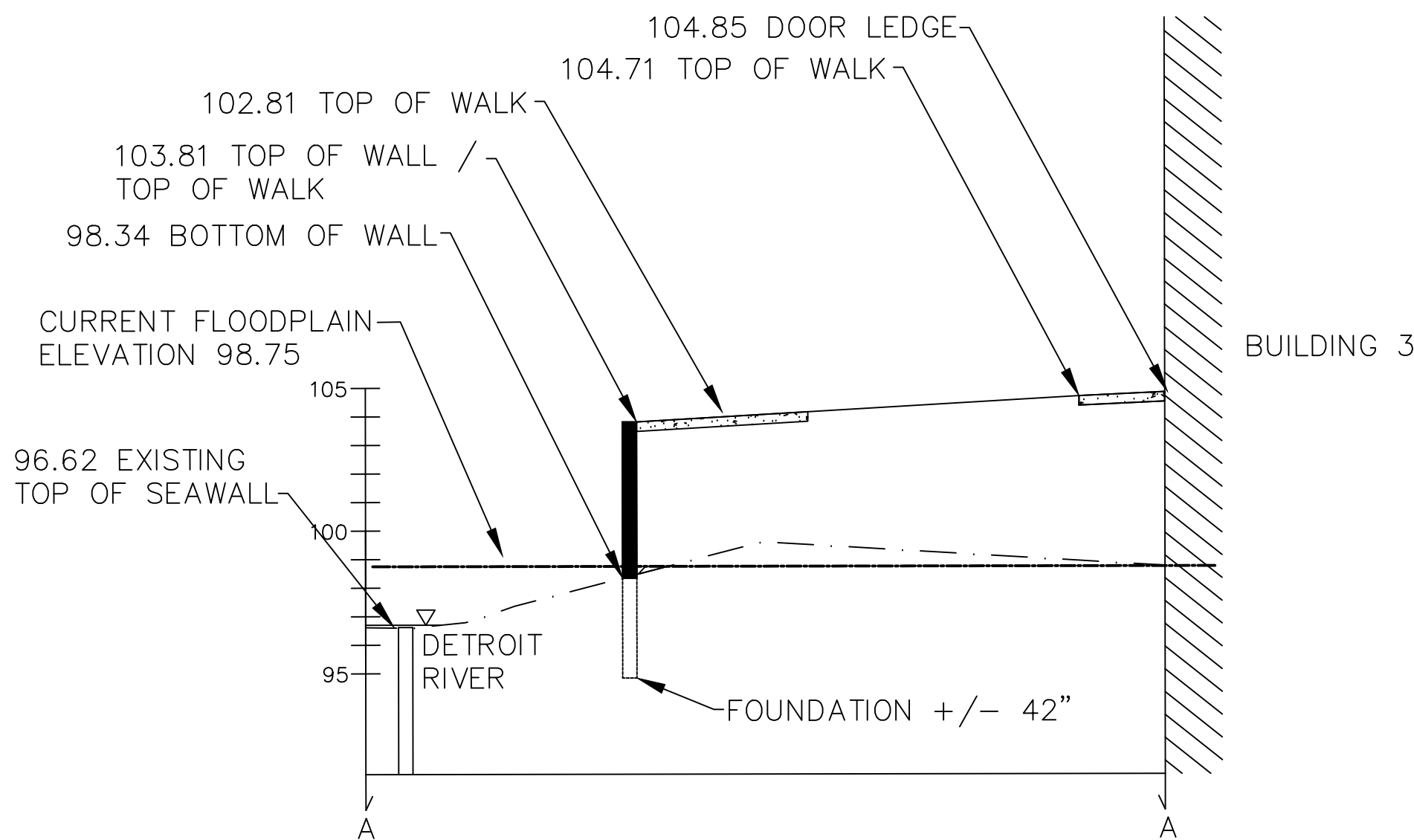
V:\19504-01D 7850 East Jefferson\Design\CAD\Sheet Files\C-702 Floodplain Impact Plan.dwg



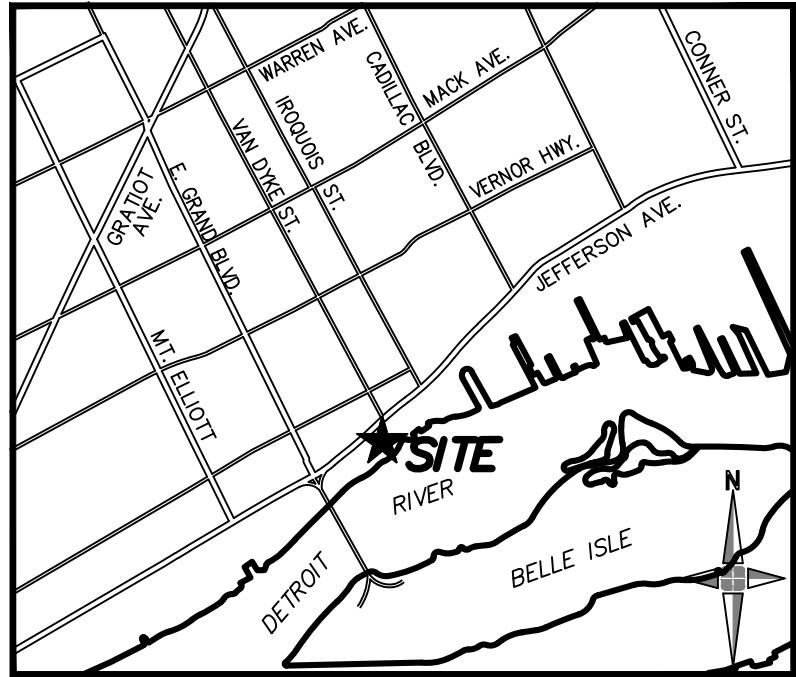
SECTION A-A
H:1"=20'
V:1"=10'
C-702



SECTION B-B
H:1"=20'
V:1"=10'
C-702



SECTION C-C
H:1"=20'
V:1"=10'
C-702



LOCATION MAP
(NOT TO SCALE)

FLOODPLAIN NOTES

- EFFECTIVE 2012
- FEMA MAP 261630301E
 - FLOOD ELEVATION 578.00
 - NAVD88-DETROIT DATUM = EL.479.25
= 578-479.25
= 98.75
 - ESTIMATED FILL 165 CY

**giffels
webster**

Engineers
Surveyors
Planners
Landscape Architects

28 West Adams Road
Suite 1200
Detroit, MI 48226
p (313) 962-4442
f (313) 962-5068
www.giffelswebster.com

Executive: M. Marks
Manager: D. Root
Designer: L. Overbeck
Quality Control: M. Darga
Section: PC - Van Dyke Farm

Professional Seal:



Know what's below.
Call before you dig.

DATE:	ISSUE:
2021-01-06	EGLS Submittal

Developed For:
Ginosko Development Co.

41800 W. 11 Mile Rd
Ste. 209
Novi, MI 48375
T: (248) 513-4900
F: (248) 513-4904

Floodplain Impact Plan

7850 E. Jefferson Ave.

City of Detroit
Wayne County
MICHIGAN

Date: 2019-04-25
Scale:
Sheet: C-703
Project: 19604-10

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prior written consent of Giffels Webster.

NOT FOR CONSTRUCTION

REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.

2. IN COMPLIANCE WITH PUBLIC ACT 53 OF THE STATE OF MICHIGAN (EFFECTIVE) AUGUST 1, 1974, THE CONTRACTOR SHALL NOTIFY IN ADVANCE OF CONSTRUCTION (72 HOURS)3 WORKING DAYS) ALL PUBLIC AND PRIVATE UTILITY OWNERS HAVING EXISTING FACILITIES IN OR NEAR THE IMMEDIATE WORKING AREA FOR CONVENIENCE. THE KNOWN UTILITY OWNERS ARE LISTED BELOW. THIS LISTING DOES NOT, HOWEVER RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF VERIFYING UTILITY LOCATIONS AND NOTIFYING ALL UTILITY OWNERS AND MISS DIG (PHONE: 1-800-482-7171).

AMERITECH	COMCAST CABLE COMPANY
(313) 221-2121	(313) 934-1608
DETROIT EDISON COMPANY	DETROIT PUBLIC LIGHTING COMPANY
(313) 237-9000	(313) 224-0500
DETROIT WATER & SEWERAGE	MICHIGAN CONSOLIDATED GAS COMPANY
(313) 833-8649	(313) 965-0435

3. ALL TRENCHES WITHIN A ONE ON ONE SLOPE OF PAVEMENT SHALL BE BACKFILLED WITH SAND (MDOT CLASS II MINIMUM) AND MECHANICALLY COMPACTED IN NOT MORE THAN 9" LAYER TO 95% MAXIMUM DRY DENSITY PER MODIFIED PROCTER COMPACTION TEST ASTM D-1557. COMPACTED SAND BACKFILL SHALL ALSO BE PROVIDED FOR ALL SEWER TRENCHES LOCATED UNDER, OR WITHIN, THREE FEET OF PAVEMENT.

4. THE COST OF ALL TREE, STUMP, PAVEMENT AND/OR STRUCTURE REMOVAL AND DISPOSAL NOT INCLUDED IN THE PROPOSAL SHALL BE CONSIDERED INCIDENTAL AND INCLUDED IN THE PRICE BID FOR WATERMAIN, SANITARY SEWER, STORM SEWER, AND PAVING WORK.

5. A MINIMUM VERTICAL CLEARANCE OF 18 INCHES IS REQUIRED AT UTILITY CROSSINGS (MEASURED FROM THE OUTSIDE OF PIPE TO THE OUTSIDE OF PIPE). POSITIVE PROVISIONS SHALL BE MADE TO ENSURE THAT ALL UTILITY TRENCHES ARE FREE DRAINING DURING ALL PHASES OF CONSTRUCTION.

6. THE REQUIRED BEDDING FOR SEWER PIPE SHALL CONSIST OF A MAXIMUM 3/4 INCH DIAMETER CRUSHED STONE.

7. THE MINIMUM SLOPE FOR A BUILDING LEAD IS 1%. LEADS SHALL ONLY BE CONNECTED TO THE MAIN LINE WITH WYES.

8. ALL STORM SEWER PIPE SHALL BE CONSTRUCTED WITH RUBBER GASKET (PREMIUM) JOINTS.

9. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF ALL UTILITY LINES AND STRUCTURES, AS OUTLINED ON THE DEMOLITION PLAN, WITH THE INSTALLATION OF UTILITY IMPROVEMENTS.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING GRADE MODIFICATIONS INDICATED ON THE FINISHED LANDSCAPE PLAN, AND COORDINATE THE ACTUAL FINISH GRADE OF FIRE HYDRANTS, GATE VALVE CASTINGS, MANHOLES, YARD DRAINS, CLEAN OUTS AND OTHER UTILITY STRUCTURES. ENSURE THAT ALL FINISH GRADING IS PERFORMED IN A MANNER THAT ACCOMPLISHES THE PROJECT DESIGN OBJECTIVES AND PROVIDES FOR POSITIVE DRAINAGE OF ALL AREAS. ANY SUBSTANTIAL GRADE CHANGES WHICH MAY CAUSE FUNCTIONAL PROBLEMS SHALL BE REPORTED PROMPTLY TO THE ENGINEER WHO SHALL EVALUATE THE CONDITIONS AND PROVIDE CORRECTIONAL RECOMMENDATIONS TO THE OWNER FOR FINAL DETERMINATION.

11. CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS ETC., IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.

12. THE CONTRACTOR SHALL REMOVE UTILITIES, WHICH HAVE BEEN ABANDONED IN PLACE, AS REQUIRED TO COMPLETE INSTALLATION OF NEW UTILITIES. WHENEVER ABANDONED UTILITIES ARE CUT, CONTRACTOR SHALL COMPLETELY CAP BOTH ENDS TO PREVENT THE INFILTRATION OF SOILS.

13. NO CONNECTION MAY BE MADE TO ANY EXISTING WATER MAIN UNTIL THE NEW MAIN HAS PASSED ALL PRESSURE AND BACTERIOLOGICAL TESTING.

14. ROADWAY, DRIVEWAY AND PARKING AREA CROSSINGS SHALL BE TEMPORARILY CONDITIONED IMMEDIATELY AFTER CROSSING BY PLACING 6" OF MDOT 22A GRAVEL OR SLAG AGGREGATE, AND SHALL BE MAINTAINED IN GOOD, DUST FREE CONDITION UNTIL PAVEMENT RESTORATION IS MADE.

15. VERIFY EXISTING INVERT ELEVATIONS PRIOR TO START OF CONSTRUCTION.

16. ALL SEWER WORK ON THESE DRAWINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETROIT WATER AND SEWERAGE DEPARTMENT'S LATERAL CONSTRUCTION SPECIFICATIONS, PERMIT AND INSPECTION.

17. ALL MANHOLE AND CATCH BASIN COVERS SHALL BE BOLTED DOWN.

18. ALL SEWER PIPE SHALL BE REINFORCED CONCRETE ASTM C76, CLASS IV.

19. ALL WATER MAIN TO BE DUCTILE IRON CLASS 56 WITH A POLYETHYLENE WRAP IN ACCORDANCE WITH DWSD STANDARDS.

20. ALL WATER MAINS TO BE INSTALLED WITH A MINIMUM OF 5'-0" OF COVER.

21. CONCRETE THRUST BLOCKS SHALL BE PLACED ON ALL FITTINGS.

22. ALL WATER MAIN WORK IS TO BE DONE IN ACCORDANCE WITH DETROIT WATER AND SEWERAGE DEPARTMENT'S STANDARD AND SPECIFICATIONS, PERMIT AND INSPECTION.

23. ALL SEWER MANHOLES ARE TO HAVE ECCENTRIC CONES.

24. EXISTING OUTLET SEWER INVERTS ELEVATIONS ARE TO BE FIELD VERIFIED.

25. PROVIDE HIGH POINT AT PROPERTY LINE ACROSS DRIVES.

26. RESTORE WALK, CURB, AND PAVEMENT TO MATCH EXISTING AFTER UTILITY CUTS.

27. CONTRACTOR TO COORDINATE WITH PLD, DTE, DETROIT THERMAL, AND ALL OTHER UTILITY COMPANIES AFFECTED BY THE SEWER RELOCATION WORK. ALL MANHOLES, CABLES, DUCT BANKS, PIPES OR ANY ADDITIONAL ITEMS THAT NEED TO BE REPLACED SHOULD BE COMPLETED PER THE UTILITY COMPANY'S STANDARD AND SPECIFICATIONS IF REQUIRED.

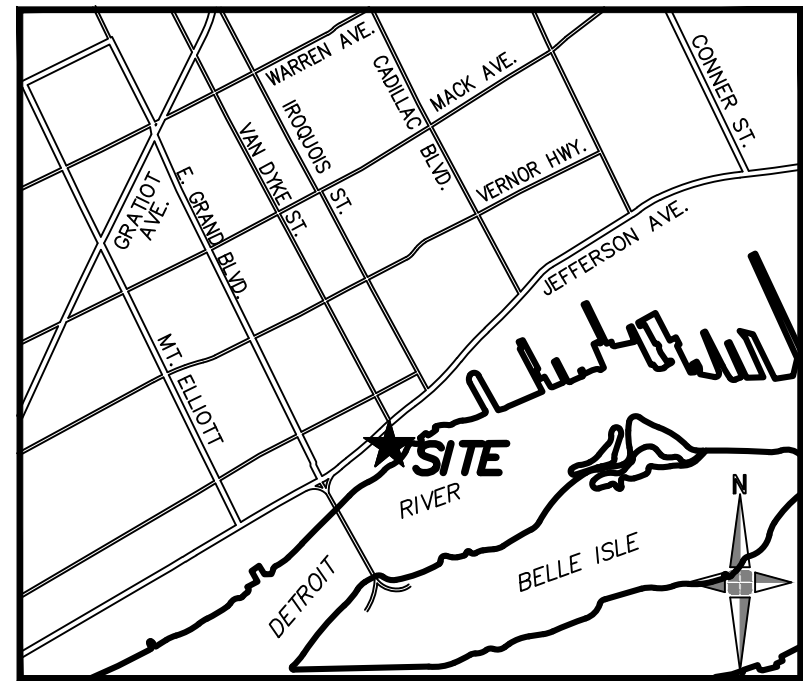
28. ALL PVC STORM PIPE SHALL BE SDR 26 UNLESS OTHERWISE NOTED.

29. ALL SANITARY PVC PIPE SHALL BE SCHEDULE 40 UNLESS OTHERWISE NOTED.

29. ALL MDOT GUIDELINES SHALL BE FOLLOWED FOR WORK IN GRAND RIVER RIGHT-OF-WAY.

30. CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL PER MDOT AND TEST STANDARDS.

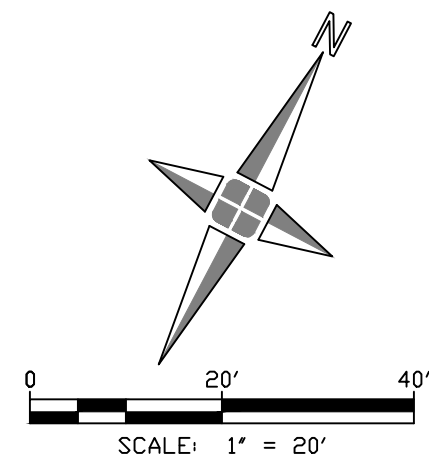
31. SEE STORM TIBRARY AREA PLAN FOR STORMWATER CALCULATIONS.



LOCATION MAP
(NOT TO SCALE)

PROPOSED STORM PIPE	—————
PROPOSED CATCH BASIN	■
PROPOSED STORM MANHOLE	⊙
PROPOSED STORM CLEANOUT	○
PROPOSED SANITARY PIPE	- - - - -
PROPOSED SANITARY MANHOLE	●
PROPOSED SANITARY CLEANOUT	●
PROPOSED WATER SERVICE	————— - - -
PROPOSED WATER STOP BOX	⊙
PROPOSED STORM YARD BASIN	⊠
PROPOSED INLET	◼

- 1 PROPOSED STORM CATCH BASIN PER
DWSO STANDARDS
- 2 PROPOSED STORM MANHOLE
- 3 CONNECT TO EXISTING COMBINED
SEWER MANHOLE
- 4 CONNECT TO EXISTING WATER MAIN
WITH CUT-IN TEE, PER DWSO STANDARDS
- 5 PROPOSED FIRE HYDRANT ASSEMBLY (PRIVATE)
- 6 CONCRETE ENCASEMENT AT UTILITY
CROSSING
- 7 PROPOSED SANITARY MANHOLE
- 8 PROPOSED SANITARY CLEANOUT
- 9 PROPOSED CONTECH VORTECH
PRE-TREATMENT UNIT
- 10 WATER METER ROOM LOCATION
- 11 PRIVATE WATERMAIN
- 12 PROPOSED STORM OUTLET END
SECTION WITH RIP-RAP



NOT FOR CONSTRUCTION - SITE PLAN ONLY

Engineers
Surveyors
Planners
Landscape Architects

28 West Adams Road
Suite 1200
Detroit, MI 48226
p (313) 962-4442
f (313) 962-5068
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Executive:	M. Marks
Manager:	D. Root
Designer:	L. Overbeck
Quality Control:	M. Darga
Section:	PC - Van Dyke Farm

Professional Seal:



Know what's below.
Call before you dig.

DATE:	ISSUE:
2019-06-10	Design Development Owner Review
2019-08-07	Site Plan Re-Submission
2019-09-12	Site Plan Re-Submission
2019-11-13	Site Plan Re-Submission
2020-03-27	Revised Site Plan Approval
2020-04-08	Revised Site Plan Approval
2020-07-02	Revised Site Plan Approval
2021-01-14	EGLE Submittal

Developed For:
Ginosko Development Co.
41800 W. 11 Mile Rd
Ste. 209
Novi, MI 48375
T: (248) 513-4900
F: (248) 513-4904

Utility Plan - North

7850 E. Jefferson Ave.

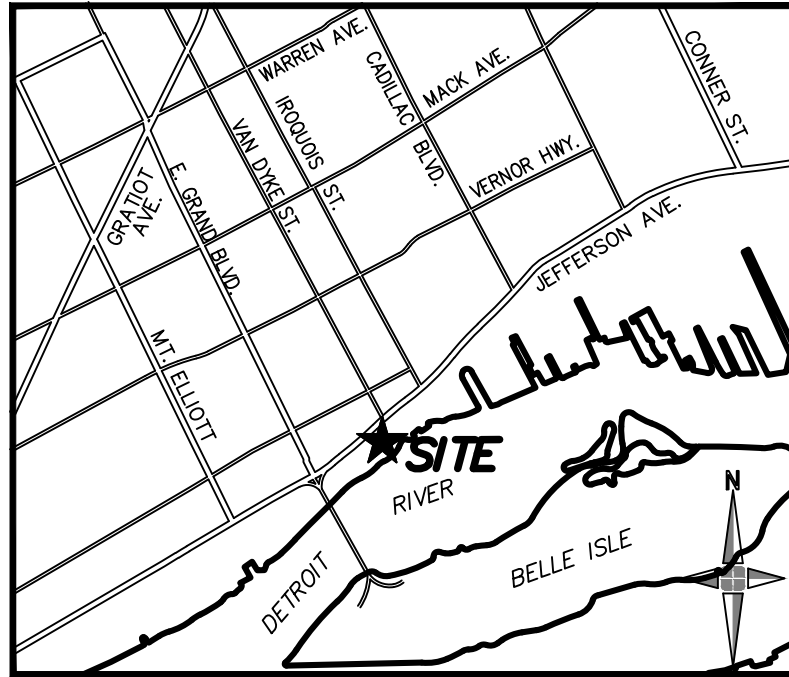
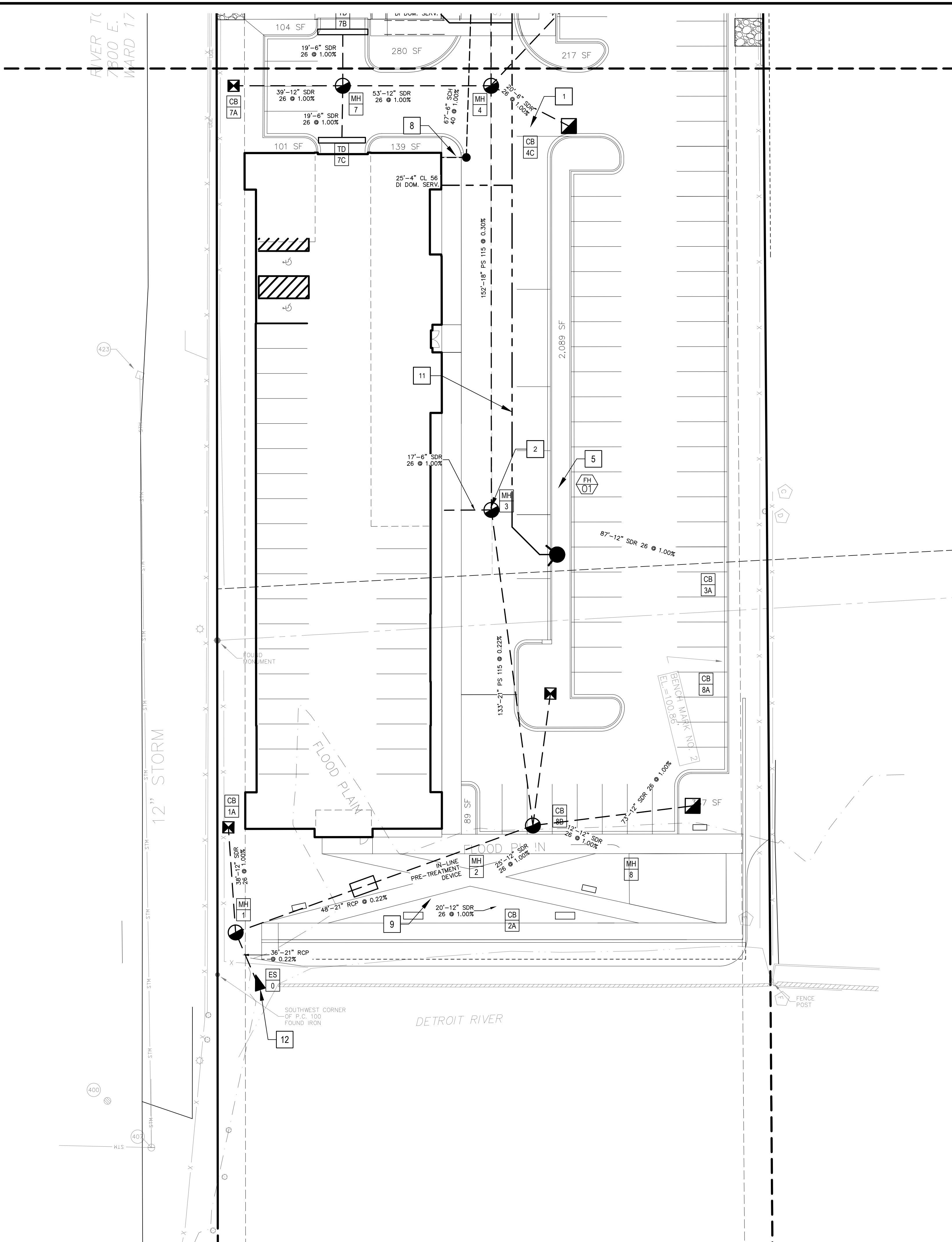
City of Detroit
Wayne County
MICHIGAN

Date:	2019-04-25
Scale:	1"=20'
Sheet:	C-700
Project:	19604-10

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UTILITY NOTES

1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. IN COMPLIANCE WITH PUBLIC ACT 53 OF THE STATE OF MICHIGAN (EFFECTIVE) AUGUST 1, 1974, THE CONTRACTOR SHALL NOTIFY IN ADVANCE OF CONSTRUCTION (72 HOURS/3 WORKING DAYS) ALL PUBLIC AND PRIVATE UTILITY OWNERS HAVING EXISTING FACILITIES IN OR NEAR THE IMMEDIATE WORKING AREA FOR CONVENIENCE. THE KNOWN UTILITY OWNERS ARE LISTED BELOW. THIS LISTING DOES NOT, HOWEVER RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF VERIFYING UTILITY LOCATIONS AND NOTIFYING ALL UTILITY OWNERS AND MISS DIG (PHONE: 1-800-482-7171).
- AMERITECH COMCAST CABLE COMPANY
(313) 221-2121 (313) 934-1608
- DETROIT EDISON COMPANY DETROIT PUBLIC LIGHTING COMPANY
(313) 237-9000 (313) 224-0500
- DETROIT WATER & SEWERAGE MICHIGAN CONSOLIDATED GAS COMPANY
(313) 833-8649 (313) 965-0435
3. ALL TRENCHES WITHIN A ONE ON ONE SLOPE OF PAVEMENT SHALL BE BACKFILLED WITH SAND (MDOT CLASS II MINIMUM) AND MECHANICALLY COMPACTED IN NOT MORE THAN 9" LAYER TO 95% MAXIMUM DRY DENSITY PER MODIFIED PROCTER COMPACTION TEST ASTM D-1557. COMPACTED SAND BACKFILL SHALL ALSO BE PROVIDED FOR ALL SEWER TRENCHES LOCATED UNDER, OR WITHIN, THREE FEET OF PAVEMENT.
4. THE COST OF ALL TREE, STUMP, FOUNDATION AND/OR STRUCTURE REMOVAL AND DISPOSAL NOT INCLUDED IN THE PROPOSAL SHALL BE CONSIDERED INCIDENTAL AND INCLUDED IN THE PRICE BID FOR WATERMAIN, SANITARY SEWER, STORM SEWER, AND PAVING WORK.
5. A MINIMUM VERTICAL CLEARANCE OF 18 INCHES IS REQUIRED AT UTILITY CROSSINGS (MEASURED FROM THE OUTSIDE OF PIPE TO THE OUTSIDE OF PIPE). POSITIVE PROVISIONS SHALL BE MADE TO ENSURE THAT ALL UTILITY TRENCHES ARE FREE DRAINING DURING ALL PHASES OF CONSTRUCTION.
6. THE REQUIRED BEDDING FOR SEWER PIPE SHALL CONSIST OF A MAXIMUM 3/4 INCH DIAMETER CRUSHED STONE.
7. THE MINIMUM SLOPE FOR A BUILDING LEAD IS 1%. LEADS SHALL ONLY BE CONNECTED TO THE MAIN LINE WITH WYES.
8. ALL STORM SEWER PIPE SHALL BE CONSTRUCTED WITH RUBBER GASKET (PREMIUM) JOINTS.
9. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF ALL UTILITY LINES AND STRUCTURES, AS OUTLINED ON THE DEMOLITION PLAN, WITH THE INSTALLATION OF UTILITY IMPROVEMENTS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING GRADE MODIFICATIONS INDICATED ON THE FINISHED LANDSCAPE PLAN, AND COORDINATE THE ACTUAL FINISH GRADE OF FIRE HYDRANTS, GATE VALVE CASTINGS, MANHOLES, YARD DRAINS, CLEAN OUTS AND OTHER UTILITY STRUCTURES. ENSURE THAT ALL FINISH GRADING IS PERFORMED IN A MANNER THAT ACCOMPLISHES THE PROJECT DESIGN OBJECTIVES AND PROVIDES FOR POSITIVE DRAINAGE OF ALL AREAS. ANY SUBSTANTIAL GRADE CHANGES WHICH MAY CAUSE FUNCTIONAL PROBLEMS SHALL BE REPORTED PROMPTLY TO THE ENGINEER WHO SHALL EVALUATE THE CONDITIONS AND PROVIDED CORRECTIONAL RECOMMENDATIONS TO THE OWNER FOR FINAL DETERMINATION.
11. CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS ETC., IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.
12. THE CONTRACTOR SHALL REMOVE UTILITIES, WHICH HAVE BEEN ABANDONED IN PLACE, AS REQUIRED TO COMPLETE INSTALLATION OF NEW UTILITIES. WHENEVER ABANDONED UTILITIES ARE CUT, CONTRACTOR SHALL COMPLETELY CAP BOTH ENDS TO PREVENT THE INFILTRATION OF SOILS.
13. NO CONNECTION MAY BE MADE TO ANY EXISTING WATER MAIN UNTIL THE NEW MAIN HAS PASSED ALL PRESSURE AND BACTERIOLOGICAL TESTING.
14. ROADWAY, DRIVEWAY AND PARKING AREA CROSSINGS SHALL BE TEMPORARILY CONDITIONED IMMEDIATELY AFTER CROSSING BY PLACING 8" OF MDOT 22A GRAVEL OR SLAG AGGREGATE, AND SHALL BE MAINTAINED IN GOOD, DUST FREE CONDITION UNTIL PAVEMENT RESTORATION IS MADE.
15. VERIFY EXISTING INVERT ELEVATIONS PRIOR TO START OF CONSTRUCTION.
16. ALL SEWER WORK ON THESE DRAWINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETROIT WATER AND SEWERAGE DEPARTMENT'S LATERAL CONSTRUCTION SPECIFICATIONS, PERMIT AND INSPECTION.
17. ALL MANHOLE AND CATCH BASIN COVERS SHALL BE BOLTED DOWN.
18. ALL SEWER PIPE SHALL BE REINFORCED CONCRETE ASTM C76, CLASS IV.
19. ALL WATER MAIN TO BE DUCTILE IRON CLASS 56 WITH A POLYETHYLENE WRAP IN ACCORDANCE WITH DWSD STANDARDS.
20. ALL WATER MAINS TO BE INSTALLED WITH A MINIMUM OF 5'-0" OF COVER.
21. CONCRETE THRUST BLOCKS SHALL BE PLACED ON ALL FITTINGS.
22. ALL WATER MAIN WORK IS TO BE DONE IN ACCORDANCE WITH DETROIT WATER AND SEWERAGE DEPARTMENT'S STANDARD AND SPECIFICATIONS, PERMIT AND INSPECTION.
23. ALL SEWER MANHOLES ARE TO HAVE ECCENTRIC CONES.
24. EXISTING OUTLET SEWER INVERTS ELEVATIONS ARE TO BE FIELD VERIFIED.
25. PROVIDE HIGH POINT AT PROPERTY LINE ACROSS DRIVES.
26. RESTORE WALK, CURB, AND PAVEMENT TO MATCH EXISTING AFTER UTILITY CUTS. CONTRACTOR TO COORDINATE WITH PLD, DTE, DETROIT THERMAL, AND ALL OTHER UTILITY COMPANIES AFFECTED BY THE SEWER RELOCATION WORK. ALL MANHOLES, CABLES, DUCT BANKS, PIPES OR ANY ADDITIONAL ITEMS THAT NEED TO BE REPLACED SHOULD BE COMPLETED PER THE UTILITY COMPANY'S STANDARD AND SPECIFICATIONS IF REQUIRED.
27. ALL PVC STORM PIPE SHALL BE SDR 26 UNLESS OTHERWISE NOTED.
28. ALL SANITARY PVC PIPE SHALL BE SCHEDULE 40 UNLESS OTHERWISE NOTED.
29. ALL MDOT GUIDELINES SHALL BE FOLLOWED FOR WORK IN GRAND RIVER RIGHT-OF-WAY.
30. CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL PER MDOT AND TED STANDARDS.
31. SEE STORM TRIBUTARY AREA PLAN FOR STORMWATER CALCULATIONS.



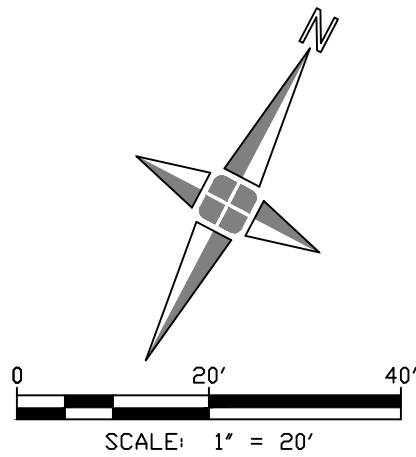
LOCATION MAP
(NOT TO SCALE)

UTILITY LEGEND

- PROPOSED STORM PIPE ——— ——— ———
- PROPOSED CATCH BASIN ■
- PROPOSED STORM MANHOLE ●
- PROPOSED STORM CLEANOUT ○
- PROPOSED SANITARY PIPE - - - - -
- PROPOSED SANITARY MANHOLE ●
- PROPOSED SANITARY CLEANOUT ●
- PROPOSED WATER SERVICE ——— ——— ———
- PROPOSED WATER STOP BOX ⊙
- PROPOSED STORM YARD BASIN ⊠
- PROPOSED INLET ⊠

UTILITY KEY NOTES

- 1 PROPOSED STORM CATCH BASIN PER DWSD STANDARDS
- 2 PROPOSED STORM MANHOLE
- 3 CONNECT TO EXISTING COMBINED SEWER MANHOLE
- 4 CONNECT TO EXISTING WATER MAIN WITH CUT-IN TEE, PER DWSD STANDARDS
- 5 PROPOSED FIRE HYDRANT ASSEMBLY (PRIVATE)
- 6 CONCRETE ENCASEMENT AT UTILITY CROSSING
- 7 PROPOSED SANITARY MANHOLE
- 8 PROPOSED SANITARY CLEANOUT
- 9 CS-4 CASCADE SEPARATOR FOR WATER QUALITY TREATMENT
- 10 WATER METER ROOM LOCATION
- 11 PRIVATE WATERMAIN
- 12 PROPOSED STORM OUTLET END SECTION WITH RIP-RAP



NOT FOR CONSTRUCTION - SITE PLAN ONLY

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Engineers
Surveyors
Planners
Landscape Architects

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www.giffelswebster.com

Executive: M. Marks
Manager: D. Root
Designer: L. Overbeck
Quality Control: M. Darga
Section: PC - Van Dyke Farm

Professional Seal:



DATE:	ISSUE:
2019-05-10	Design Development Owner Review
2019-08-07	Site Plan Re-Submission
2019-09-12	Site Plan Re-Submission
2019-11-13	Site Plan Re-Submission
2020-03-27	Revised Site Plan Approval
2020-04-08	Revised Site Plan Approval
2020-07-02	Revised Site Plan Approval
2021-01-06	EGLE Submittal

Developed For:
Ginosko Development Co.

41800 W. 11 Mile Rd
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Novi, MI 48375
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Utility Plan - South

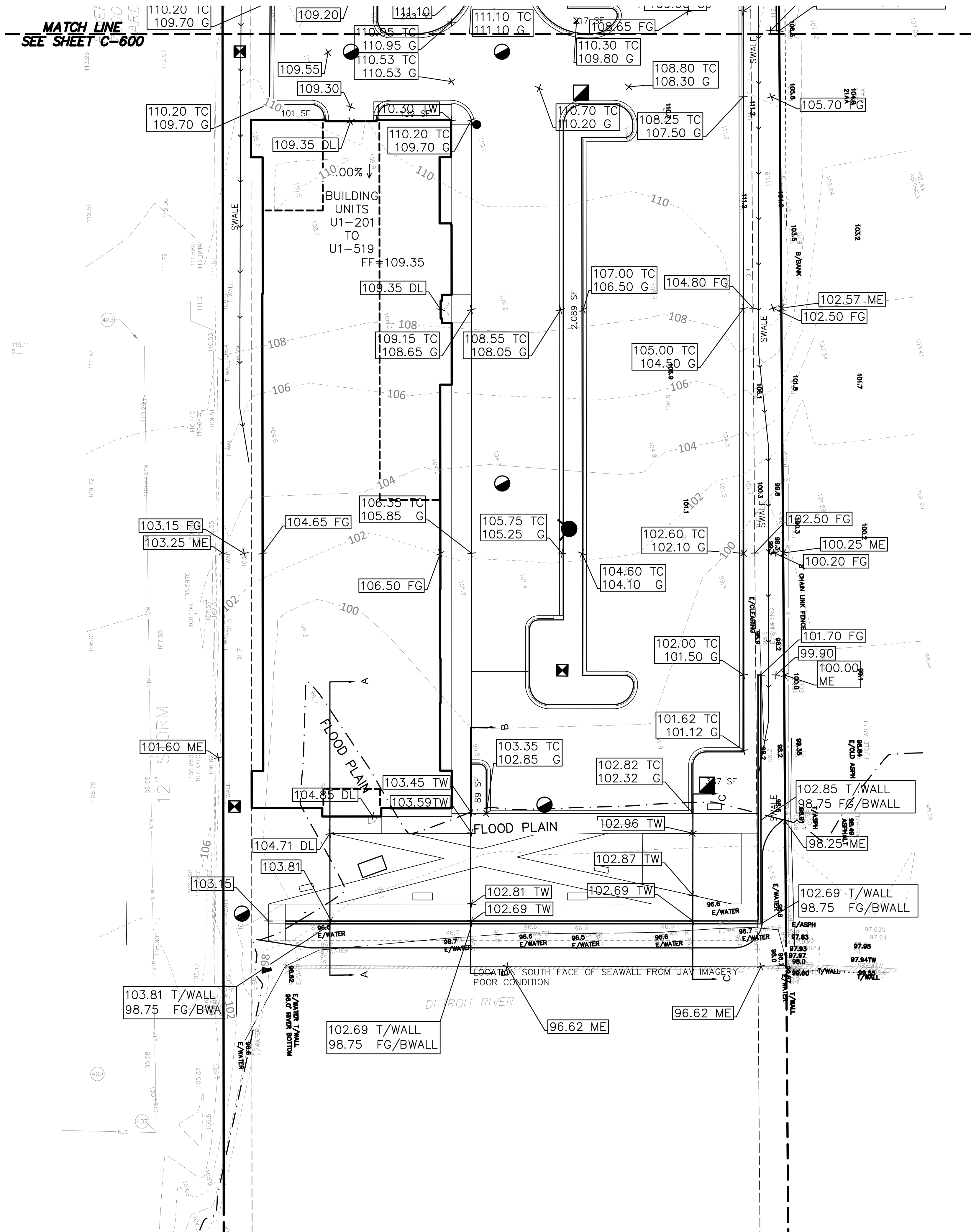
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City of Detroit
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MICHIGAN

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Sheet: C-701
Project: 19604-10

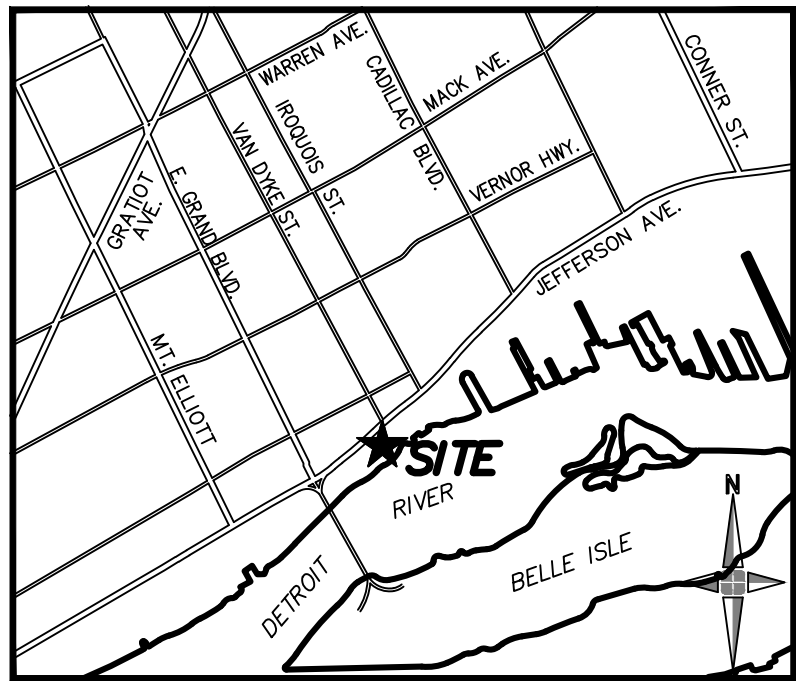
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MATCH LINE
SEE SHEET C-600



FLOODPLAIN NOTES

- EFFECTIVE 2012
- FEMA MAP 261630301E
- FLOOD ELEVATION 578.00
- NAVD88-DETROIT DATUM = EL.479.25
- ESTIMATED FILL = 578.479.25 = 98.75 = 165 CY



LOCATION MAP
(NOT TO SCALE)

CUT AND FILL REPORT

Volume Summary							
Name	Type	Cut Factor	Fill Factor	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Surface1	full	1.00	1.00	9882	42	208	165<Fill>
Totals				2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Total				9882	42	208	165<Fill>

* Value adjusted by cut or fill factor other than 1.0

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Professional Seal:



DATE:	ISSUE:
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2020-07-02	Revised Site Plan Approval
2021-01-06	EGLS Submittal

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Floodplain
Impact Plan

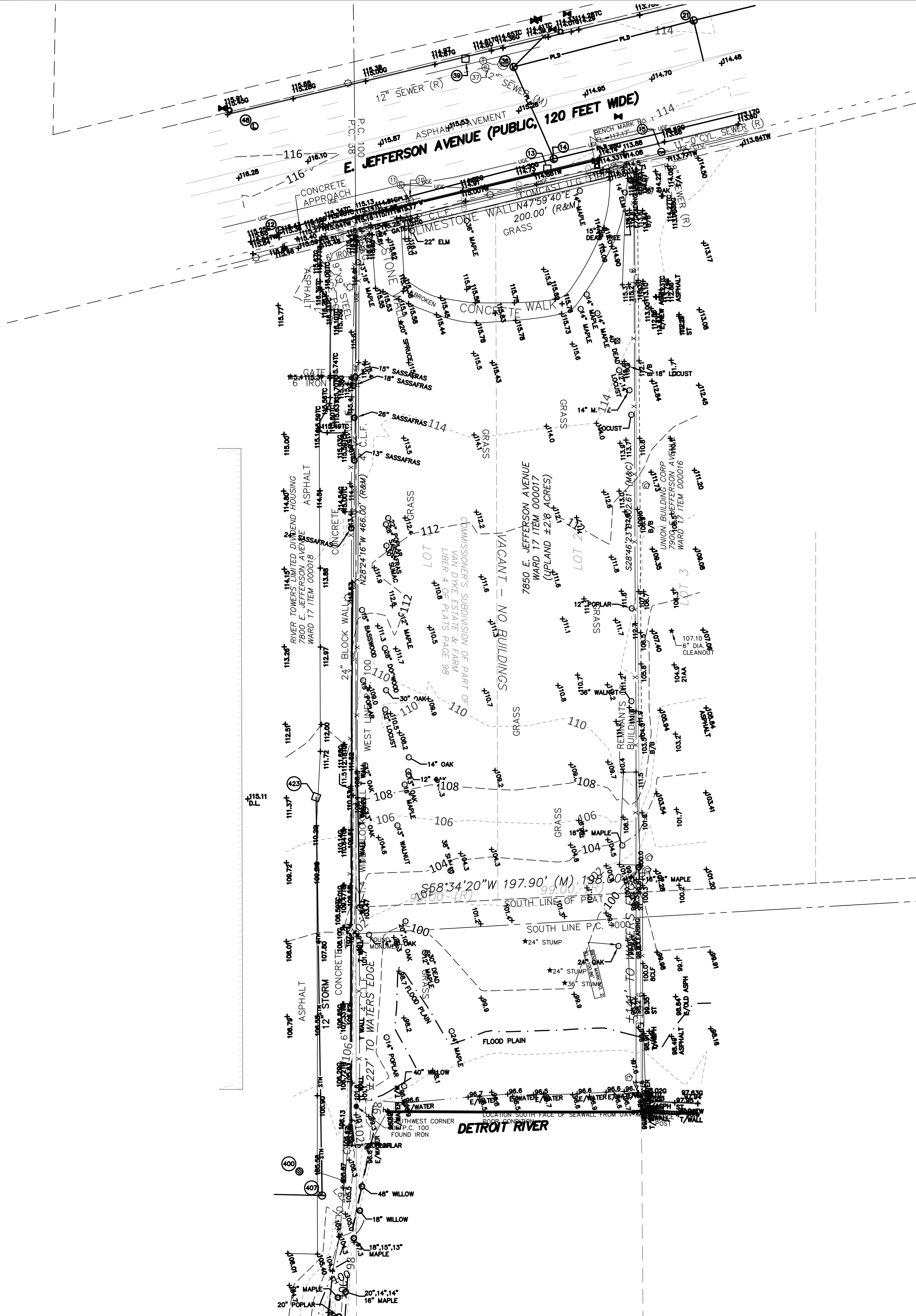
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Sheet: C-702
Project: 19604-10

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NOT FOR CONSTRUCTION - SITE PLAN ONLY



NOTES:

- SURVEY IN ACCORDANCE WITH TITLE POLICY NO. 62130062, REVISION 2, PREPARED BY FIRST TITLE SOURCE, INC., DATED OCTOBER 19, 2016.
- TELEPHONE, GAS, ELECTRIC, CABLE TV, STEAM, PUBLIC LIGHTING, WATER, SEWER UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- THIS PARCEL IS LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) IN ACCORDANCE WITH THE FEDERAL INSURANCE RATE MAP, PANEL NUMBER 301 OF 575, MAP NUMBER 26163C0301E, EFFECTIVE DATE FEBRUARY 2, 2012.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- THE DISTANCE TO SEYBURN STREET, WHICH LIES ON THE NORTHERLY SIDE OF E. JEFFERSON AVENUE IS +/-250 FEET SOUTHWEST OF THE PARCEL. THE DISTANCE TO VAN DYKE STREET, WHICH LIES ON THE NORTHERLY SIDE OF E. JEFFERSON AVENUE IS +/- 200 FEET NORTHEAST OF THE PARCEL.
- WITH REGARD TO TABLE A, ITEM 6, NO ZONING REPORT LETTER HAS BEEN PROVIDED TO THE SURVEYOR BY THE CLIENT, THEREFORE SETBACK INFORMATION IS NOT SHOWN ON THIS DRAWING.
- THERE IS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING FIELD WORK.
- THERE IS NO EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES.
- THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK, UNLESS OTHERWISE NOTED.
- THERE IS NO EVIDENCE OF FIELD DELINEATION OF WETLANDS OBSERVED IN THE PROCESS OF CONDUCTING FIELD WORK, UNLESS OTHERWISE NOTED.
- SUBJECT TO THE RIGHTS OF THE PUBLIC IN THE DETROIT RIVER.
- APPROXIMATE UPLAND AREA OF 2.8 ACRES.

NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES, HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED.

LEGEND - EXISTING

SECTION LINE	○ SAN. MH	⊗ GAS METER	★ FOUND NAIL
E/ PAVEMENT	○ SAN. CLEAN OUT	⊗ GAS RISER	✕ F. CUT CROSS
CURB	△ SAN. RISER	⊗ GAS VALVE	⊗ SECTION COR.
E/ GRAVEL	⊗ SAN. PUMP STATION	⊗ GAS MH	⊗ FENCE POST
CL ROAD	⊗ COMB. MH	⊗ TELE. RISER	⊗ BENCHMARK
E/ WALK	⊗ GATE VALVE	⊗ TELE. MH	⊗ FOUND PIPE
MISC. LINE	⊗ HYDRANT	⊗ TELE. CROSS BOX	● FOUND MON.
FENCE	⊗ WATER VALVE	⊗ CABLE RISER	ASPH. ASPHALT
GUARD RAIL	⊗ WATER METER	○ MANHOLE	CONC. CONCRETE
WALL	⊗ FDC CONNECTION	⊗ SIGN	G.P. GUARD POST
BLDG. LINE	⊗ IRRIGATION CONTROL BOX	○ PROT. POST/GUARD POST	C.L.F. CHAIN-LINK FENCE
OVERHANG LINE	⊗ STORM MH	⊗ GUY	D.L. DOOR LEDGE
T/ BANK	⊗ CATCH BASIN	⊗ DECIDUOUS TREE	F.F. FINISHED FLOOR
B/ BANK	⊗ BEEHIVE CB	⊗ CONIFEROUS TREE	O.H. OVERHANG
CL DITCH/STREAM	⊗ CULVERT E.S.	⊗ DEAD TREE	F.I. FOUND IRON
WATER EDGE	○ SAN. LINE	⊗ UTILITY FLAG	S.I. SET IRON
STORM LINE	○ SAN. LINE	★ BLDG. CORNER (FIELD LOCATED)	F.I.P. FOUND IRON PIPE
WATER LINE	○ SAN. LINE	⊗ HANDICAP PARKING	M. MEASURED
GAS LINE	○ SAN. LINE	⊗ EXISTING ELEVATION	R. RECORD
UG ELEC. LINE	○ SAN. LINE	⊗ SOIL BORING	C. CALCULATED
UG TELE. LINE	○ SAN. LINE	⊗ MONITORING WELL	F.M. FOUND MONUMENT
UG CABLE TV LINE	○ SAN. LINE	★ MISC. TOPO. SHOT	S.N. SET NAIL
PAINT STRIPE	○ SAN. LINE	★ SURVEY CONTROL POINT	CMP CORROGATED METAL PIPE
COMBINED SEWER	○ SAN. LINE	● FOUND IRON	RCP REINFORCED CONCRETE PIPE
PLD LINE	○ SAN. LINE		G.L. GROUND LIGHT
STEAM LINE	○ SAN. LINE		
ELECTRIC OVERHEAD	○ SAN. LINE		

SCHEDULE OF STRUCTURES

STRUCTURE	TYPE	SIZE OF PIPE	RIM	DROP	INVERT	DIRECTION	COMMENTS
10	ELECTRIC MANHOLE	BOTTOM	114.90	-8.00	106.90	CABLES EAST & WEST	CABLES RUN ALONG JEFFERSON
11	ELECTRIC MANHOLE	BOTTOM	115.29	-8.60	106.69	CABLES EAST & WEST	
12	PUBLIC LIGHTING MANHOLE		115.17				COMPLETELY FULL OF DIRT
13	CATCH BASIN	BOTTOM	114.10	-5.35	108.75	NO PIPES VISIBLE	18" DIAMETER STRUCTURE
14	PUBLIC LIGHTING MANHOLE	BOTTOM	114.35	-5.00	109.35	NORTH-NORTHWEST & NORTHEAST & SOUTHWEST	
						NORTHEAST & SOUTHWEST, FLOWS SOUTHWEST	FLOW TOO STRONG TO OBTAIN DROP
15	STORM MANHOLE	CL CHANNEL	113.76			SOUTH-SOUTHEAST	
		8"	113.76	-10.93	102.83		
		T/WATER	113.76	-21.65	92.11		
21	PUBLIC LIGHTING MANHOLE	T/DEBRIS	113.89	-2.55	111.34	NORTHEAST & SOUTHWEST & SOUTHEAST	
36	PUBLIC LIGHTING MANHOLE	T/DEBRIS	114.62	-4.22	110.40	CABLES EAST & NORTH	
		12"	114.70	-4.50	110.20	SOUTHWEST	
37	COMBINED MANHOLE	12"	114.70	-4.90	109.80	EAST	
		BOTTOM	114.70	-5.70	109.00	NO OTHER PIPES VISIBLE	FULL OF WATER
38	TELEPHONE MANHOLE	T/DEBRIS	114.59	-4.22	110.37	CABLES SOUTHWEST & NORTHEAST	
39	CATCH BASIN	BOTTOM	114.44	-4.05	110.39	NO PIPES VISIBLE	12" DIAMETER STRUCTURE
48	PUBLIC LIGHTING MANHOLE	BOTTOM	115.69	-4.70	110.99	NO WIRES VISIBLE	FULL OF WATER
		T/WATER	105.26	-6.25	99.01		
400	ROUND CATCH BASIN	BOTTOM	105.26	-8.65	96.61		
		24"	105.45	-7.90	97.55	SOUTHEAST	PARALLEL W/ BUILDING
		12"	105.45	-7.80	97.65	NORTHWEST	PARALLEL W/ BUILDING
407	STORM MANHOLE	12"	105.45	-7.20	98.25	NORTHWEST	TO #423
		18"	105.45	-7.85	97.60	WEST	
423	CATCH BASIN	12"	110.78	-10.44	100.34	SOUTHEAST	PARALLEL W/ BUILDING

PROPERTY DESCRIPTION

(PER TITLE POLICY NO. 62130062, REVISION 2, PREPARED BY FIRST TITLE SOURCE, INC., DATED OCTOBER 19, 2016)

TAX ID NUMBER(S): WARD 17; ITEM 000017

LAND SITUATED IN THE CITY OF DETROIT IN THE COUNTY OF WAYNE IN THE STATE OF MI

LOTS 1 AND 2, OF COMMISSIONER'S SUBDIVISION OF PART OF THE VAN DYKE ESTATE AND FARM (SO-CALLED) PRIVATE CLAIMS 100 AND 679, TOWN 1 SOUTH, RANGE 12 EAST, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 4 OF PLATS, PAGE 98, WAYNE COUNTY RECORDS.

THE PROPERTY ADDRESS AND TAX PARCEL IDENTIFICATION NUMBER LISTED ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND THE COMPANY MAKES NO WARRANTIES OR ASSURANCES AS TO THEIR ACCURACY OR COMPLETENESS. THE PROPERTY ADDRESS AND TAX PARCEL IDENTIFICATION NUMBER ARE NOT INSURED.

COMMONLY KNOWN AS: 7850 E JEFFERSON AVE., DETROIT, MI 48214

SCHEDULE B - SECTION II EXCEPTIONS

(PER TITLE POLICY NO. 62130062, REVISION 2, PREPARED BY FIRST TITLE SOURCE, INC., DATED OCTOBER 19, 2016)

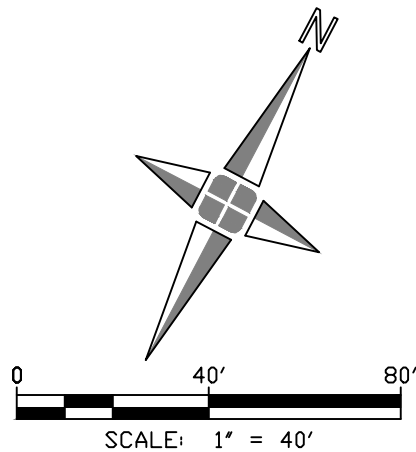
- THERE ARE NO APPLICABLE RECORDED EXCEPTIONS SHOWN ON THIS TITLE COMMITMENT POLICY.

BENCH MARK DATA

(CITY OF DETROIT) DATUM

SITE BENCH MARK NO. 1
ARROW ON HYDRANT AT THE NORTHEAST CORNER OF THE SITE, +/- 150 FEET SOUTHWESTERLY OF VAN DYKE STREET.
ELEVATION=117.17'

SITE BENCH MARK NO. 2
MAG NAIL IN THE WEST FACE OF A 24" OAK TREE, WITH TAG #135, ON THE EAST SIDE OF THE SITE, +/-100 FEET NORTH OF THE SEAWALL.
ELEVATION=100.86'



Executive: M. Marks
Manager: D. Root
Designer: L. Overbeck
Quality Control: M. Darga
Section: PC - Van Dyke Farm

Professional Seal:



Know what's below.
Call before you dig.

DATE:	ISSUE:
2019-05-10	Design Development Owner Review
2019-08-07	Site Plan Re-Submission
2019-09-12	Site Plan Re-Submission
2020-03-27	Revised Site Plan Approval
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2020-07-02	Revised Site Plan Approval
2021-01-14	Revised Site Plan Approval

Developed For:
Ginosko Development Co.

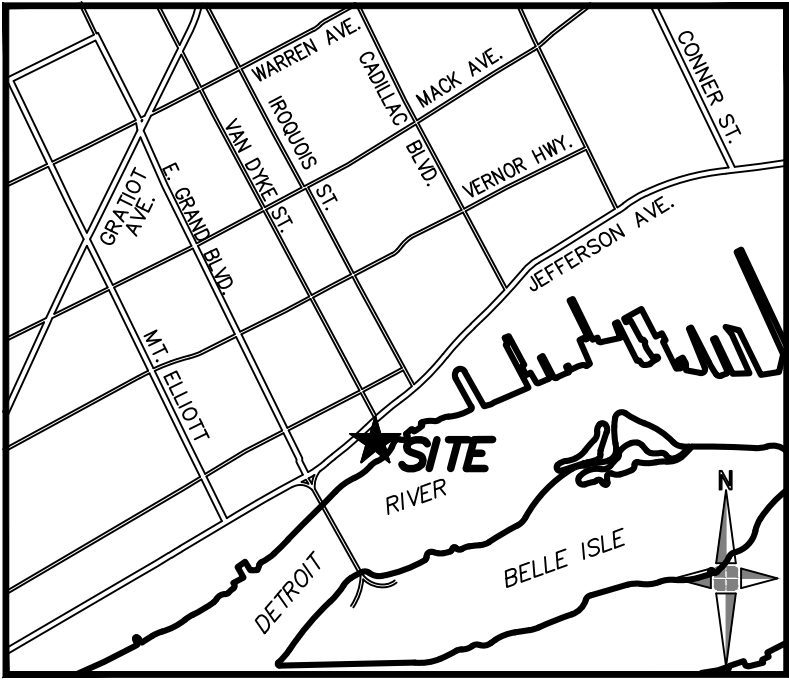
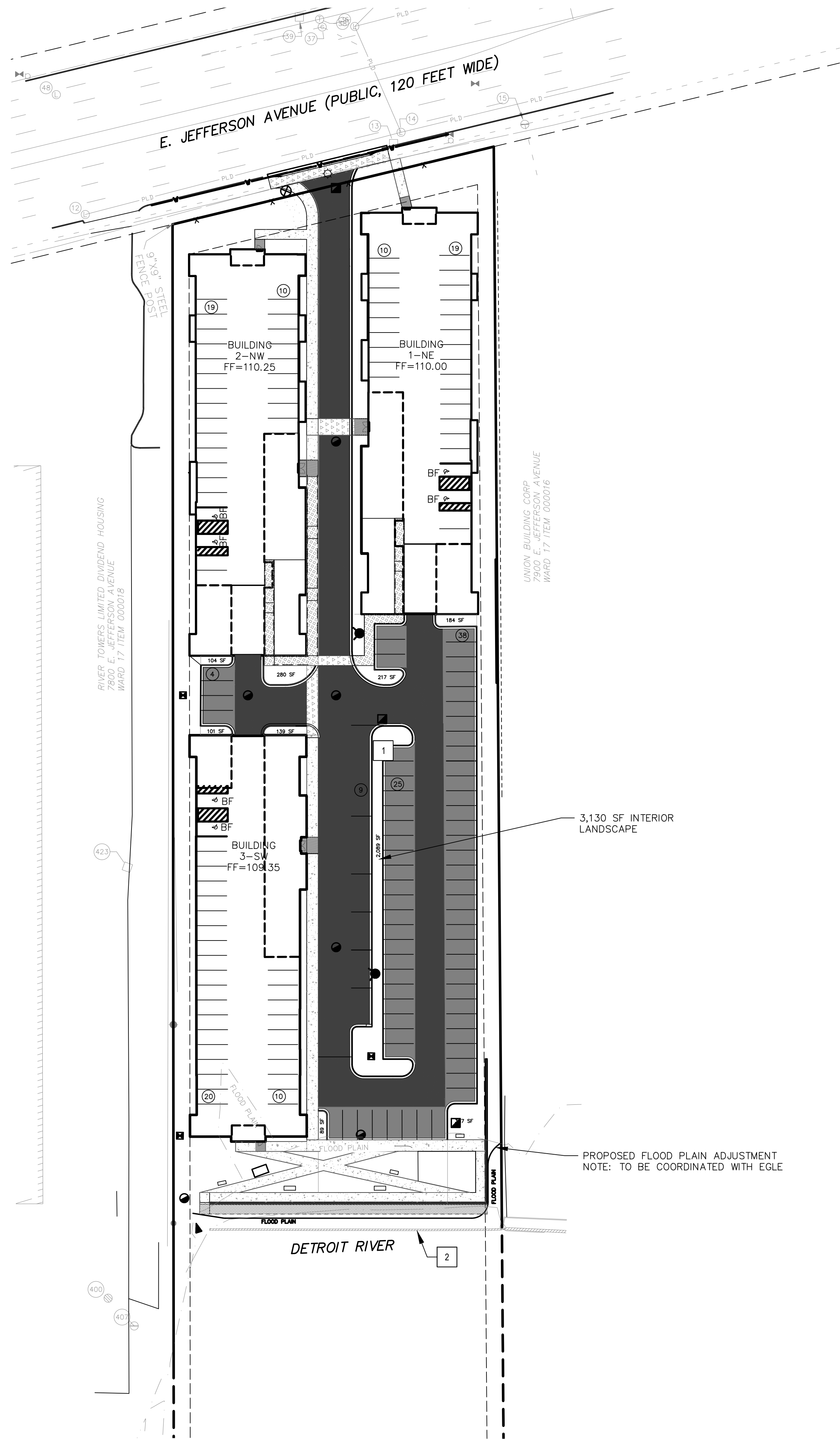
41800 W. 11 Mile Rd
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Existing Conditions

7850 E. Jefferson Ave.

City of Detroit
Wayne County
MICHIGAN

Date: 2019-04-25
Scale: 1"=20'
Sheet: C-200
Project: 19604-10



LOCATION MAP
(NOT TO SCALE)

SITE PLAN KEY NOTES

- 1 PLAYScape
- 2 EXISTING SEAWALL

INTERIOR LANDSCAPE REQUIREMENT

REQUIRED = 22SF*PARKING SPACES PROVIDED
REQUIRED = 22SF*76=1,672 SF
PROVIDED = 3,130 SF

PARKING REQUIREMENTS

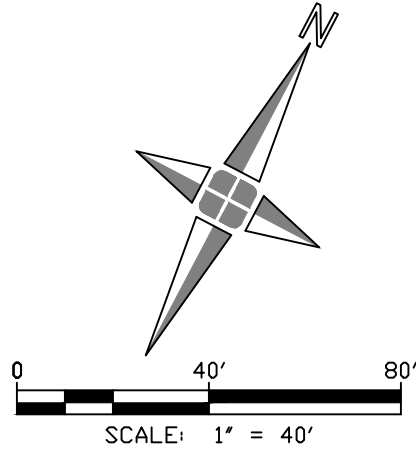
	REQUIRED	PROVIDED
Parking Spaces*	169	164
Barrier-Free Spaces (Van Accessible)**	6(1)	6(3)
Off-Street Loading Zone***	2	2

*Detroit Zoning Ordinance 61-14-24 (0.75 Spaces Per Dwelling Unit, Multifamily housing where located within 0.5 mi of high-frequency transit corridor)

**Detroit Zoning Ordinance 61-14-122 (151-200 Total Spaces Provided)

***Detroit Zoning Ordinance 61-14-81 (100,000-500,000 Sq.Ft.; (1) 12x35 Space and (1) 12x55 Space Required)

PROPOSED FLOOD PLAIN ADJUSTMENT
NOTE: TO BE COORDINATED WITH EGLE



NOT FOR CONSTRUCTION - SITE PLAN ONLY

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Designer:	S. Forest
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Section:	PC - Van Dyke Farm

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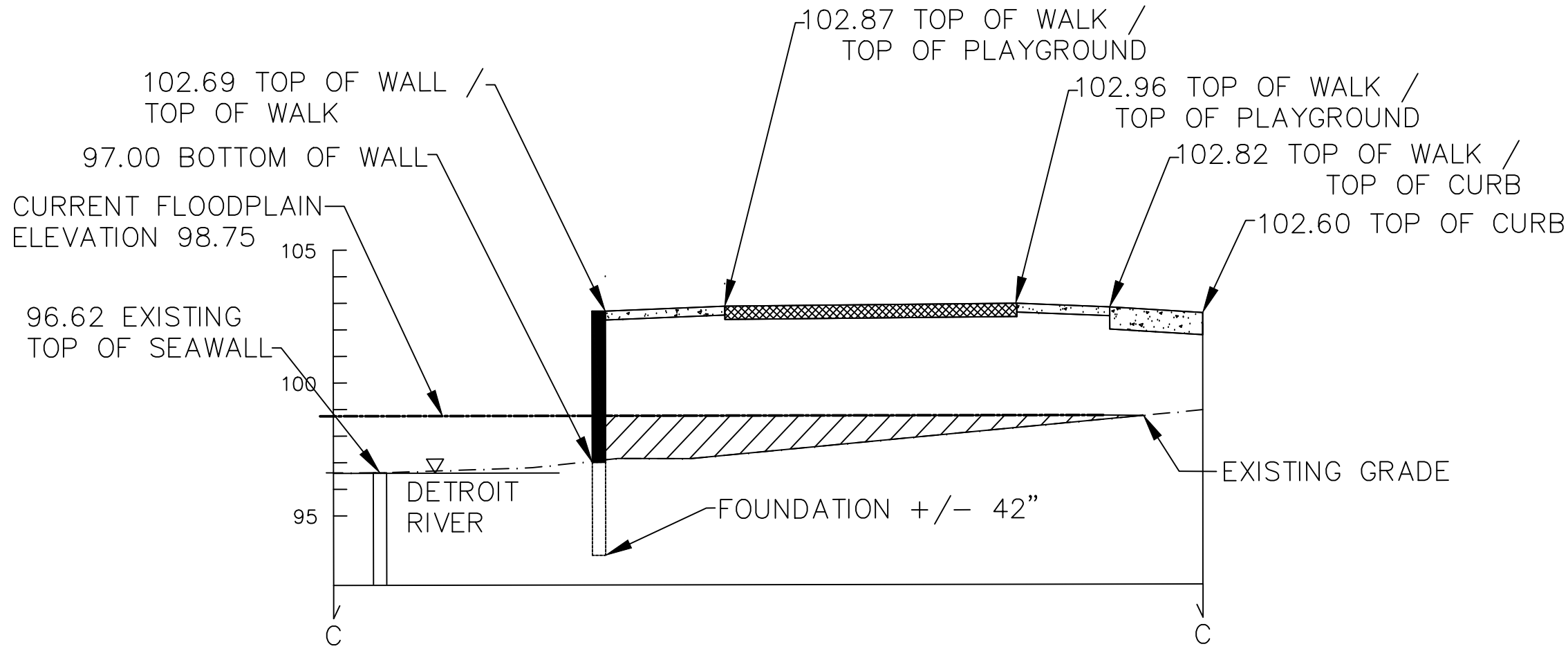
Overall Site Plan

7850 E. Jefferson Ave.

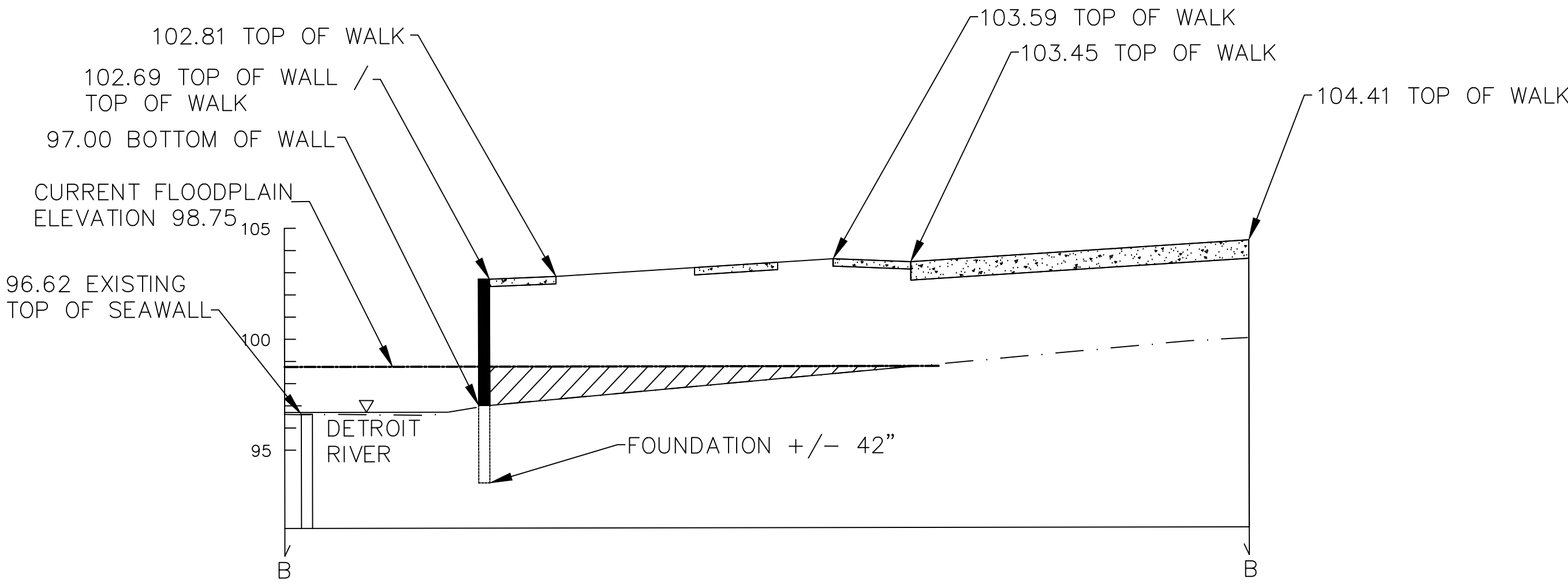
City of Detroit
Wayne County
MICHIGAN

Date:	2019-04-25
Scale:	1"=40'
Sheet:	C-500
Project:	19604-10

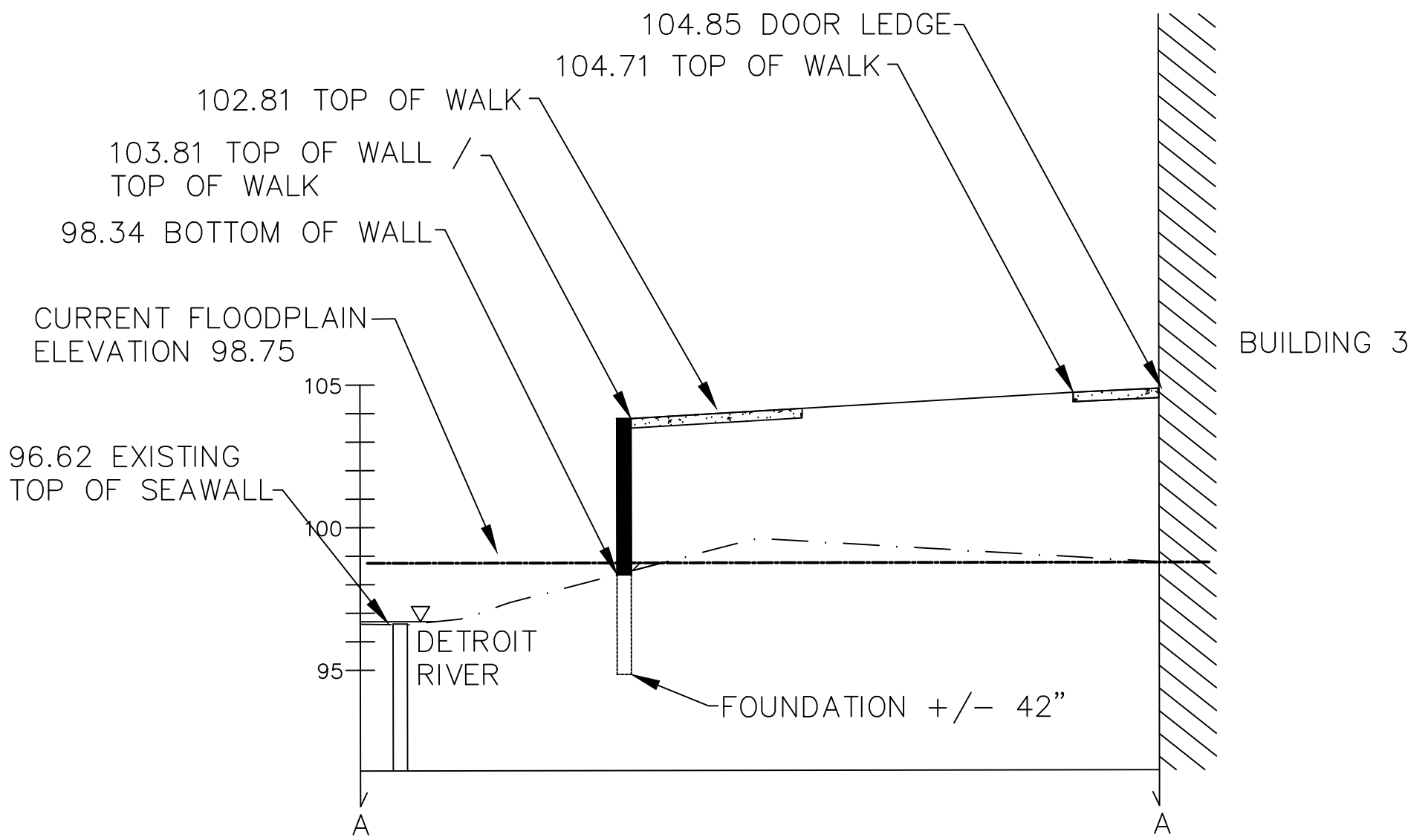
V:\19604-01D 7850 East Jefferson\Design\CAD\Sheet Files\C-702 Floodplain Impact Plan.dwg



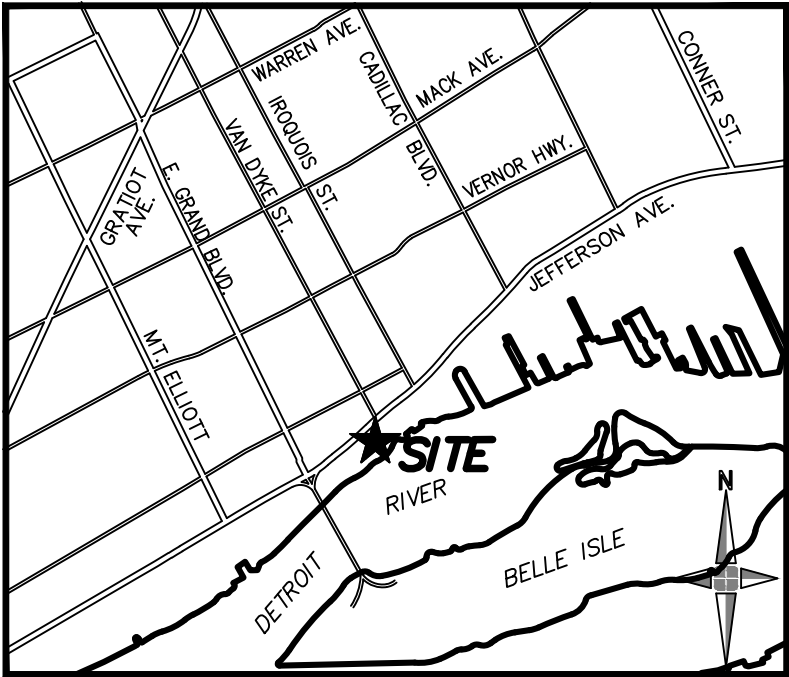
SECTION A-A
H:1"=20'
V:1"=10'
C-702



SECTION B-B
H:1"=20'
V:1"=10'
C-702



SECTION C-C
H:1"=20'
V:1"=10'
C-702



LOCATION MAP
(NOT TO SCALE)

FLOODPLAIN NOTES

- EFFECTIVE 2012
- FEMA MAP 261630301E
 - FLOOD ELEVATION 578.00
 - NAVD88-DETROIT DATUM = EL.479.25
= 578-479.25
= 98.75
 - ESTIMATED FILL 165 CY

giffels
webster

Engineers
Surveyors
Planners
Landscape Architects

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www.giffelswebster.com

Executive: M. Marks
Manager: D. Root
Designer: L. Overbeck
Quality Control: M. Darga
Section: PC - Van Dyke Farm

Professional Seal:



Know what's below.
Call before you dig.

DATE:	ISSUE:
2021-01-06	EGLS Submittal

Developed For:
Ginosko Development Co.

41800 W. 11 Mile Rd
Ste. 209
Novi, MI 48375
T: (248) 513-4900
F: (248) 513-4904

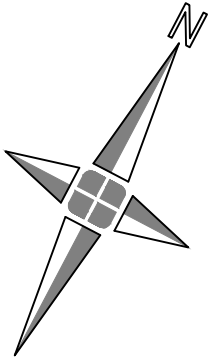
Floodplain
Impact Plan

7850 E. Jefferson Ave.

City of Detroit
Wayne County
MICHIGAN

Date: 2019-04-25
Scale:
Sheet: C-703
Project: 19604-10

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NOT FOR CONSTRUCTION

To:	Nathan Keup, Ginosko	Date:	January 14, 2021
From:	Dave Root, PE	Project:	7850 East Jefferson Multi-Family Development
RE:	Floodplain Improvement Activities	Project Number:	19604.01D

Existing Condition of Floodplain Along Detroit River

The 7850 East Jefferson Multi-Family Development parcel is located along the Detroit River east of the Belle Isle Bridge. Existing floodplain elevation on the City of Detroit Datum lies at 98.75 or NAVD88 578.00 on the FEMA floodplain map. A seawall evaluation and dive report has been performed to capture the existing condition of the wall by the construction team's geotechnical consultant, Testing Engineers and Consultants (TEC). It was determined that the existing wall is approximately 8' at the tallest section (from river bottom to top of wall) at the east end of the parcel and is sustainable in the current condition without being subjected to additional loading.

Improvements and Construction Activities

The current project site layout plan includes approximately 165 cubic yards of floodplain fill behind a new proposed retaining wall that will lie 15' north of the existing sea wall. The proposed wall will be set on foundations to be designed by the team's structural engineer at the existing site elevations maintained on the lower side of the wall to reduce the amount of floodplain fill. Locating the proposed wall outside the zone of influence for the existing sea wall allows us to avoid subjecting additional load to the existing seawall, as required per the evaluation. The impact allows the construction of an elevated greenspace for a park area on the river to serve the family development proposed. A gravel walking path and new vegetation will be implemented on the lower side of the wall to encourage the natural stabilization and native habitat activation of the space between the two walls.

The contractor will incorporate soil erosion control measures at the limits of disturbance, further they will strip the topsoil in the area and begin construction activities. The foundations for the new wall will be installed first. As the new wall is constructed with clean draining fill and an underdrain installed along the back of the new wall, the remaining area behind the wall will be filled and placed to elevate the new park and parking lot. Pavement and top soil placed with seed and mulch will complete the finish along with proposed landscaping to stabilize the area.

A pre application meeting was held with Michigan's Environment Great Lakes & Energy Authority (EGLE) on October 8, 2020 to cover these activities within the floodplain and the approach to permitting. The EGLE team of Jeremy Richardson and Pat Durack indicated that a minor permit was the correct approach and would it would need to accomplished through the joint permit process with the Army Corps of Engineers due to the Detroit River and 100 year floodplain impacts.



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Ginosko Development
Company

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President & CEO
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Mary H. Tischler, CPA
Chief Financial Officer
maryt@Ginosko.com

October 24, 2019

Jeremy Richardson
Michigan Department of Environment, Great Lakes, and Energy
Water Resource Division
Warren District Office
27700 Donald Court
Warren, Michigan 48092-2793

Re: 7850 East Jefferson

Mr. Richardson,

On behalf of GDC-East Jefferson, LLC, a Michigan limited liability company, 7850-9%-1 Limited Dividend Housing Association, LLC, a Michigan limited liability company, 7850-9%-2 Limited Dividend Housing Association, LLC, a Michigan limited liability company, 7850-4%-1 Limited Dividend Housing Association, LLC, a Michigan limited liability company, and 7850-4%-2 Limited Dividend Housing Association, LLC, a Michigan limited liability company, (collectively, the "Owners"), the current property owner, proposed property owners and applicants, hereby authorize Giffels Webster to sign and submit a Permit Application for Part 303 Wetland permit associated with the construction of a multi-family apartment complex to be located at 7850 East Jefferson, Detroit, Michigan. If you have any questions or concerns, please feel free to contact me at (248) 513 4900.

Sincerely,

Nathan Keup,
Authorized Agent