

1 (c) *Hearing.*

2 At the public hearing, the Buildings and Safety Engineering Department shall hear testimony
3 of City staff, the owner of the use or structure for which the permit was granted, if present,
4 and any other interested persons.

5 (d) *Required Findings.*

6 The decision making body shall revoke the permit upon making one (1) or more of the
7 following findings:

8 (1) ~~That the permit was issued on the basis of erroneous or misleading information or~~
9 ~~misrepresentation;~~

10 (2) ~~That the terms or conditions of approval of the permit have been violated or that~~
11 ~~other laws or regulations have been violated; or~~

12 (3) ~~That there has been a discontinuance of the exercise of the entitlement granted by~~
13 ~~the permit for one hundred eighty (180) consecutive days.~~

14 **Sec. 61-5-56. Revocation; effective date Evidence of Abandonment;**
15 **Overcoming Abandonment.**

16 The effective date of the revocation of a permit shall be specified in the notice of
17 revocation. (See Sec. 61-4-38.)

18 (1) Presumption of Abandonment. A land use shall be presumed abandoned and its land use
19 rights extinguished where any one (1) of the following has occurred:

20 (a) the owner has indicated, in writing or by public statement, an intent to abandon the
21 use; or

22 (b) A less less-intensive use has replaced the current presumed abandoned use; or

23 (c) The building or structure that houses the use has been removed; or

24 Evidence of Abandonment. The building official shall schedule a show-cause hearing if there
25 is evidence that any one (1) of the following has occurred:

26 (a) The owner of the property has indicated, in writing or by public statement, an intent
27 to abandon the use; or

- 1 (b) The building or structure that houses the use has been removed; or
- 2 (c) The owner has physically changed the building or structure, or its permanent
3 equipment, in a manner that clearly indicates a change in use or activity to something
4 other than the existing use; or
- 5 (d) The use has been discontinued, vacant, or inactive for a continuous period of at least
6 six (6) months; or
- 7 (e) Public utility service has been shut off; or.
- 8 (f) Any license required by law for the operation of the use has expired, or has been
9 revoked

10 2) Overcoming Presumption of Abandonment. A presumption of abandonment based on the
11 evidence of abandonment, as provided for in Subsection (1) of this section, may be
12 rebutted upon a showing of all of the following, to the satisfaction of the Buildings, Safety
13 Engineering and Environmental Department, that the owner:

14 (a) Has been maintaining the land and structure in accordance with all applicable regulations,
15 including the Michigan Building Code, and did not intend to discontinue the use;

16 (b) Has been maintaining all applicable licenses; and

17 (c) Has filed all applicable tax documents; and

18 (d) In addition, the owner of the use shall be required to demonstrate, to the satisfaction of
19 the Buildings, Safety Engineering and Environmental Department, that during the
20 period of inactivity or discontinuance the owner:

21 (i) Has been actively and continuously marketing the land or structure for sale or lease
22 for the existing use/purpose; or

23 (ii) Has been engaged in other activities that would affirmatively prove there was no
24 intent to abandon.

25 Section 2. All ordinances or parts of ordinances in conflict with this ordinance are

1 repealed.

2 **Section 3.** This ordinance is declared necessary for the preservation of the public peace,
3 health, safety, and welfare of the people of the City of Detroit.

4 **Section 4.** This ordinance shall become effective on the eighth (8th) day after publication
5 in accordance with MCL 125.3401(6) and Section 4-118, paragraph 3-, of the 2012 Detroit City
6 Charter.

Approved as to Form Only:

~~Edward V. Keelean~~ Portia Roberson
~~Deputy Corporation Counsel~~
~~Acting as Corporation Counsel~~

7

Summary of Zoning Ordinance Amendment
CPC hearing 10/3/13 6:00 p.m.

- 1) Sec. 61-3-25 and Sec. 61-3-27-the process for the termination and extension of permits
-Permit shall be terminated after 6 months if no C of O issued. Building official may grant extensions for periods of not more 180 days each. Extensions must be in writing and for just cause. Prior to the expiration of any zoning grant, BSEED may extend the term of the grant to no more than 12 months past what would be the end of the original 6 month period.
- 2) Sec. 61-4-38; Sec. 61-5-34; and Sec. 61-5-52 the process for the termination and revocation of land use rights
-If grant holder fails to comply with BSEED or BZA conditions and such failure prevents the issuance of a C of O, the land use rights shall be revoked and zoning grant null and void. BSEED may initiate a revocation process of land use rights for failure to obtain a C of O in the proper time frame, or failure to comply with conditions, or after a 6 month period of non-use by a "grandfathered" business- deeming it abandoned.
- 3) Sec. 61-5-53 notice requirements for revocation of a zoning grant, including those for a show-cause hearing
-Notice for a show cause hearing is made only to the property owner as any result of a such hearing would either keep the use the same if the business is successful or take away the zoning grant and land use if the business is not successful. Because there could be no outcome of adding any additional encumbrances or uses on neighbors, we are requesting that the notice be required only to the owner so as to save staffing resources and mailing costs to the department.
- 4) Sec. 61-5-54 the establishment of a show cause hearing fee. **THIS SECTION TO REMAIN UNCHANGED and not amended**
- 5) 61-5-55- the required findings for the revocation of land use rights
-To revoke a land use grant, variance, or permit- need ONE of the following: a)erroneous or misleading info relied upon, b)terms or conditions have been violated, c)use has become a nuisance, d) applicant has failed to comply with all laws, or e)there has been a discontinuance of such a use for a continuous period of at least 6 months.
- 6) 61-5-56- the evidence of abandonment and how to overcome the presumption of abandonment
-A land use shall be deemed abandoned when any ONE of the following occurs: a) owner has indicated in writing or by public statement an intent to abandon the use, or b)use has changed, or c) structure to which the use was attached has been removed, d) structure has been altered to have indicated a change in use, or e)use has been discontinued for at least 6 continuous months, or f) utilities are shut off, or f) any license required by law to operate as an applicant to the specific land use has expired.
- 7) Finally, departmental names are updated and non-substantives errors are corrected where needed.

Lesley C. Carr, Esq.
Chairperson
Lisa Whitmore Davis
Vice Chair/Secretary

City of Detroit

CITY PLANNING COMMISSION
202 Coleman A. Young Municipal Center
Detroit, Michigan 48226
Phone: (313) 224-6225 Fax: (313) 224-4336
e-mail: cc-cpc@detroitmi.gov

Brenda Goss Andrews
Thomas Christensen
Karen M. Gage
Frederick E. Russell, Jr.
Arthur Simons
Roy Levy Williams

TO: City Planning Commission

FROM: Marcell R. Todd, Jr., Staff

RE: **The request of Third New Hope Baptist Church to show a P1 (Open Parking) zoning district classification where an R1 (Single-Family Residential) zoning district classification is currently shown on Map No. 70 of Chapter 61, Article XVII of the 1984 Detroit City Code, Zoning, for the land bounded on the east by Steel Ave., the alley north of Plymouth Ave. to the south, Sorrento to the west and on the north by a line approximately 400' north of the Plymouth.**

DATE: October 3, 2013

CONCLUSIONS AND RECOMMENDATIONS

The P1 zoning district is intended to serve non-residential uses in order to reduce or avoid conflicts with residentially used land. This P1 will serve an institutional use, the Church, with major street frontage along Plymouth. It will work in conjunction with the other existing surface lots that serve the Church and also front on Plymouth or Steel,

Staff finds the proposed P1 rezoning to be consistent with the provisions of the zoning ordinance and recommends approval.

NATURE OF REQUEST

The City Planning Commission has received the request of Third New Hope Baptist Church to amend District Map No. 70 of the Detroit Zoning Ordinance to show a P1 zoning classification where an R1 zoning district classification is presently shown on predominantly vacant lot land bounded on the east by Steel Ave., the alley north of Plymouth Ave. to the south, Sorrento to the west and on the north by a line approximately 400' north of the Plymouth.

The request is being made to allow for a parking lot with requisite landscaping and fencing. The parking will serve the church which is immediately to the east across Steel, fronting on Plymouth. Subsequently, the Church intends to develop a community center on the remaining R1 land to the north. The vacant B4 frontage is currently used for parking. This land along with the lone commercial structure in that B4 district would also become part of the larger institutional campus with the existing Third New Hope Baptist Church and the future community center.

Third New Hope Baptist Church is the owner of the subject property and several other properties in the area. The entire block, which is bounded by Plymouth, Sorrento, Wadsworth and Steel, is vacant with the exception of two single-family homes fronting Sorrento just north of the property to be rezoned as well as the above mentioned commercial structure which is used as a church by an unrelated congregation. The petitioner indicates that the other church has no objections to these plans.

PLANNING CONSIDERATIONS

Surrounding Zoning and Land Use

The zoning classification and land uses surrounding the subject area are as follows:

North: R1; vacant land existing occupied single family residential structures
 East: R1 and B4 (General Business District); existing single-family residential structures, surface parking and the church
 South: B4 and R1; existing commercial structures and single-family residential beyond
 West: R1 and B4; existing single and multi-family residential structures

Zoning

A P1 zoning classification would allow the use of a parking lot for operable private passenger motor vehicles as a by-right use. As designed, the P1 classification is intended to serve as a buffer between non-residential districts and residential districts. Please see the attached preliminary site plan.

In this instance, the P1 District would serve to alleviate the neighborhood from cars parking on both sides of the streets and the related traffic movements. The proposed P1 District would provide for ingress and egress along Sorrento, Plymouth and keep the additional traffic from the local residential street.

The Zoning Ordinance in Section 61-14-222 requires a ten (10) foot-wide side setback for accessory parking lots that abut residential areas with an existing structure. In addition, a five (5) foot-wide setback is required along the public right-of-way not exceeding 60-feet in width. The P1 District requirements in Section 61-13-81 of the Zoning Ordinance mandate that the front setback must be equal with the existing set-back of the residential structure along adjoining streets. Lastly, a 6-foot high opaque fence is required within the ten (10) foot-wide side yard. More detail are required of the petitioner to verify compliance moving forward.

Master Plan

The subject site is located within Neighborhood Cluster 7 of the Mackenzie Subsector of the Detroit Master Plan of Policies. The existing land use designation for the subject area is vacant and the future land use designation is Low Density Residential. The Planning and Development Department must make a determination on the proposal's consistency with the Master Plan.

Attachments

Lesley C. Carr, Esq.
Chairperson
Lisa Whitmore Davis
Vice Chair/Secretary

City of Detroit

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TO: City Planning Commission

FROM: Gregory Moots, staff *GM*

RE: **Modification of Planned Development (PD) zoning district at 1300 McDougall Drive to allow for the construction of VOA Bradby Place Apartments, consisting of 85 units of multi-family and single-family buildings**

DATE: October 1, 2013

The City Planning Commission (CPC) staff has received a site plan review application from Fusco, Schaffer and Pappas Inc, on behalf of Volunteers of America, for the review of a project in a PD (Planned Development) zoning classification. The subject site is located south and west of Robert Bradby Drive, north of Lafayette Street. This review is different than that customarily followed in a PD district, because the property is in an Urban Renewal area (Elmwood Park #3) and does not have a previously approved site plan - hence an ordinance is not required: action may be taken via resolution.

The CPC review of this development is anticipated as a New Business item at your October 3, 2013 meeting. To staff's understanding, there is no Citizen's District Council presently constituted; hence there has been no Citizen District Council (CDC) review. Upon the completion of the CPC review and the resolution of any outstanding issues, staff will forward the necessary resolution to City Council for consideration.

PROPOSED DEVELOPMENT

This request will facilitate the construction of a 65 unit, three (3)-story apartment building and 20 units in 4 "cottage"/single-family four or six-unit attached one (1) story buildings, all for independent living for seniors. The "cottages" would each have one-car garages. The Elmwood Park 3 Urban Renewal Plan designates the site as medium density residential, where apartments and townhouses can be allowed. 50 parking spaces are provided for the apartments, for a ratio of 0.75 spaces/unit. This meets what would be required for senior housing. There are 46 total spaces are provided for the cottages, one in the garage and one in the driveway of each unit plus 6 guest spaces. This exceeds what would be required.

The entrance to the apartment building would be from the east. To the west of the site exists a public greenbelt with a walkway. Interior to the site and adjacent to the apartment building courtyard would be an open area of grass and trees. Substantial landscaping is shown on the southern edge of the site, screening the development from the existing residential to the south.

Access to the parking lot would be from Bradby Drive on the east. An emergency entrance is at the northwest corner of the site. The site is proposed to be enclosed with a five-foot tall, wrought-iron style fence. The gate at the entrance to the parking lot would be controlled via access cards.

The apartment building is primarily clad in a reddish brick with vinyl siding. The upper story units have balconies and the ground-floor units would have a small patio area. The drop-off area for the main entrance is covered, as are the doors at the end of each leg of the building. The cottage units are one story. They are again clad of reddish brick and siding, though the sides and rear are primarily composed of vinyl siding. The "cottages" are low, single-story buildings, with a one-car attached garage accessed from the front of the units. The front elevation is primarily reddish brick with some siding on the end units. The sides are primarily composed of vinyl siding, of a color similar to that of the brick. The rear elevations are almost exclusively vinyl siding, with a low masonry base. The roof-line from the rear is unbroken and would likely be monotonous, especially on the six-unit buildings. That is unfortunately what would face the Bradby Drive.

SURROUNDING DEVELOPMENT

To the north: multifamily residential, PD

To the south: multifamily residential, PD

To the east: multifamily residential, PD

To the west: multifamily residential, PD

APPROVAL CRITERIA

The following are the relevant site plan approval criteria from Sections 61-3-151 through 61-3-167, with staff analysis following in italics.

Sec. 61-3-152. Compliance with master plan. *The Master Plan designation is Medium Residential, which appears appropriate.*

Sec. 61-3-157. Surroundings.

All elements of the site:

(1) Shall be harmoniously and efficiently designed in relation to the topography, size, and type of lot and in relation to the topography of the surrounding neighborhood; and

(2) Shall be consistent, to the extent practicable, with the character of the adjacent sites and buildings and of the surrounding neighborhood. *The height of the cottages may not fit with the character of the adjacent sites. The rest of the development seems consistent.*

Sec. 61-3-158. Open spaces, landscaping, screening, and buffering. The type, dimensions, and character of open spaces, landscaping, screening, and buffering shall enhance the design, character, use, and value of the property and abutting lands. *There appears to be an appropriate amount of open space and landscaping. The screening of the parking from the adjacent road is being reviewed and will likely have to be upgraded.*

Sec. 61-3-160. Aesthetics. To the extent practicable, the type, dimensions, and character of open spaces, landscaping, earth berms, fencing, screening, buffering, signs, walls, and other site features shall be designed and located on the site so that the proposed development is aesthetically pleasing and harmonious with nearby existing or future developments. *The site features appear to be appropriate.*

The following are the relevant PD District design criteria from sections 61-11-15, with staff analysis following in italics.

(b) *Scale, form, massing, and density.* Scale, form, massing and density should be appropriate to the nature of the project and relate well to surrounding development. *The density and form of the "cottage" units seems low. Making the units, especially those along Bradby Drive, two-stories in height would closer match the scale of other low-scale residential developments in the area.*

(c) *Compatibility.* The proposed development should be compatible with surrounding development in terms of land use, general appearance and function, and should not adversely affect the value of properties in the immediate vicinity. *The use and function seem compatible. The appearance is discussed above.*

(j) *Screening.* Appropriate buffering and screening of service, loading, refuse collection, mechanical and electrical equipment and of parking areas should be provided. *Parking lot along the street is shown with trees but not a low hedge or wall, as is required in 61-14-221 and this will have to be addressed. The dumpsters are enclosed in a masonry enclosure. Interior landscaping of the parking lot is not shown, however, landscaped bumpouts are shown, and in the single-aisle configuration that may be appropriate.*

(t) *Urban renewal areas.* In addition, in urban renewal areas, the preliminary site plan must conform to the design criteria as stated in the adopted Urban Renewal Development Plan and the Declaration of Restrictions, except as may have been authorized as a minor deviation by the Board of Zoning Appeals in accordance with Sec. 61-2-53 and Sec. 61-4-3. *The Planning and Development Department (PDD) is still reviewing the proposal.*

PRELIMINARY ANALYSIS

The scale of the development is 18 units/acre, a relatively low density. The PDD is reviewing the density and its conformance with the applicable urban renewal plan requirements, as well as the parking provided (the plan is open to interpretation). The apartment building materials seem comparable and compatible with other developments in the area. The cottages appear to have more vinyl siding than other near-by developments, and the height is lower than other developments. These are a matter of concern.

The Citizens' District Council has not yet reviewed the project. Staff is unsure if the CDC is even constituted at this time.

We will update the Commission further at your next meeting.

Attachments

VOLUNTEERS OF AMERICA VOA BRADBURY VILLAGE SENIOR INDEPENDENT LIVING

DETROIT

LIST OF DRAWINGS

CIVIL ENGINEERING
01 TOPGRAPHIC SURVEY

LANDSCAPING
02 SITE PLAN

ARCHITECTURAL
A-101 ARCHITECTURAL SCHEDULE
A-102 APARTMENTS FIRST FLOOR PLAN
A-103 APARTMENTS SECOND FLOOR PLAN
A-104 APARTMENTS THIRD FLOOR PLAN
A-105 UNIT FLOOR PLAN
A-106 APARTMENTS EXTERIOR ELEVATIONS
A-107 UNIT PORTAGE EXTERIOR ELEVATIONS

ELECTRICAL
E-101 ELECTRICAL SCHEDULE
E-102 ELECTRICAL SPECIFICATIONS AND DETAILS

DEVELOPMENT TEAM

SPONSOR
VOLUNTEERS OF AMERICA MICHIGAN
SOUTHFIELD, MICHIGAN

ARCHITECT
FUSCO, SHAFER & PAPPAS, INC.
30800 NORTHWESTERN HWY., SUITE 100
FARMINGTON HILLS, MICHIGAN 48334
248.932.8300

CIVIL ENGINEER
ZEIMET WOZNAK AND ASSOCIATES, INC.
55800 GRAND RIVER, SUITE 100
NEW HUDSON, MICHIGAN 48165
248.437.5099

ELECTRICAL ENGINEER
TAC ASSOCIATES, L.L.C.
4321 EAST CAMDEN ROAD
OSSEO, MICHIGAN 49226
517.254.4789

MICHIGAN

SUMMARY TABLE

SITE DATA
SITE STREET ADDRESS AND DIMENSIONAL DATA, NOTES AND REQUIREMENTS
ALLOWABLE TO BE BASED ON ANY ZONING REGULATION.
LOT SIZE: 4.21 AC.
ZONING: P3 (PLANNED DEVELOPMENT DISTRICT)

BUILDING DATA
USE: OFFICE BUILDING AREA
TOTAL FLOOR AREA: 248,000 SF
TOTAL NET BUILDING AREA: 248,000 SF

REQUIREMENTS
REQUIREMENT: 248,000 SF
REQUIREMENT: 248,000 SF
REQUIREMENT: 248,000 SF

UNIT DATA

APARTMENTS
TYPE: TWO-BEDROOM
UNIT 1: 2,100 SQ FT
UNIT 2: 2,100 SQ FT
UNIT 3: 2,100 SQ FT
UNIT 4: 2,100 SQ FT
UNIT 5: 2,100 SQ FT
UNIT 6: 2,100 SQ FT
UNIT 7: 2,100 SQ FT
UNIT 8: 2,100 SQ FT
UNIT 9: 2,100 SQ FT
UNIT 10: 2,100 SQ FT
UNIT 11: 2,100 SQ FT
UNIT 12: 2,100 SQ FT
UNIT 13: 2,100 SQ FT
UNIT 14: 2,100 SQ FT
UNIT 15: 2,100 SQ FT
UNIT 16: 2,100 SQ FT
UNIT 17: 2,100 SQ FT
UNIT 18: 2,100 SQ FT
UNIT 19: 2,100 SQ FT
UNIT 20: 2,100 SQ FT
TOTAL UNIT AREA: 42,000 SQ FT
TOTAL UNIT COUNT: 20

SIGNATURE BLOCK

OWNER: [Signature] INITIALS: [Signature] DATE: [Signature]
ARCHITECT: [Signature] INITIALS: [Signature] DATE: [Signature]
GENERAL CONTRACTOR: [Signature] INITIALS: [Signature] DATE: [Signature]
SURETY COMPANY: [Signature] INITIALS: [Signature] DATE: [Signature]

DATE: 09/20/13 ISSUE: [Signature]
SITE PLAN REVIEW: [Signature]

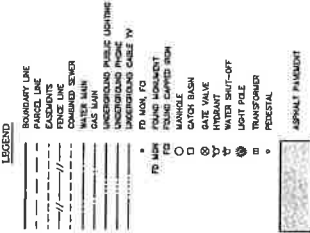


LOCATION MAP

FUSCO, SHAFER & PAPPAS, INC.
ARCHITECTS AND PLANNERS



CONTRACT: 2013-09-05-001-001 FUSCO, SHAFER & PAPPAS, INC.



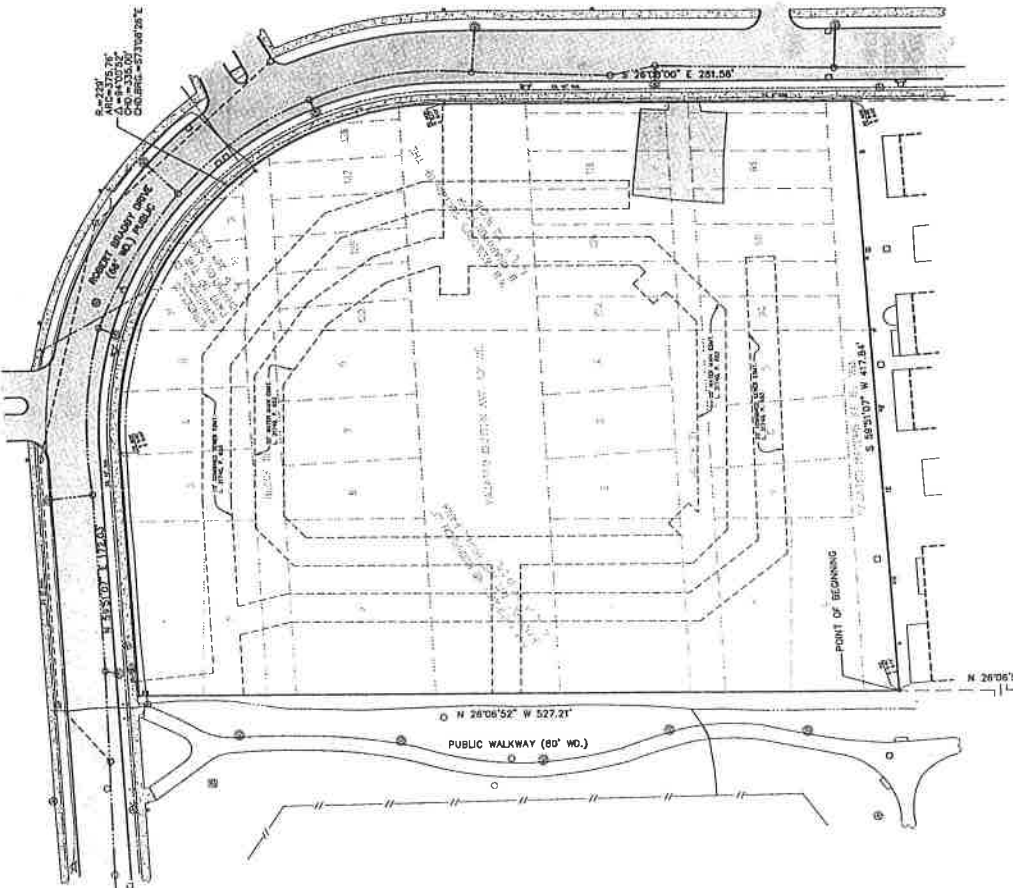
LEGAL DESCRIPTION:
 LAND IN THE CITY OF DETROIT, COUNTY OF WAYNE, MICHIGAN BEING ALL OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

SURVEY NOTES:
 1. THIS SITE BEING NOT FULL WITH A PERMANENT EXISTING BUILDING. ALL BUILDINGS AND STRUCTURES ON THE SITE ARE SHOWN ON THE PLAT.
 2. THE SUBJECT SITE IS ON A CORNER LOT, DETACHED TO BE PART OF THE LOT.
 3. THE SUBJECT SITE IS ON A CORNER LOT, DETACHED TO BE PART OF THE LOT.
 4. THE SUBJECT SITE IS ON A CORNER LOT, DETACHED TO BE PART OF THE LOT.
 5. THE SUBJECT SITE IS ON A CORNER LOT, DETACHED TO BE PART OF THE LOT.
 6. THE SUBJECT SITE IS ON A CORNER LOT, DETACHED TO BE PART OF THE LOT.
 7. THE SUBJECT SITE IS ON A CORNER LOT, DETACHED TO BE PART OF THE LOT.
 8. THE SUBJECT SITE IS ON A CORNER LOT, DETACHED TO BE PART OF THE LOT.
 9. THE SUBJECT SITE IS ON A CORNER LOT, DETACHED TO BE PART OF THE LOT.
 10. THE SUBJECT SITE IS ON A CORNER LOT, DETACHED TO BE PART OF THE LOT.

SCHEDULE B - SECTION 4 EXCEPTIONS:
 1. ...
 2. ...
 3. ...
 4. ...
 5. ...
 6. ...
 7. ...
 8. ...
 9. ...
 10. ...

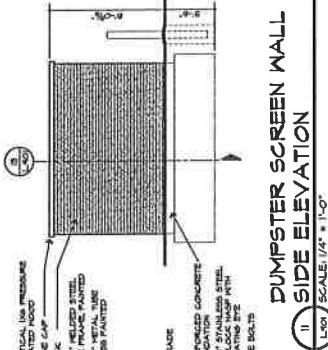
CERTIFICATION:
 I, THE UNDERSIGNED SURVEYOR, HAVE REVIEWED THIS SURVEY AND THE PLAT THEREON AND CERTIFY THAT THE SAME ACCURATELY REPRESENTS THE FIELD WORK AND CALCULATIONS THEREON AND THAT THE SAME COMPLY WITH THE REQUIREMENTS OF THE MICHIGAN SURVEYING ACT AND THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND LAND PLATTING OF THE STATE OF MICHIGAN. I HAVE NOT OBSERVED ANY VIOLATIONS OF THE MICHIGAN SURVEYING ACT OR THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND LAND PLATTING OF THE STATE OF MICHIGAN.

DATE:		RICHARD HOFFESS PROFESSIONAL SURVEYOR No. 47935	
ALTA/ACSM LAND TITLE SURVEY			
JOB NO. 13136		SHEET 1/1	
DETROIT			
CLIENT:	VOA BRABBY		
REVISIONS	DATE	BY	

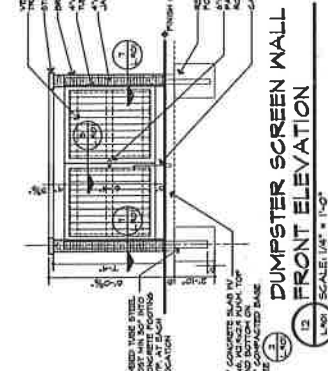


LANDSCAPE PLAN NOTES:

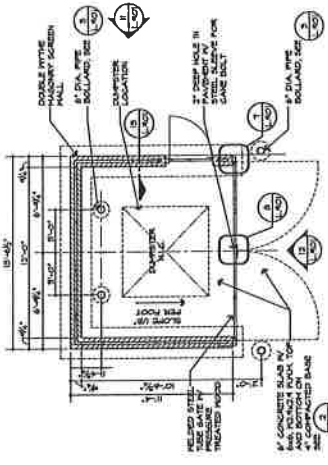
1. ALL DRAINAGE AND/OR PROPOSED SITE UTILITIES MUST BE FIELD LOCATED, DEPTH AND VERTICAL PAVEMENT TO BE INDICATED IN THE RELEVANT AREAS.
2. ALL LIGHT FIXTURES TO BE INSTALLED IN THE RELEVANT AREAS. TO BE LOCATED IN THE RELEVANT AREAS AND NOTED ON PLANS. DEPTH TO BE INDICATED AND RETURNED TO THEIR PRE-CONSTRUCTION CONDITION.
3. ALL LANDSCAPE BEDS TO BE BROADCAST WITH 1/2" x 3/4" ALUMINUM CHIP.
4. GRAVEL MAINTENANCE STRIPS TO BE INSTALLED TO A MAINTENANCE STRIP FROM LANDSCAPE BEDS WITH 1/2" x 3/4" ALUMINUM CHIP.
5. 1/2" TO 3/4" DOBLE SERRATED MANHOLE BODIES TO BE USED TO BROADCAST LANDSCAPE BEDS WITH 1/2" x 3/4" ALUMINUM CHIP. DOBLE SERRATED MANHOLE BODIES TO BE USED TO BROADCAST LANDSCAPE BEDS WITH 1/2" x 3/4" ALUMINUM CHIP. DOBLE SERRATED MANHOLE BODIES TO BE USED TO BROADCAST LANDSCAPE BEDS WITH 1/2" x 3/4" ALUMINUM CHIP. DOBLE SERRATED MANHOLE BODIES TO BE USED TO BROADCAST LANDSCAPE BEDS WITH 1/2" x 3/4" ALUMINUM CHIP.
6. ALL LANDSCAPE AREAS TO BE MAINTAINED WITH AN APPROPRIATE AUTOMATIC IRRIGATION SYSTEM. THE CONTRACTOR TO PROVIDE ALL MATERIALS, LABOR AND EXPENSES FOR THE IRRIGATION SYSTEM. THE CONTRACTOR TO MAINTAIN THE IRRIGATION SYSTEM AS APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT.
7. ALL IRRIGATION SYSTEMS MUST BE MAINTAINED IN AN APPROPRIATE MANNER. THE CONTRACTOR TO PROVIDE ALL MATERIALS, LABOR AND EXPENSES FOR THE IRRIGATION SYSTEM. THE CONTRACTOR TO MAINTAIN THE IRRIGATION SYSTEM AS APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT.
8. LANDSCAPE CONTRACTOR TO MAINTAIN ALL LANDSCAPE AREAS TO BE MAINTAINED WITH AN APPROPRIATE AUTOMATIC IRRIGATION SYSTEM. THE CONTRACTOR TO PROVIDE ALL MATERIALS, LABOR AND EXPENSES FOR THE IRRIGATION SYSTEM. THE CONTRACTOR TO MAINTAIN THE IRRIGATION SYSTEM AS APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT.
9. TOPSOIL MUST BE SPREAD TO A MIN. DEPTH OF 1" IN ALL UNPAVED AREAS, AND A MIN. DEPTH OF 4" IN ALL PAVED AREAS.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL TREES, SHRUBS AND BUSHES PRIOR TO CONSTRUCTION AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER.



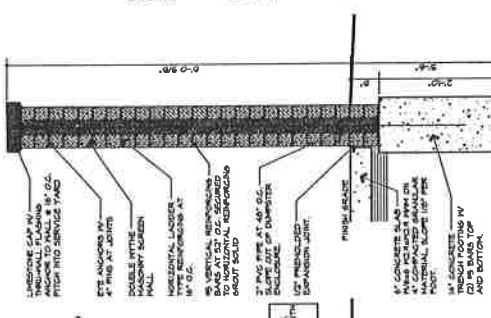
10 DUMPSTER SCREEN WALL FRONT ELEVATION
 SCALE 1/4" = 1'-0"



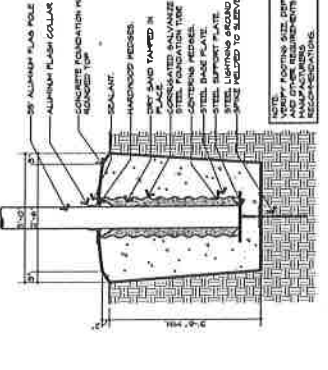
11 DUMPSTER SCREEN WALL SIDE ELEVATION
 SCALE 1/4" = 1'-0"



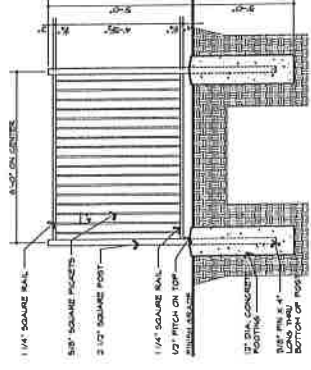
4 DUMPSTER SCREEN WALL PLAN
 SCALE 1/4" = 1'-0"



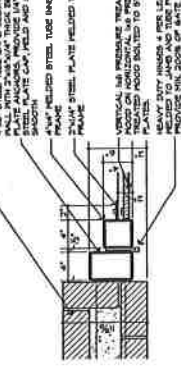
12 SCREEN WALL SECTION
 SCALE 3/4" = 1'-0"



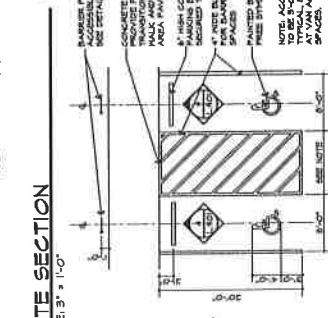
13 FLAG POLE
 SCALE 3/4" = 1'-0"



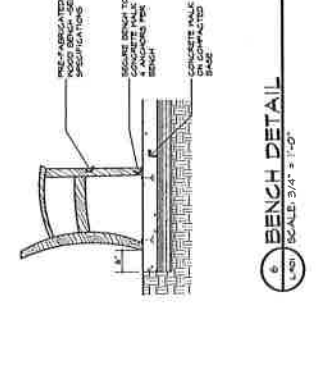
14 FENCE ELEVATION
 SCALE 1/2" = 1'-0"



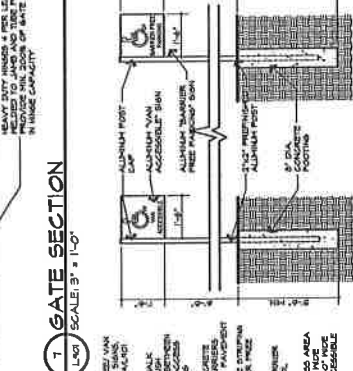
8 GATE SECTION
 SCALE 3" = 1'-0"



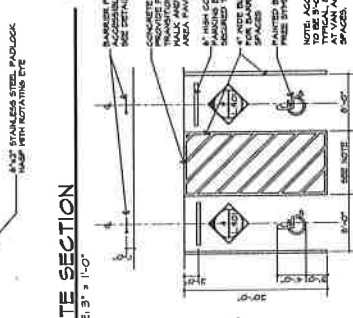
7 GATE SECTION
 SCALE 3" = 1'-0"



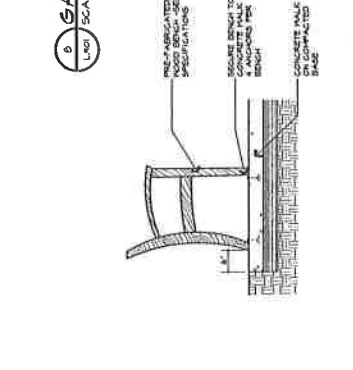
6 BENCH DETAIL
 SCALE 3/4" = 1'-0"



3 PAVING @ SERVICE YARD
 SCALE 1" = 1'-0"



5 B.F. PARKING LAYOUT
 SCALE 1/2" = 1'-0"



9 PIPE BOLLARD
 SCALE 3/4" = 1'-0"

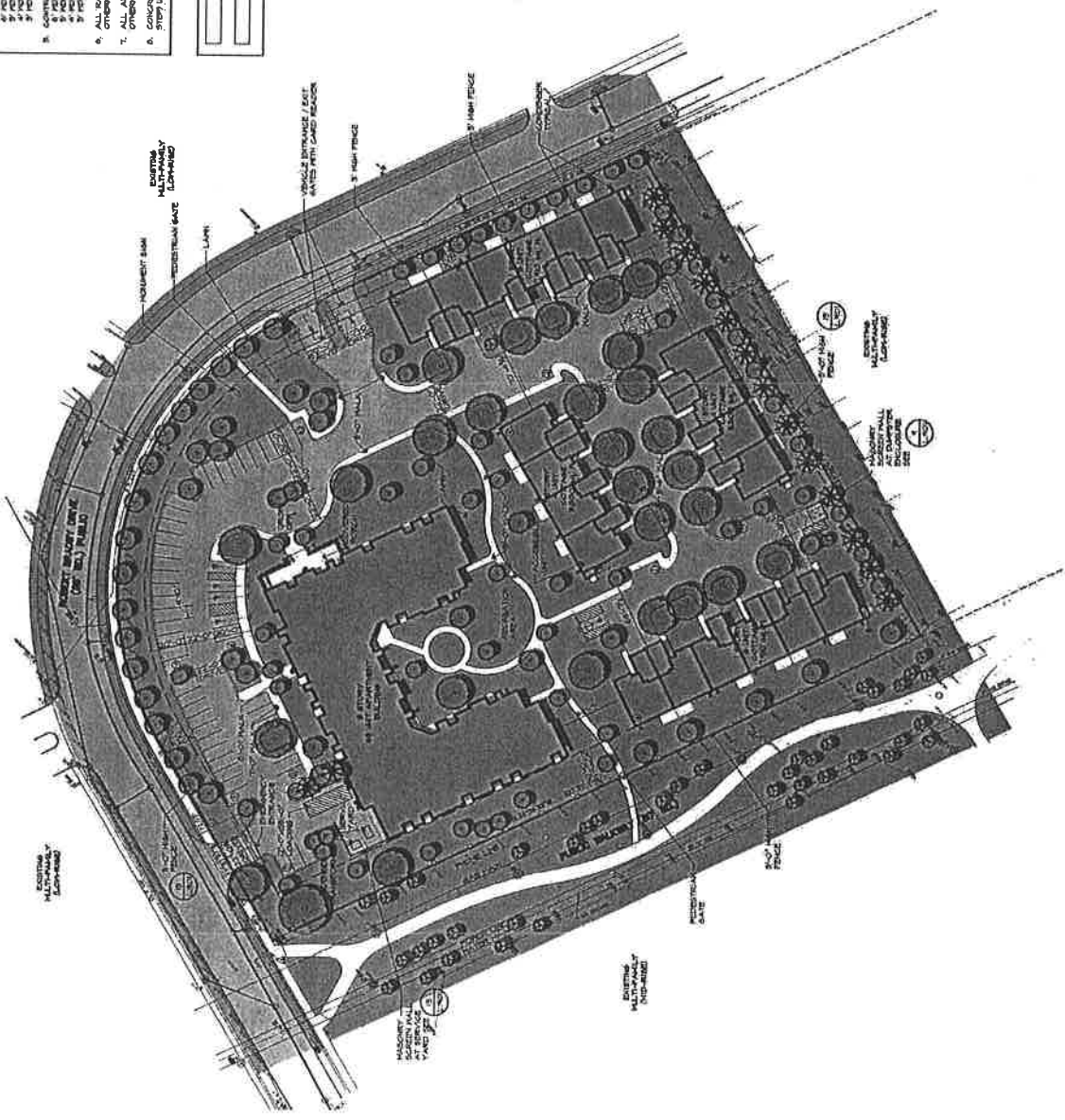


1 CONC. JOINT SECTIONS
 SCALE 1" = 1'-0"

DATE	BY	SCALE

- GENERAL NOTES:**
1. ALL DIMENSIONS TO BACK OF CURB UNLESS OTHERWISE NOTED.
 2. INSTALL 1/2" EXPANSION JOINT INSIDE CONCRETE PAVES NEAR BUILDING FOOTING, TYPICAL.
 3. INSTALL 1/2" EXPANSION JOINT INSIDE CONCRETE PAVES NEAR TYPICAL.
 4. EXPANSION JOINTS SHALL BE:
 - 1) 2" WIDE - 10'-0" O.C.
 - 2) 2" WIDE - 8'-0" O.C.
 - 3) 2" WIDE - 6'-0" O.C.
 5. CONCRETE JOINTS IN CONCRETE SHALL BE:
 - 1) 2" WIDE - 10'-0" O.C.
 - 2) 2" WIDE - 8'-0" O.C.
 - 3) 2" WIDE - 6'-0" O.C.
 6. ALL SLOPE ON CONCRETE PAVES TO BE 3" R. UNLESS OTHERWISE NOTED.
 7. ALL ANGLES ASSUMED TO BE 45 DEGREES UNLESS OTHERWISE NOTED.
 8. CONCRETE PAVES TO BE SET IN BEDDING (SEE SPEC. SECTION 01100) UNLESS OTHERWISE NOTED.

	6" REINFORCED CONCRETE
	REINFORCED CONCRETE

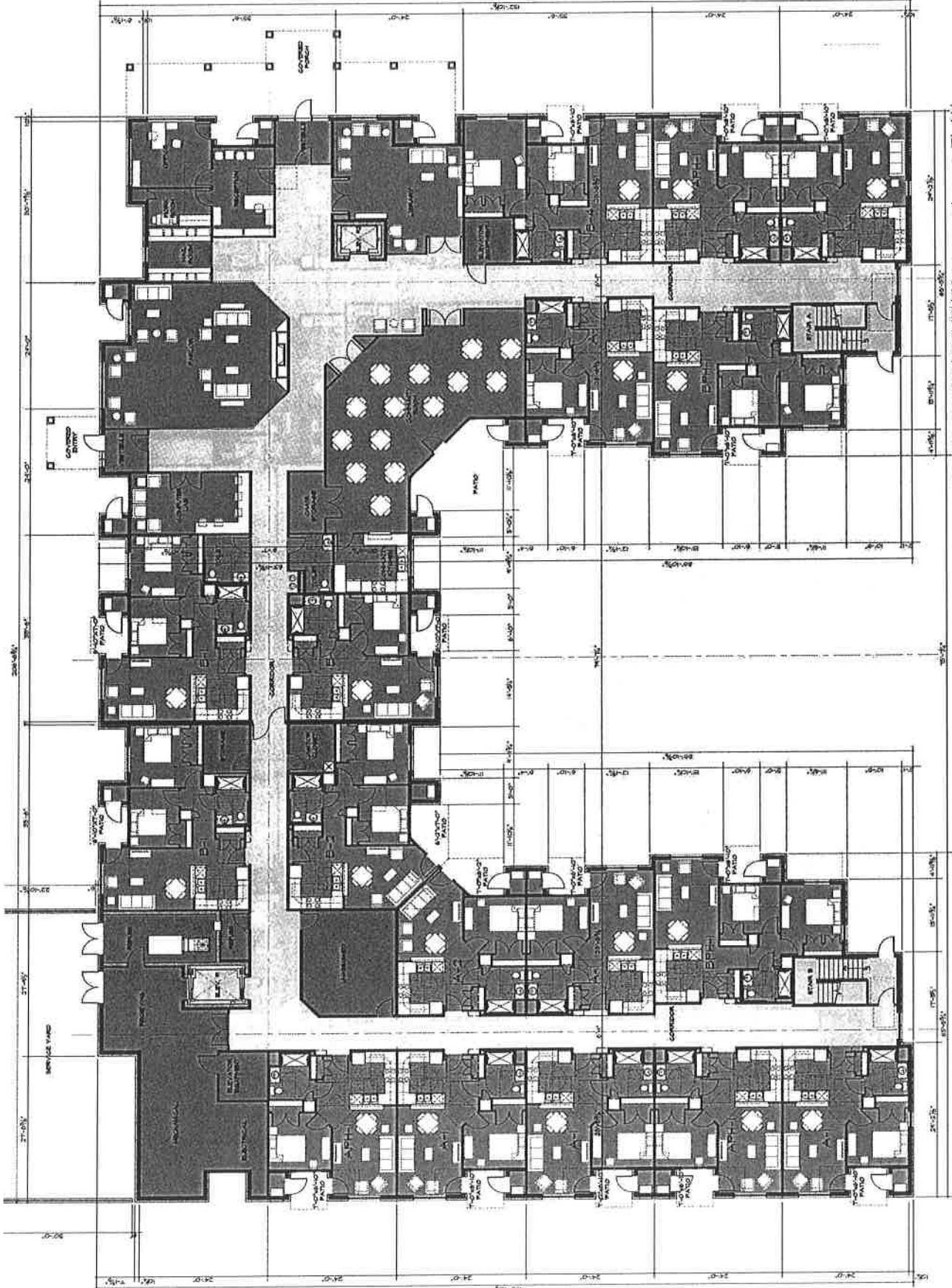


VOLUNTEERS OF AMERICA
 VOA BRADBY VILLAGE
 SENIOR INDEPENDENT LIVING
 DETROIT
 MICHIGAN

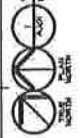
REF PLAN:
 REF PLAN NO. 101
 DATE: 10/15/14

REF PROJECT NO.
 REF PROJECT NO. 14-11111-10000-1-A-101
 REF PROJECT NAME
 REF PROJECT NAME VOA BRADBY VILLAGE

DRAWING NUMBER
A-101



APARTMENTS FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



FUSCO
SHAFFER &
PAPPAS, INC.
ARCHITECTS AND PLANNERS
3000 NORTHWESTERN BLVD., SUITE 500
ANN ARBOR, MICHIGAN 48106
PHONE: (313) 963-1100 FAX: (313) 963-1101

UNIVERSITY MICROFILMS INTERNATIONAL

VOLUNTEERS OF AMERICA
SENIOR INDEPENDENT LIVING
DETROIT
MICHIGAN

CL	CERAMIC TILE
CT	COUNTERTOP
DR	DRAINAGE
GL	GLASS
GR	GRASS
HA	HARDWARE
LD	LANDSCAPE
LI	LINOLEUM
LS	LINEN
MA	MATERIAL
MT	MATERIAL
ST	STAIR
TR	TRIM
VT	VENEER
WT	WOOD

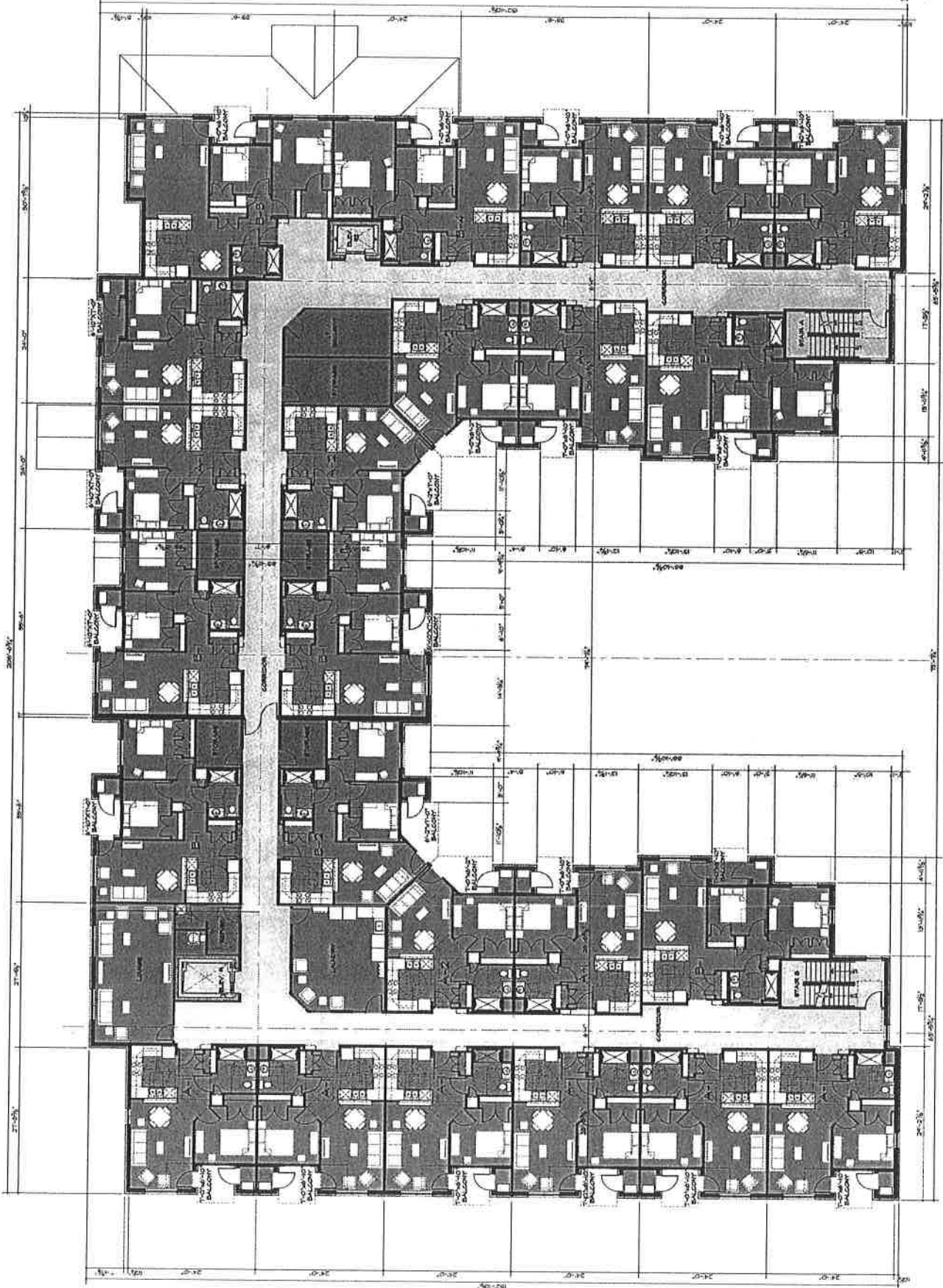
REFLECTED

REFLECTED

APARTMENTS
SECOND FLOOR PLAN

DRAWING NUMBER

A-102



APARTMENTS SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



VOLUNTEERS OF AMERICA
 VOA BRADBY VILLAGE
 SENIOR INDEPENDENT LIVING
 MICHIGAN

DETROIT

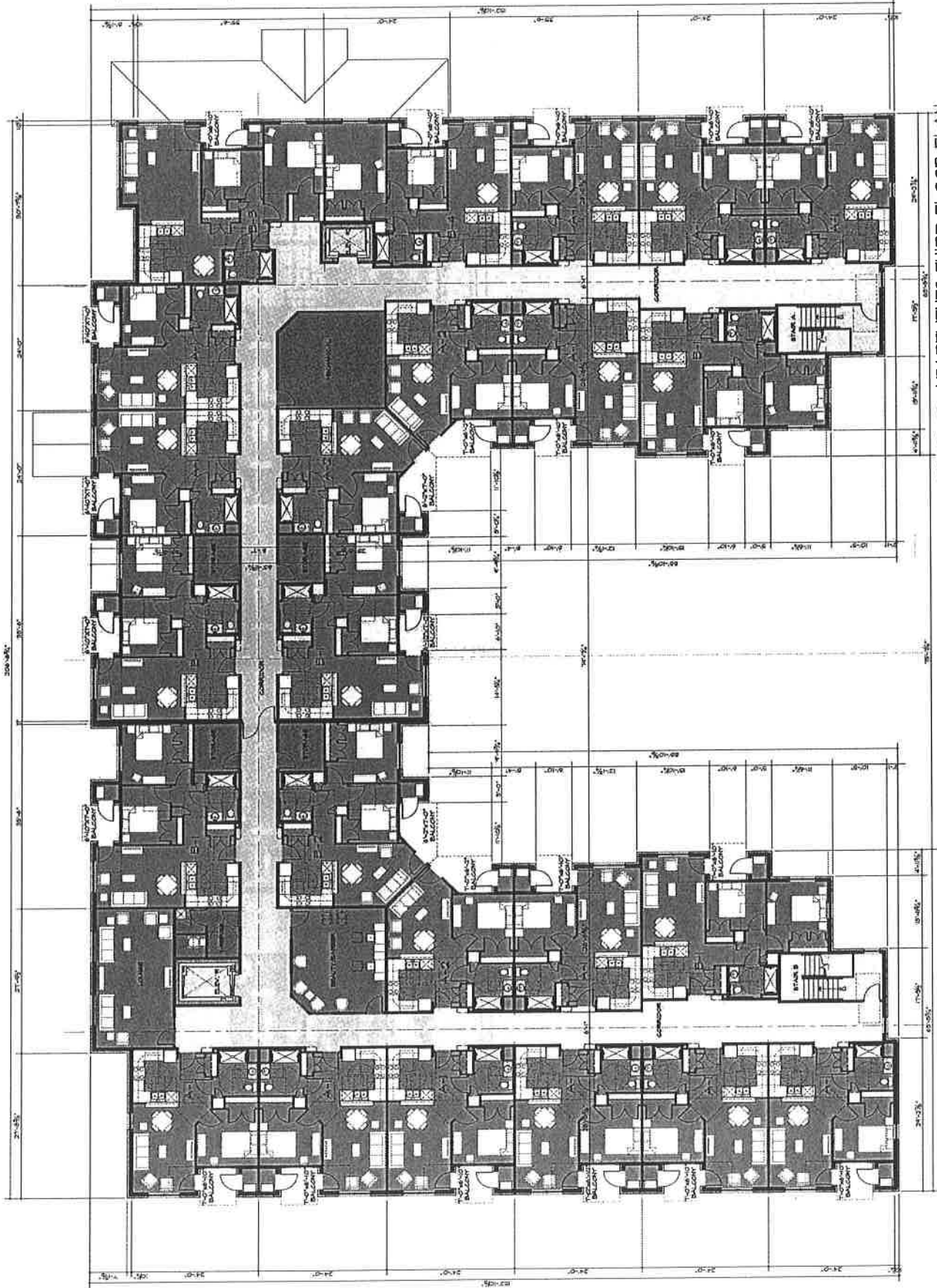
NO.	DATE	DESCRIPTION
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2	01/15/04	ISSUED FOR PERMIT
3	01/15/04	ISSUED FOR PERMIT
4	01/15/04	ISSUED FOR PERMIT
5	01/15/04	ISSUED FOR PERMIT
6	01/15/04	ISSUED FOR PERMIT
7	01/15/04	ISSUED FOR PERMIT
8	01/15/04	ISSUED FOR PERMIT
9	01/15/04	ISSUED FOR PERMIT
10	01/15/04	ISSUED FOR PERMIT

LEFT PLAN

PPF PROJECT NO.
 DRAWING TITLE
APARTMENTS
THIRD FLOOR PLAN

RELATING TO NUMBER

A-103



APARTMENTS THIRD FLOOR PLAN



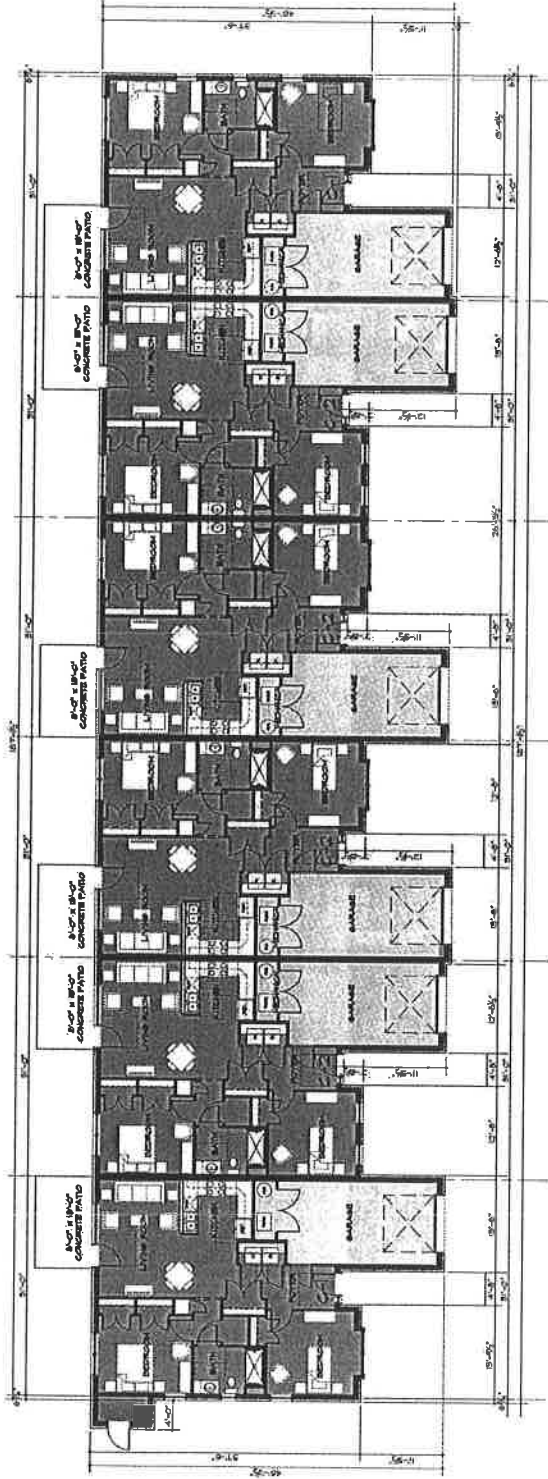
VOLUNTEERS OF AMERICA
 SENIOR INDEPENDENT LIVING
 DETROIT MICHIGAN

NO. OF UNITS	6
NO. OF FLOORS	1
NO. OF STORIES	1
NO. OF GARAGES	6
NO. OF PATIOS	6
NO. OF BALCONIES	6
NO. OF TERRACES	6
NO. OF PORCHES	6
NO. OF STAIRS	6
NO. OF ELEVATORS	6
NO. OF COMMON AREAS	6
NO. OF STORAGE	6
NO. OF BATHS	6
NO. OF KITCHENS	6
NO. OF LIVING AREAS	6
NO. OF BEDROOMS	6
NO. OF CLOSETS	6
NO. OF HALLS	6
NO. OF ENTRANCES	6
NO. OF EXITS	6
NO. OF WINDOWS	6
NO. OF DOORS	6
NO. OF STAIRS	6
NO. OF ELEVATORS	6
NO. OF COMMON AREAS	6
NO. OF STORAGE	6
NO. OF BATHS	6
NO. OF KITCHENS	6
NO. OF LIVING AREAS	6
NO. OF BEDROOMS	6
NO. OF CLOSETS	6
NO. OF HALLS	6
NO. OF ENTRANCES	6
NO. OF EXITS	6
NO. OF WINDOWS	6
NO. OF DOORS	6

ENTRANCE

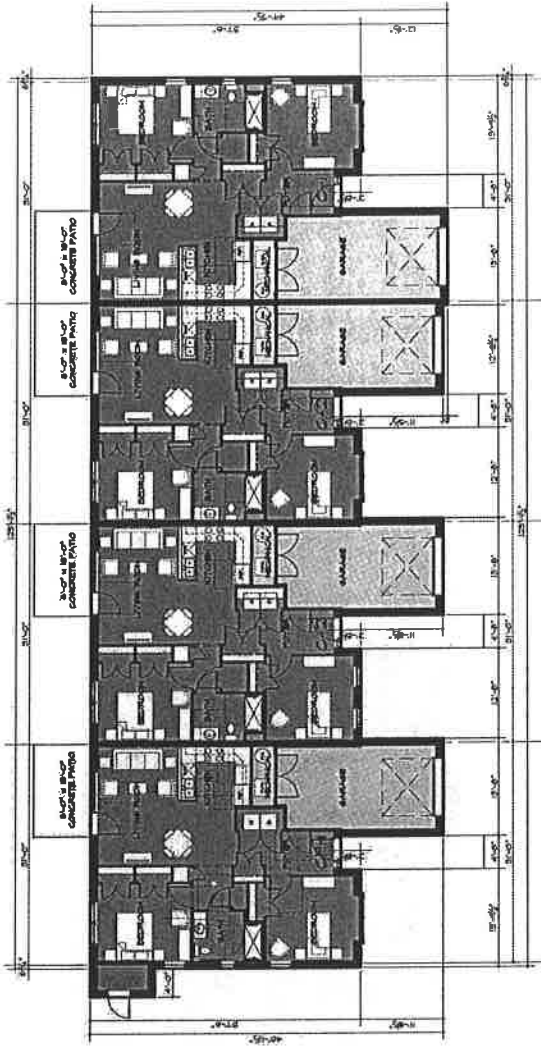
DATE: 11/11/11
 DRAWING NO.:
 DRAWING TITLE:
6-UNIT COTTAGE FLOOR PLAN

DRAWING NUMBER:
A-104



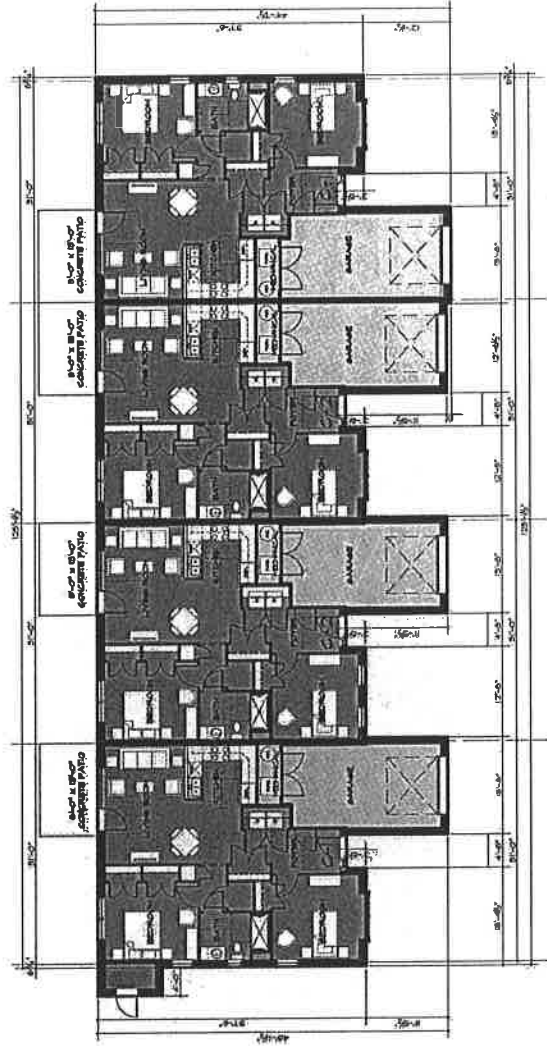
6 UNIT COTTAGE FLOOR PLAN
 SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1		PRELIMINARY
2		AS BUILT
3		AS BUILT
4		AS BUILT
5		AS BUILT
6		AS BUILT
7		AS BUILT
8		AS BUILT
9		AS BUILT
10		AS BUILT



4 UNIT COTTAGE FLOOR PLAN W BARRIER FREE UNIT

SCALE 1/8" = 1'-0"



4 UNIT COTTAGE FLOOR PLAN

SCALE 1/8" = 1'-0"

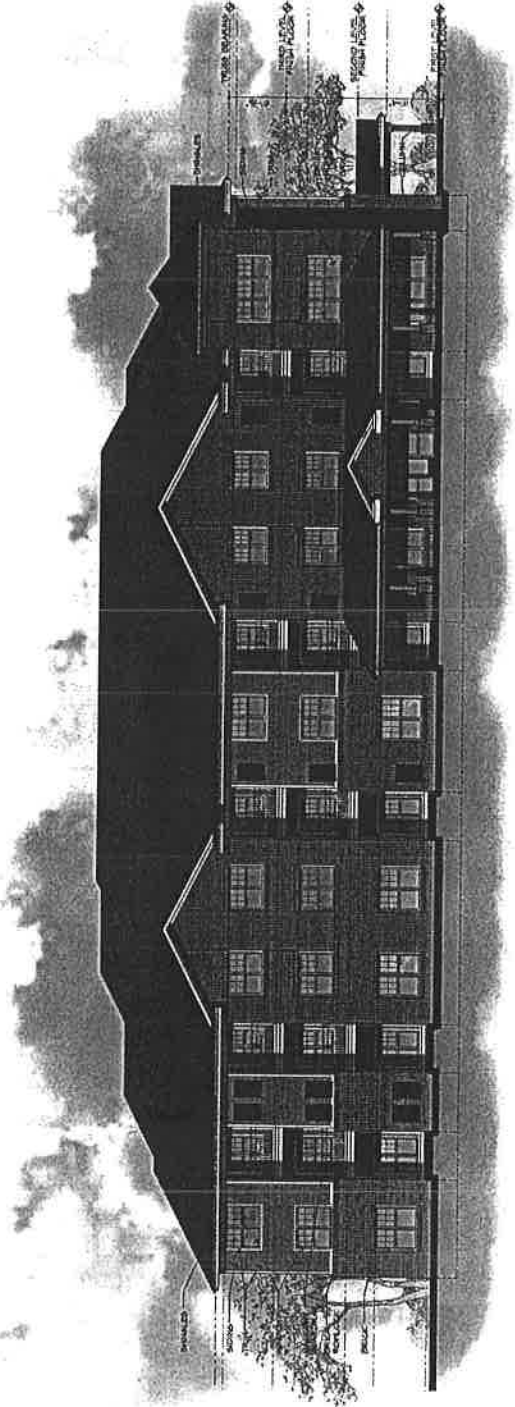
VOLUNTEERS OF AMERICA
 VOA BRADBY VILLAGE
 SENIOR INDEPENDENT LIVING
 DETROIT
 MICHIGAN

SEE PLAN

SEE PROJECT NO.
VAO BRADBY VILLAGE
APARTMENTS
EXTERIOR
ELEVATIONS

DRAWING NUMBER

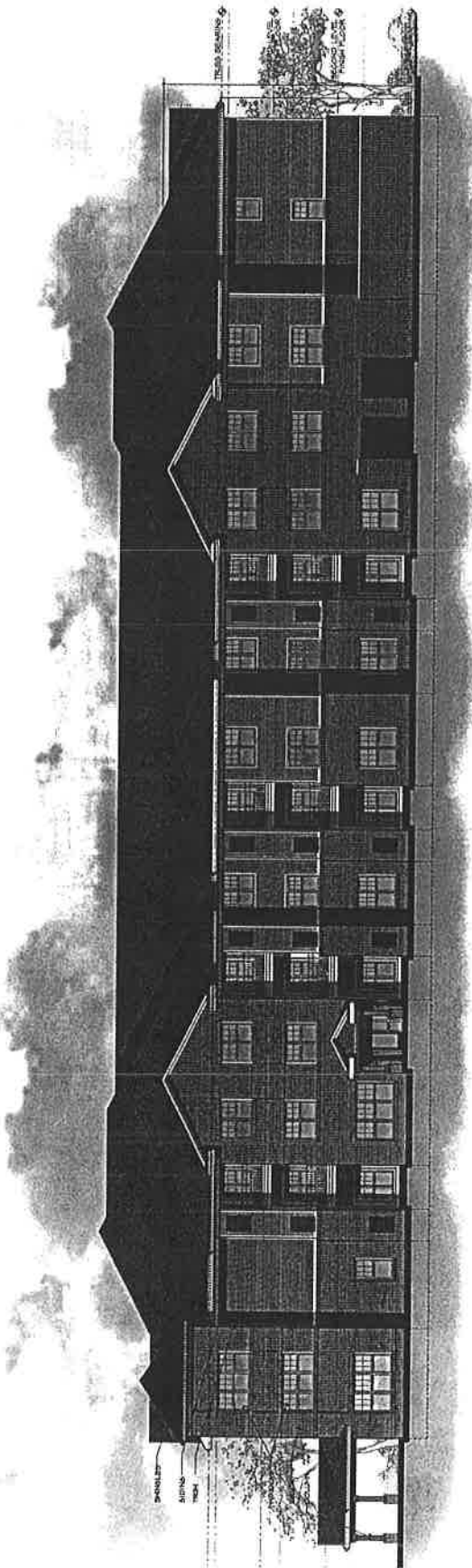
A-201



APARTMENT EAST ELEVATION



SCALE: 1/8" = 1'-0"



APARTMENT NORTH ELEVATION



SCALE: 1/8" = 1'-0"

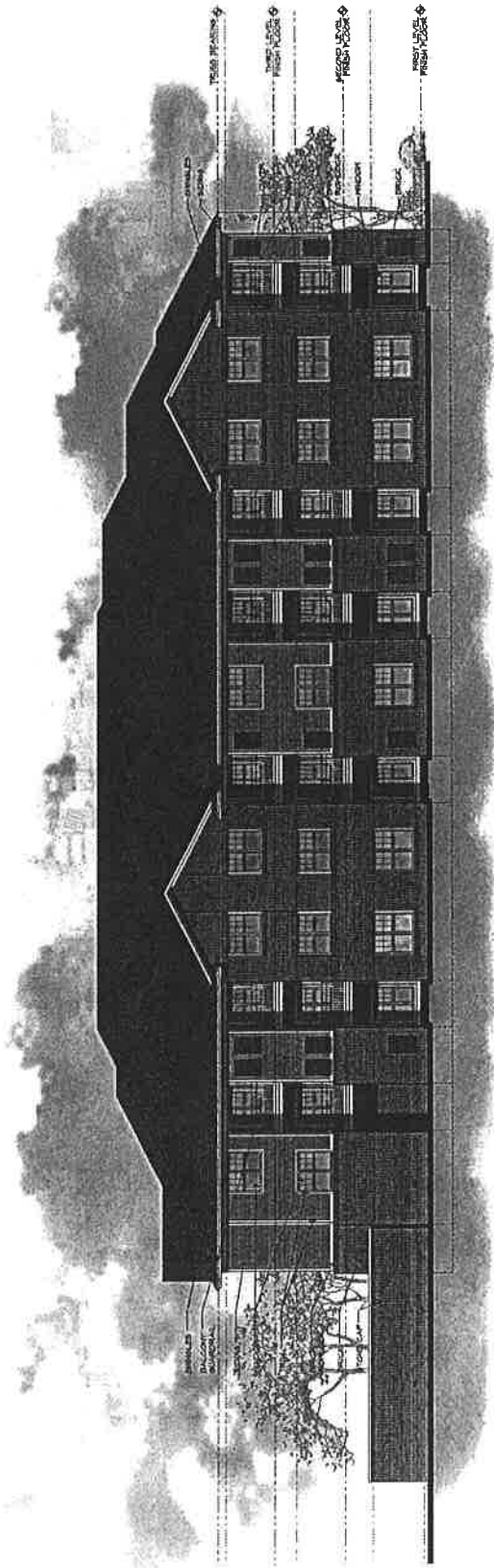
**VOLUNTEERS OF AMERICA
 SENIOR INDEPENDENT LIVING**
 MICHIGAN

DETROIT

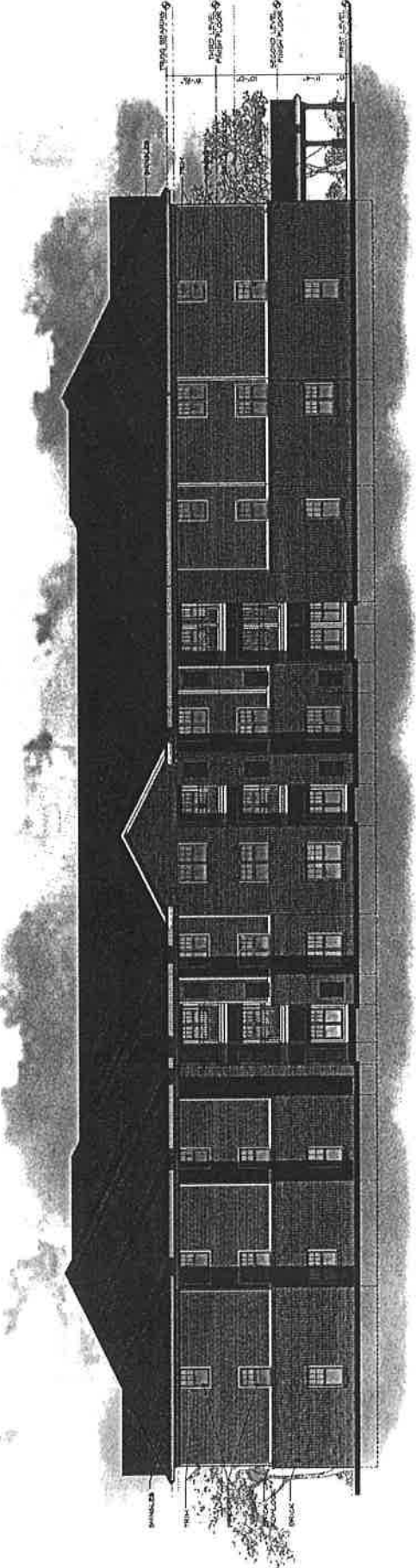
NO. OF SHEETS	1
TOTAL SHEETS	1
DATE	10/12/10
DATE PLAN REVISION	
BY	
APP. BY	
REV. PLAN	

FOR PROJECT NO. 16052
 DRAWING TITLE
**APARTMENTS
 EXTERIOR
 ELEVATIONS**
 DRAWING NUMBER

A-202



APARTMENT WEST ELEVATION



APARTMENT SOUTH ELEVATION

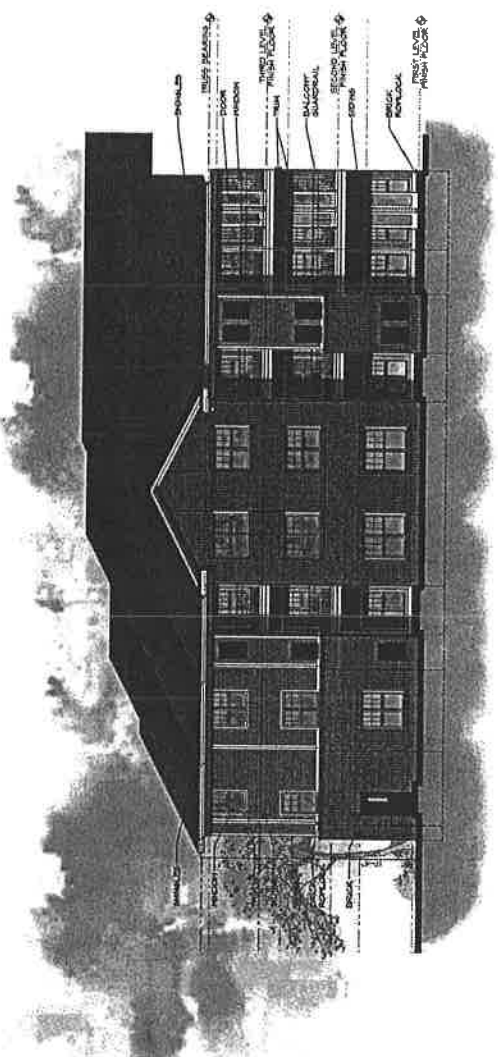


DATE	02/20/18
DATE	01/24/18
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DATE	01/11/18
DATE	01/04/18
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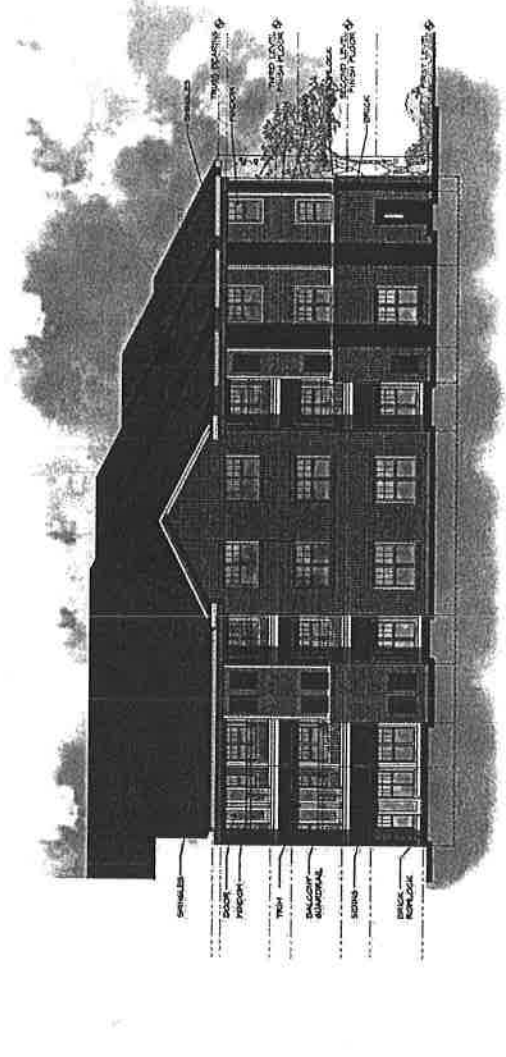
KEY PLAN
 DRAWING TITLE
 PROJECT NO.
 DRAWING NUMBER

A-203

APARTMENT COURTYARD EAST ELEVATION



APARTMENT COURTYARD WEST ELEVATION



APARTMENT COURTYARD EAST ELEVATION

VOLUNTEERS OF AMERICA
VOA BRADBY VILLAGE
SENIOR INDEPENDENT LIVING
 MICHIGAN

DETROIT

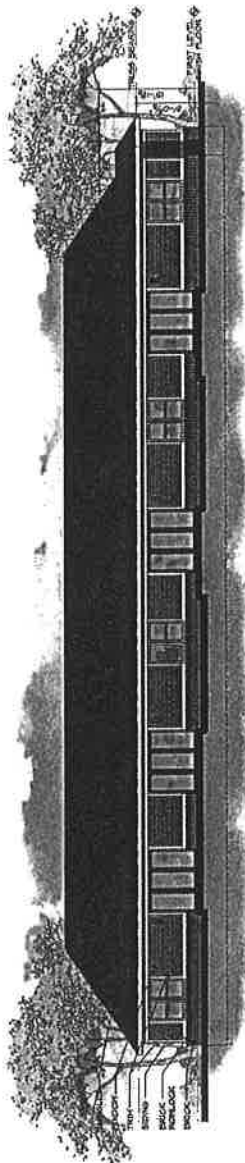
DATE	08/11/10
BY	WJL
NO.	100
PROJECT	VOA BRADBY VILLAGE
DESCRIPTION	4 UNIT COTTAGE EXTERIOR ELEVATIONS
SCALE	1/8" = 1'-0"
DATE	08/11/10
BY	WJL
NO.	100
PROJECT	VOA BRADBY VILLAGE
DESCRIPTION	4 UNIT COTTAGE EXTERIOR ELEVATIONS
SCALE	1/8" = 1'-0"

SECTION

1000 WESTERN AVENUE, SUITE 100
 ANN ARBOR, MICHIGAN 48106-1500
4 UNIT COTTAGE
EXTERIOR
ELEVATIONS

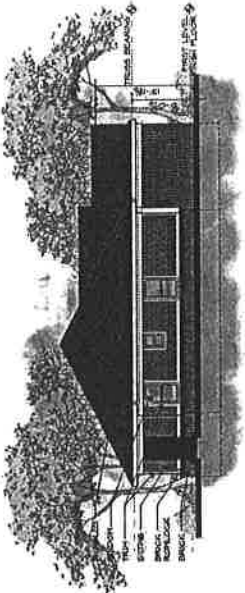
DRAWING NUMBER

A-205



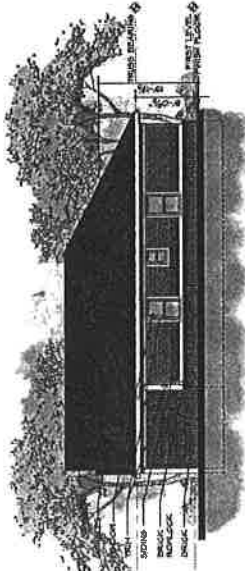
4 UNIT COTTAGE REAR ELEVATION

1/8" = 1'-0"



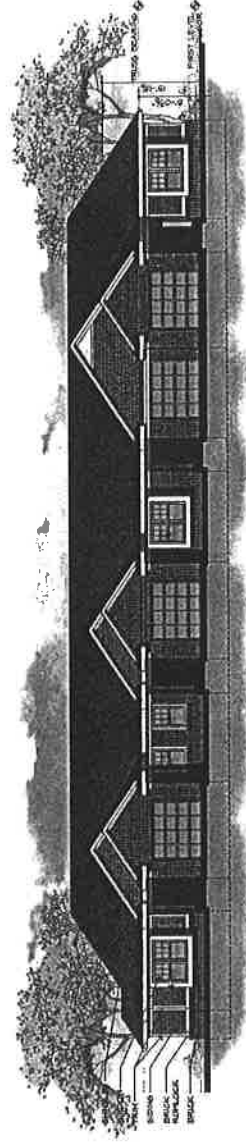
4 UNIT COTTAGE SIDE ELEVATION

1/8" = 1'-0"



4 UNIT COTTAGE SIDE ELEVATION

1/8" = 1'-0"



4 UNIT COTTAGE FRONT ELEVATION

1/8" = 1'-0"